
From: Neil Duffield
Sent: 09 April 2020 11:41
To: Helen Webster
Subject: NYM/2019/0795/LB - Downhill Cottage, New Road, Robin Hoods Bay E11726- NYMNP
Section drgs 09-04-20

Morning Helen,

I hope you continue to be well and that the working from home systems are ok!

I have finished the section drawings for the new floor construction and drawing D11726-05A is attached along with the drawing D11726-02D the Proposed Plans and elevations with the Sauna removed.

In terms of not negatively affecting the moisture levels in the existing structure we have included a 'cavity drain membrane'.

The Newton Cavity drain Membrane is one of a variety of damp proof membranes designed to allow percolation of moisture in existing structures to remain unaffected while preventing the moisture from reaching the new construction. The following link takes you to the product.

<https://www.newtonwaterproofing.co.uk/products-systems/products/cavity-drain-waterproofing/>

I don't have the contact email for Maria in your conservation team so would you pass these details on to her, hopefully they will be acceptable but if anything further is required just let me know.

Have a nice Easter weekend however restricted.

Kind regards
Neil

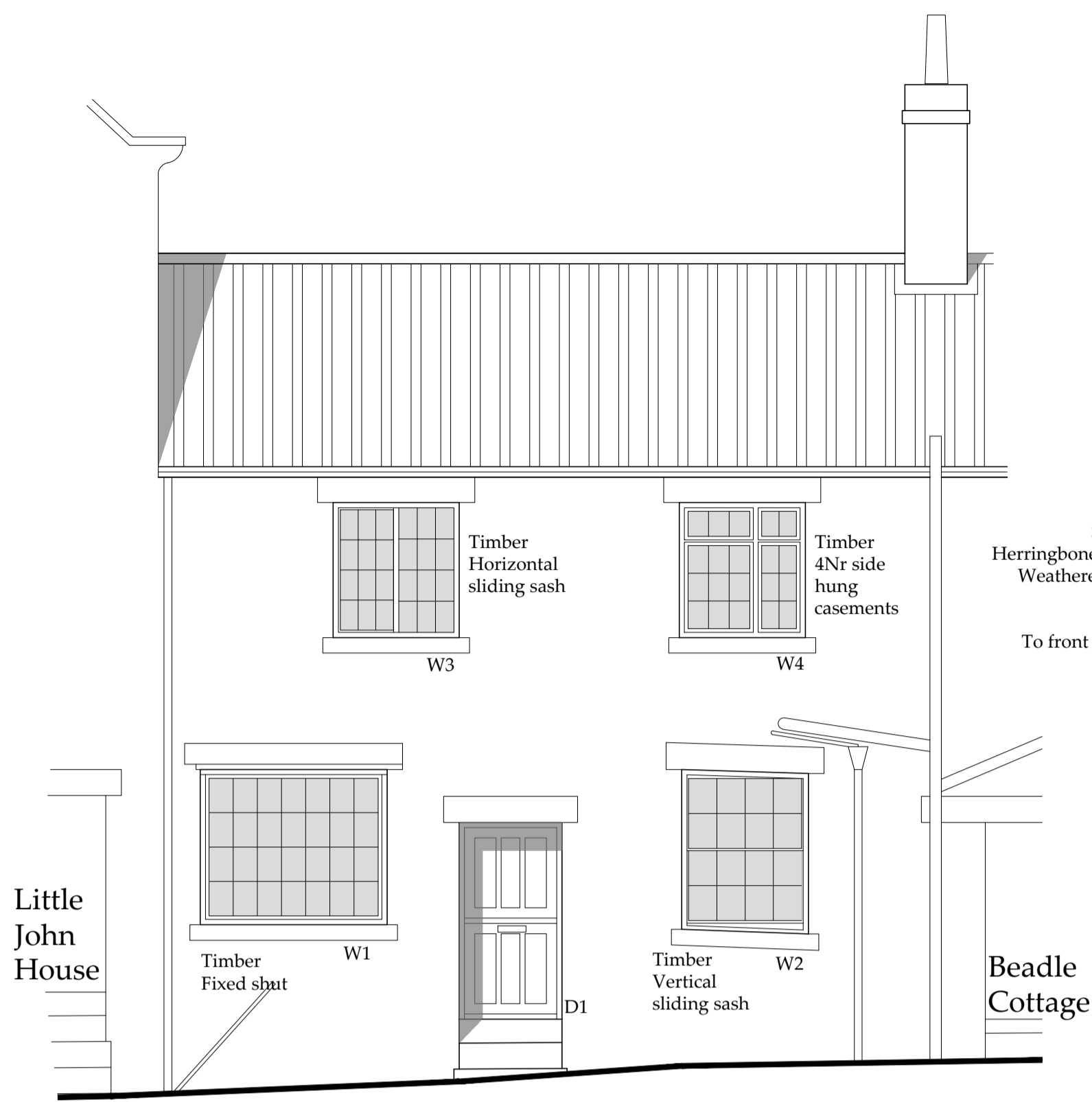


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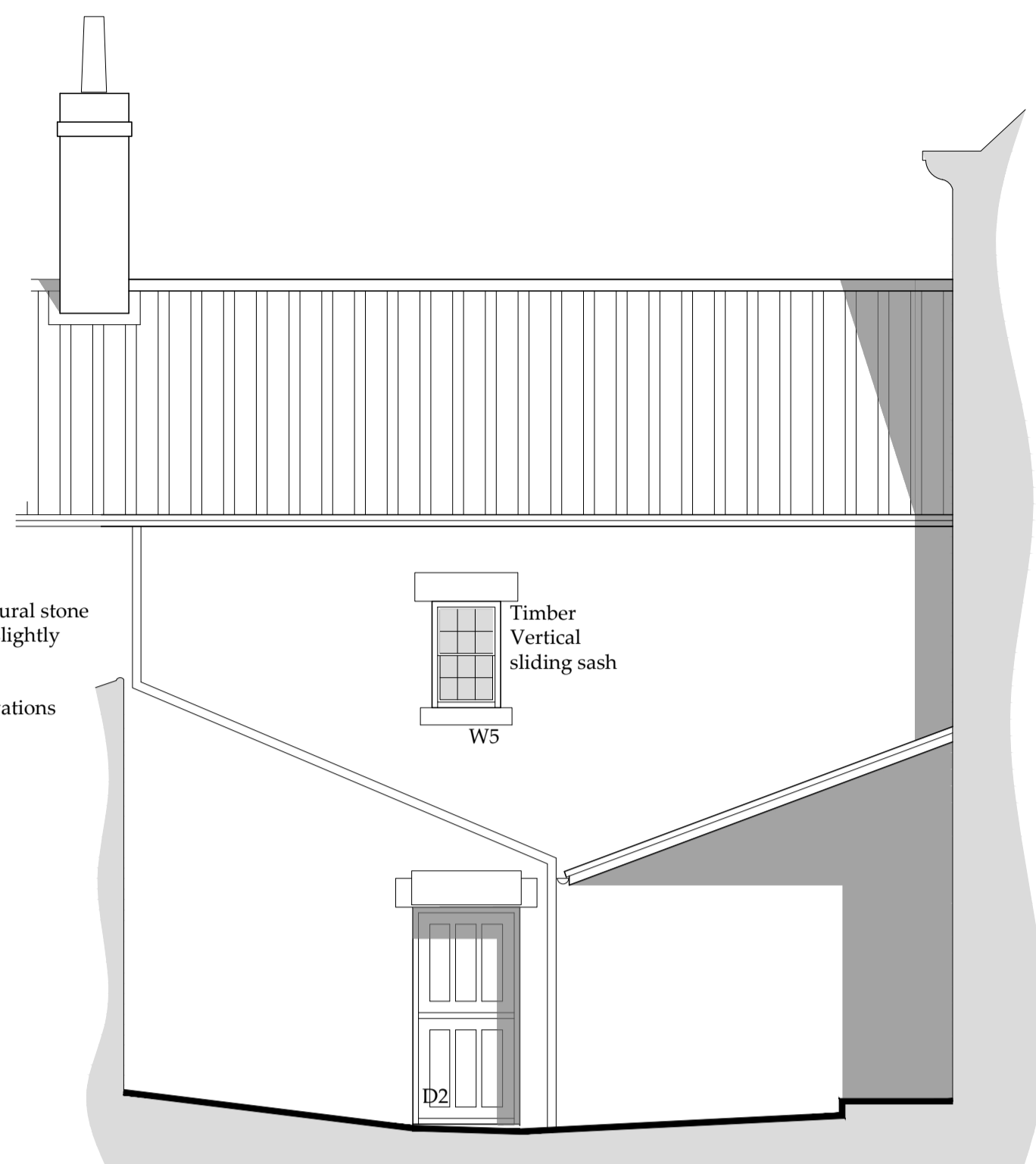
AMENDED

Do not scale from this drawing, only figured dimensions are to be taken from this drawing.
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 Work within the construction (design and management) regulations 2015 is not to start until a health & safety plan has been produced. This drawing is copyright and must not be reproduced without consent of BHD Partnership Ltd.
[CDM Regulations](#)
 Contractor must not start without 'Pre Construction Information' from Principle Designer. If unsure contact BHD.
 Contractor must agree the 'Principle Contractor' roll with the client prior to commencement of the works.
 Ensure if required under CDM2015 regulations that the project is notified to the HSE.

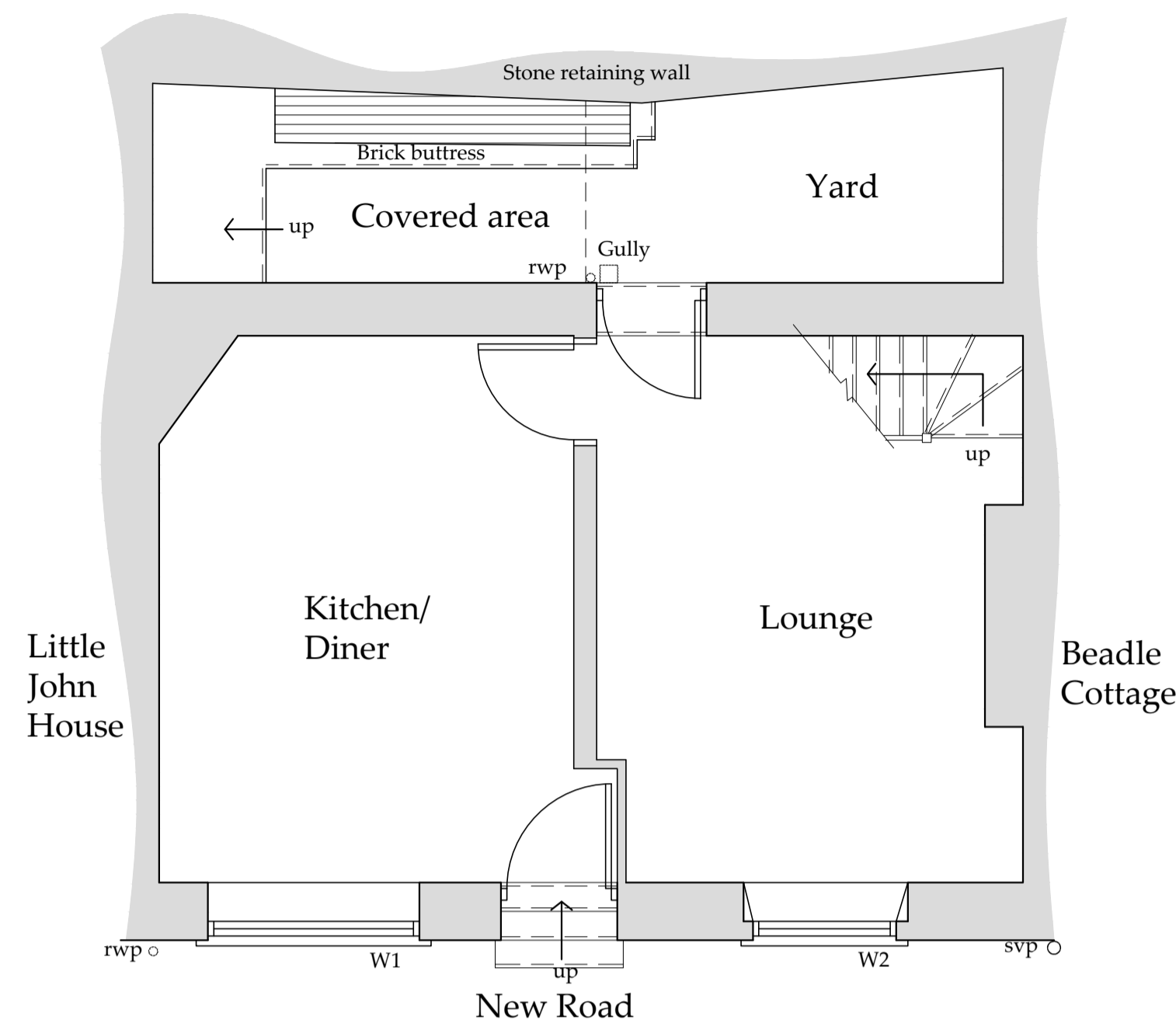
NYMNPA
 08/04/2020



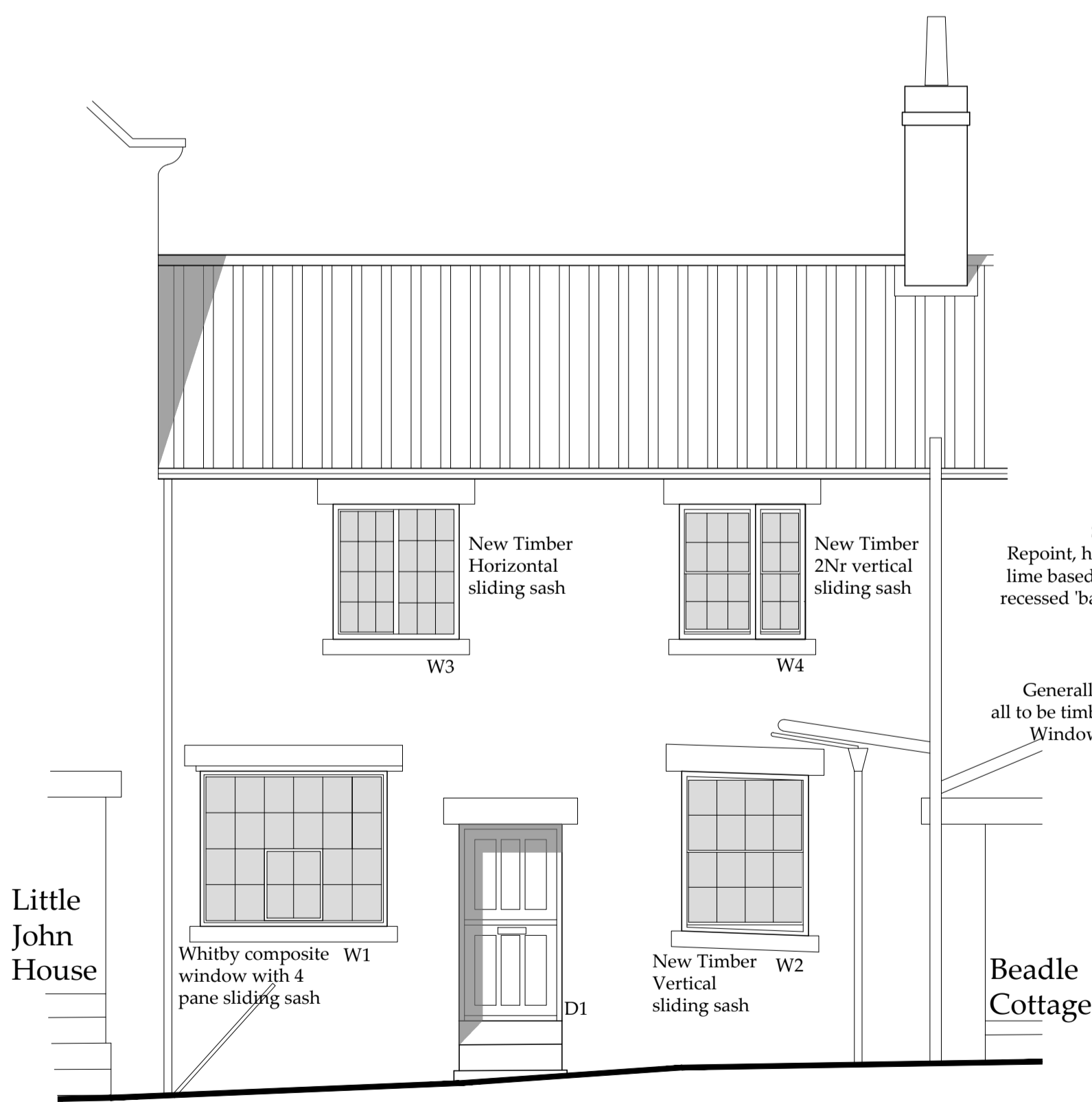
Front Elevation
 Scale 1:50



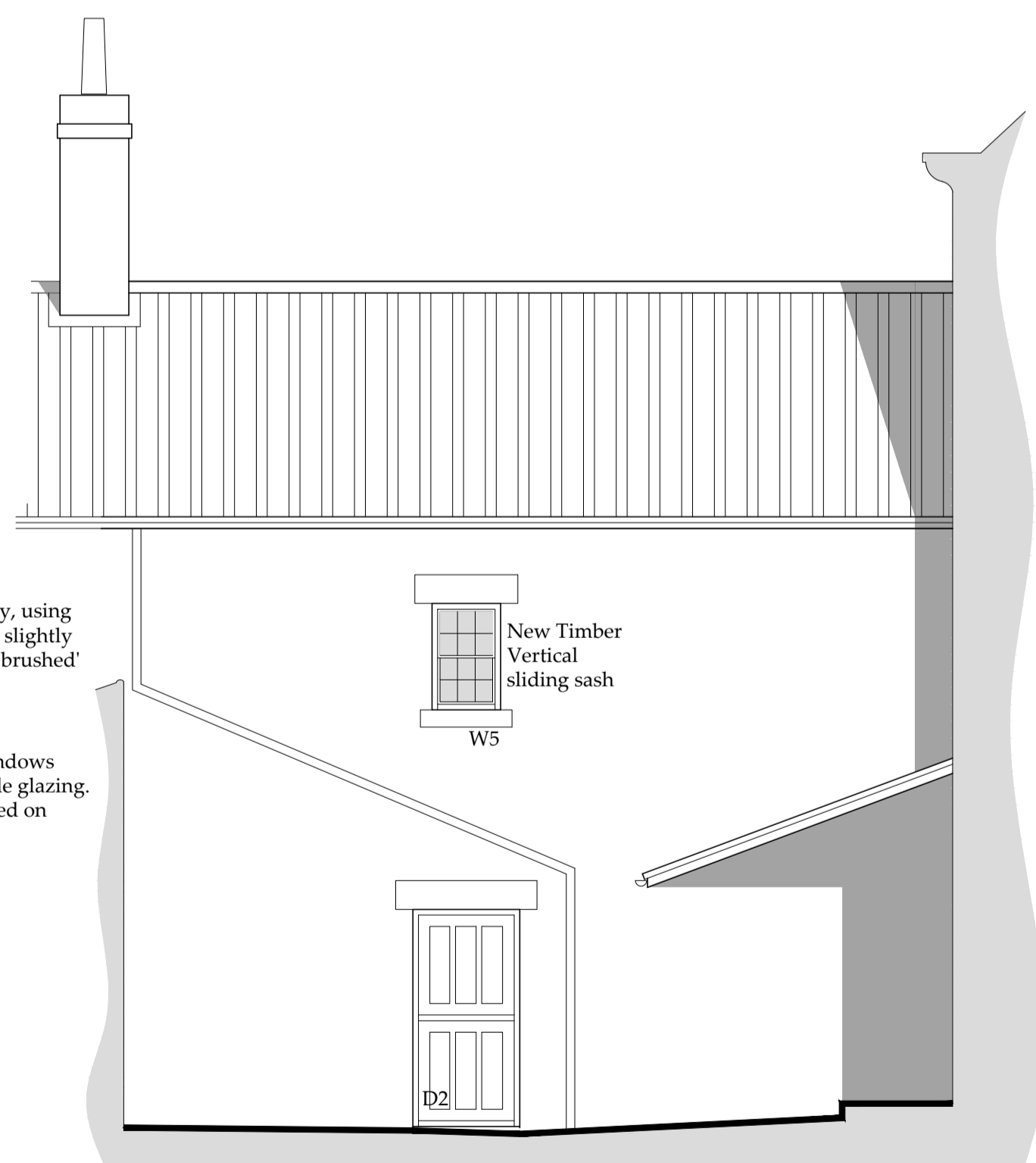
Rear Elevation
 Scale 1:50



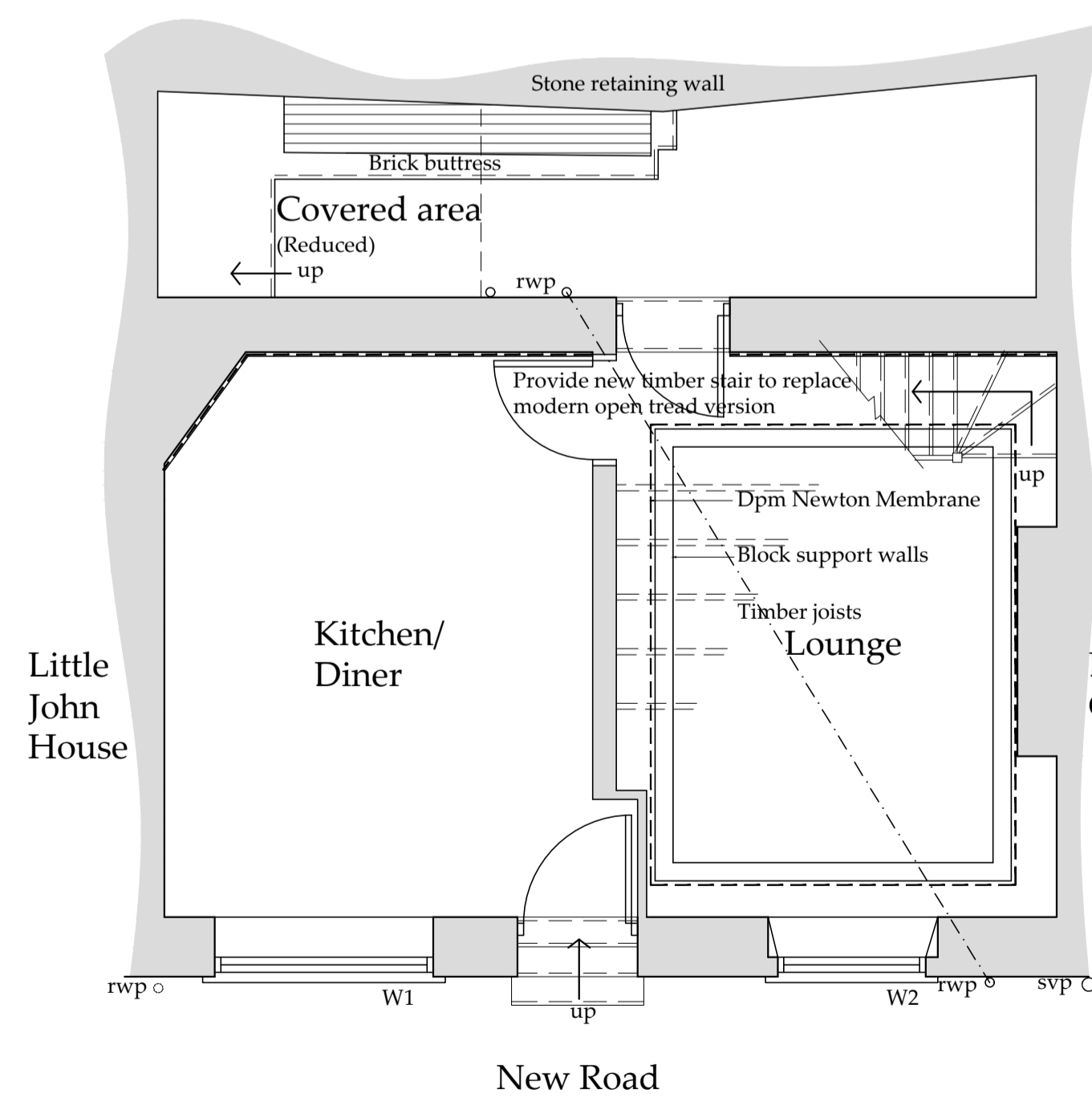
Ground Floor Plan
 Scale 1:50



Front Elevation
 Scale 1:50



Rear Elevation
 Scale 1:50



Ground Floor Plan
 Scale 1:50

Rear Yard
 To remain as existing with the addition of a free standing sauna.

Kitchen Dining Room
 The solid floor has been removed due to serious defects-See Engineers Report. It appeared to have been a modern replacement built off substandard fill.
 It is intended to provide a new floor. Floating timber boards, vapour barrier onto Flooring grade insulation onto concrete floor slab and dpm.
 Rear wall to be drylined with dpm behind lapped into floor dpm. System to be Newton Membrane allowing percolation on moisture, nothing applied to the wall.

Lounge
 The timber floor has been removed leaving a large sub floor void. The structural problems are noted on the Engineers reports which form part of the application. Photographs will also be provided. The historic erosion has left areas where the original wall foundation stones are left exposed.
 New Floor; Inset from the existing walls provide a foundation slab cast to form a structural base. From this construct concrete block walls up to the underside of floor level, backfill between the new concrete walls and the lower levels of the house walls to provide support, include a newton membrane dpm as above to protect the building from damp but allow it to naturally percolate away.

Structural elements must be to a structural engineers design.
 Span the void with a timber joist floor supported on the new concrete walls, infill between joists with insulation and line the top with timber floor boarding.
 Construction details to be provided, see 'schedule of works' and ensure Building Regulations are complied with

e x i s t i n g

p r o p o s e d

PLANNING ISSUE
 Initial Drawings for Client and Planning consideration only

Planning Schedule of Works to be provided

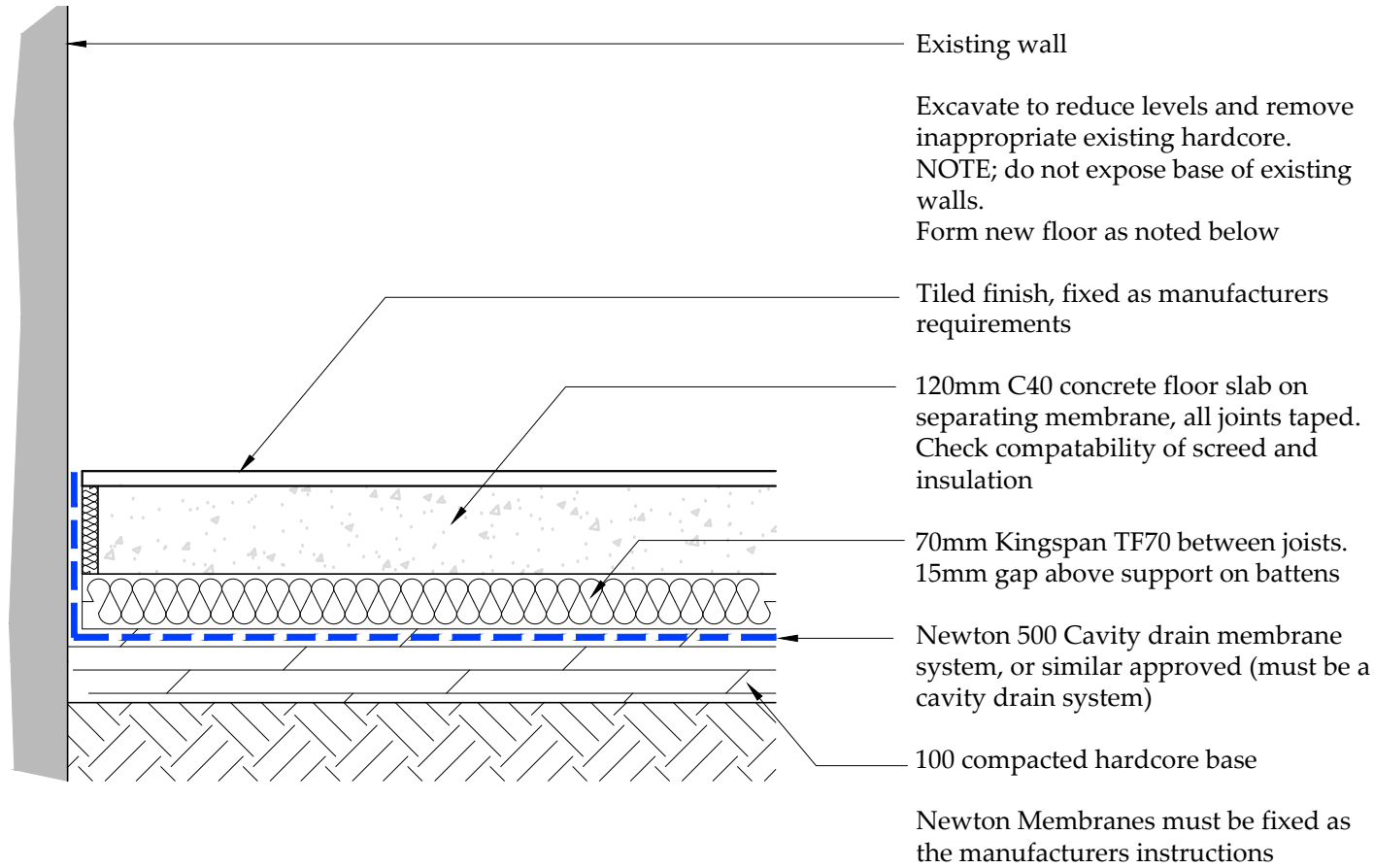
REV	DATE	BY	AMENDMENT
D	02/04/20	nid	Sauna Removed
C	24/02/20	CE	Sauna amended
B	04/02/20	CE	W1, all glazing and sauna.
A	11/11/19	CE	Issued for approval

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 E: general@bhdpartnership.com

CLIENT: **Mr J Kingham**
 PROJECT: **Refurb of Downhill Cottage New Road, Robin Hoods Bay**

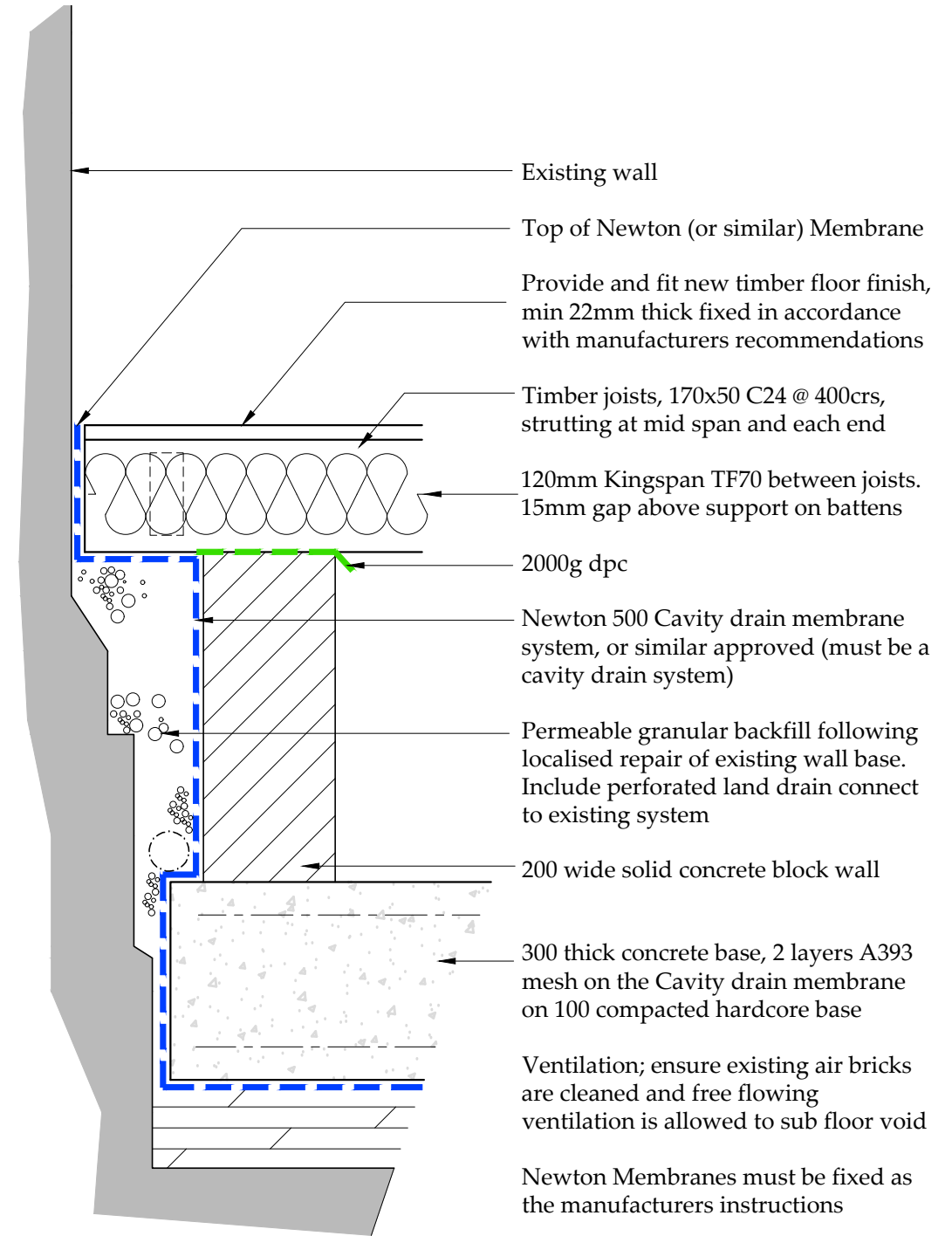
Drawing: **Existing and Proposed Elevations and Floor plans**

DRAWING STATUS: Preliminary	
DRAWN: C Eynon	CHECKED: N I Duffield
SCALE @ SIZE: 1:50@ A1	DATE: 11/11/19
DRAWING No: D11726-02	REV: D



○ Kitchen Floor detail
Scale 1:10

NYMNP
 08/04/2020



○ Lounge Floor detail
Scale 1:10

b h d partnership

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Tel: 01947-604871 Fax: 01947-600010
general@bhdpartnership.com www.bhdpartnership.com

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REV	DATE	BY	AMENDMENT	CHKD	APVD
A	02/04/20	nid	Issued for approval		

CLIENT: Mr J Kingham			
PROJECT: Downhill Cottage Main Rd Robin Hoods Bay YO22 4SF			
A3	DRN: NID	DATE: 02/04/20	
SCALE: As shown	ISSUE: Preliminary		

DRAWING TITLE: Proposed Floor construction	
DRAWING NR: D11726-05	REV: A