

Hawsker Hall Low Hawsker, Whitby, North Yorkshire, YO22 4LE



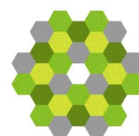
Site Plan shows area bounded by: 492096.49, 507415.62 492296.49, 507615.62 (at a scale of 1:1250), OSGridRef: NZ9219 751. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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# HM Land Registry Current title plan

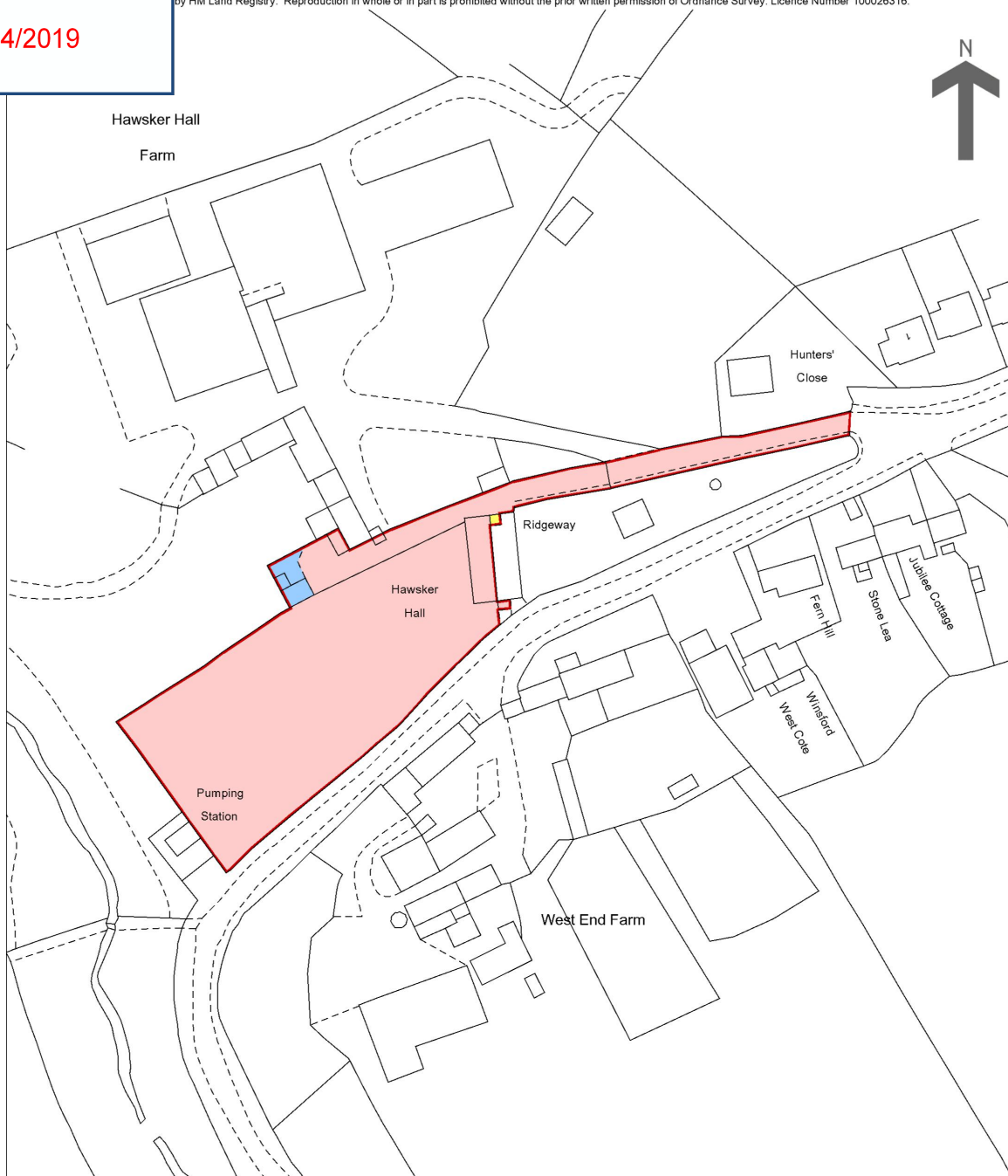
Title number **NYK257027**  
Ordnance Survey map reference **NZ9207NW**  
Scale **1:1250 enlarged from 1:2500**  
Administrative area **North Yorkshire : Scarborough**



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**NYMNP**

**30/04/2019**



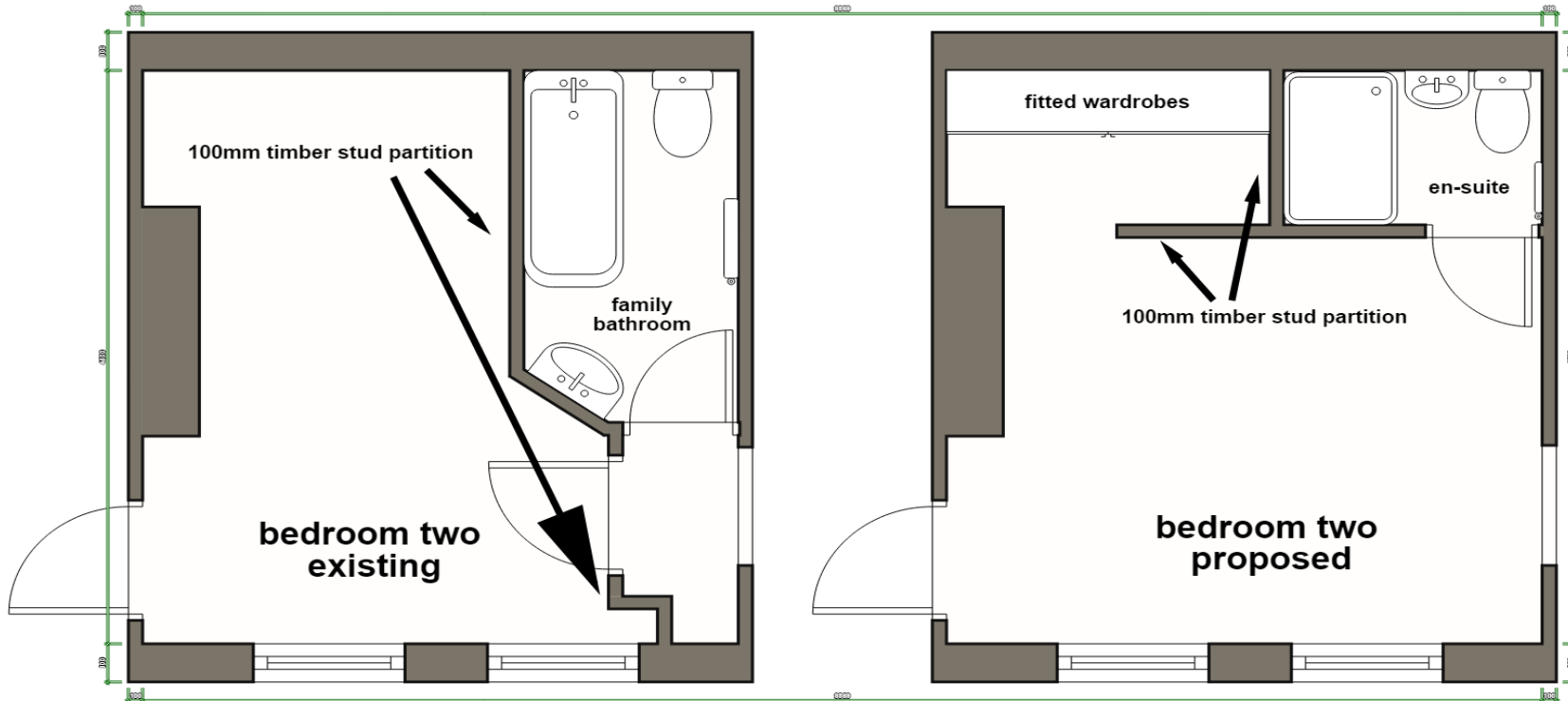
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This title is dealt with by HM Land Registry, Durham Office.

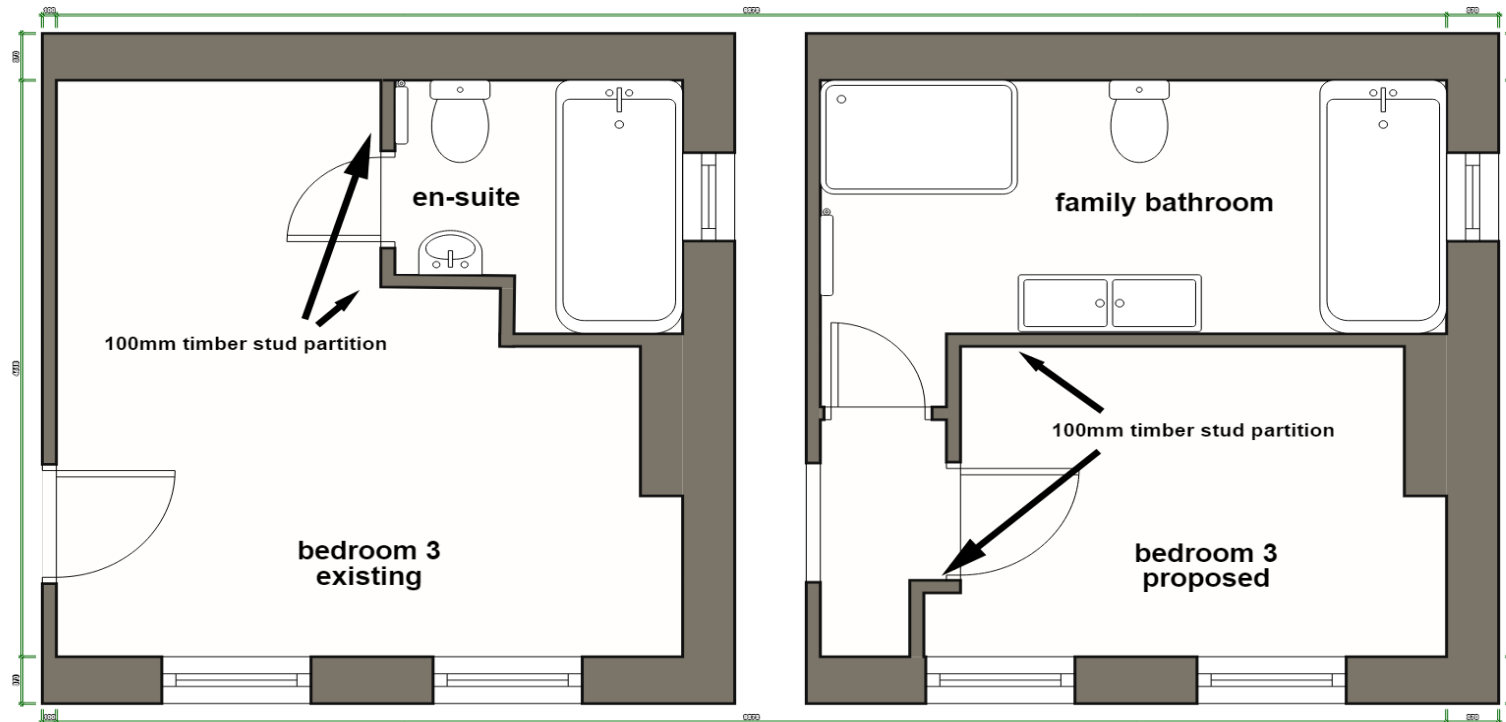
HAWSKER HALL LOW HAWSKER - LISTED BUILDING ALTERATIONS APPLICATION - DRAWING No 1 - BEDROOM 2



NOTES: application is to remove existing 100mm timber/plasterboard stud partitions and rebuild in new position in order to create a master bedroom & ensuite bathroom in place of the current small family bathroom & bedroom. The original period door will be reused within the plan & there will be minimal disruption to the original fabric with all current drainage & services being reused. A new suite minus bath will be installed. The new suite minus bath will be installed. The new stud partitions to be 100mm timber & plasterboard with insulated cavity and skim plaster finish. None of the existing stud walls are load bearing / structural, this will remain the case with the new layout. Fitted wardrobes to be installed in the bedroom area.

DRAWING No	1
DATE	4/29/2019
SCALE	1:50

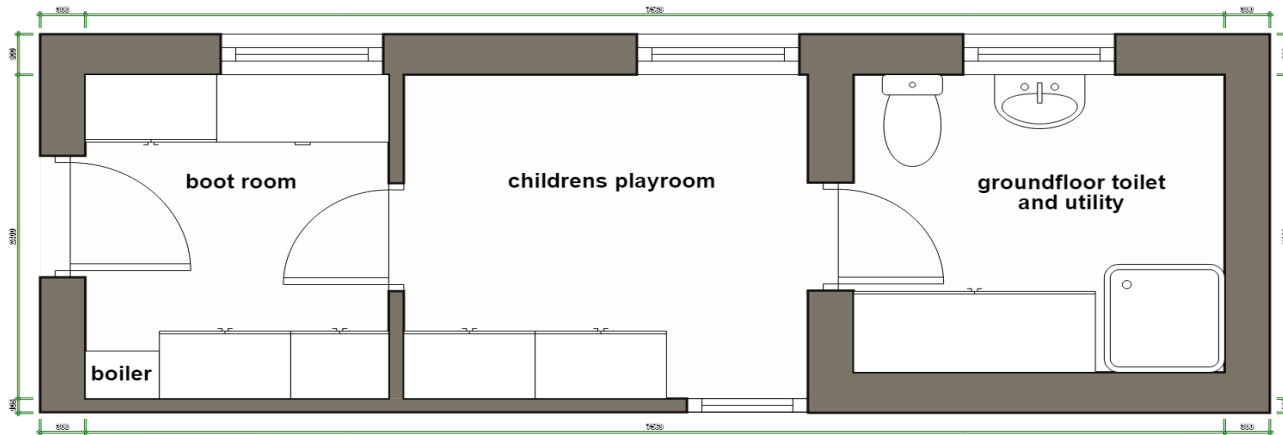
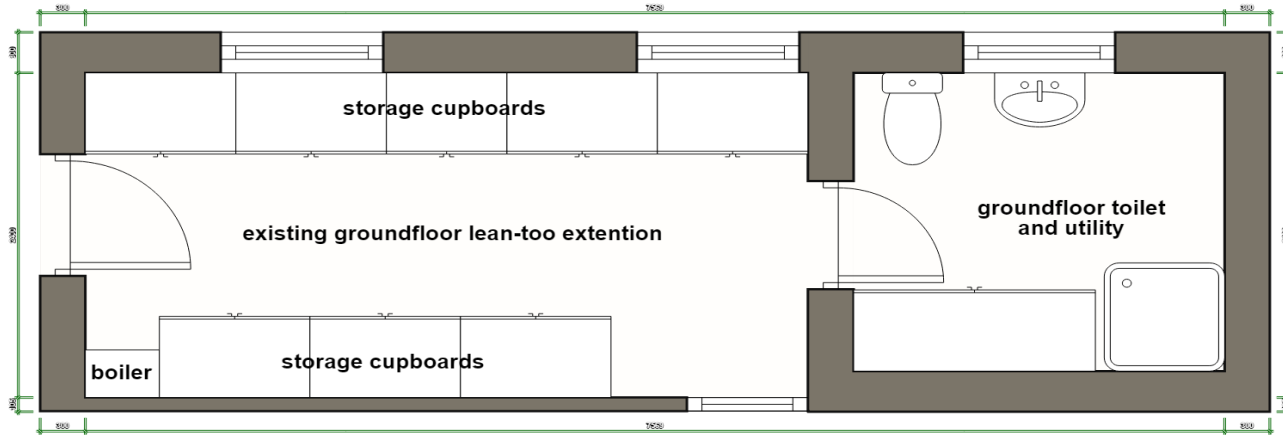
**HAWSKER HALL LOW HAWSKER - LISTED BUILDING ALTERATIONS APPLICATION - DRAWING No 2 - BEDROOM 3**



NOTES: application is to remove existing 100mm timber/plasterboard stud partitions and rebuild in new position in order to create a more useable sized family bathroom in place of the current en-suite. The original period doors will be reused within the plan & there will be minimal disruption to the original fabric with all current drainage/services being reused. A new suite will be installed in place of the old New stud walls to be 100mm timber/plasterboard with insulated cavity. None of the current stud partitions are load bearing / structural and this will remain the case with the new layout.

DRAWING No	2
DATE	4/29/2019
SCALE	1:50

**HAWSKER HALL LOW HAWSKER - LISTED BUILDING ALTERATIONS APPLICATION - DRAWING No 3 - LEAN-TO EXTENSION**



**NOTES:**

Application is to install a dividing stud partition wall with door to create a boot room and childrens play room within the existing 20th century single story lean-to extension. The stud to be constructed from timber/plasterboard & insulation with light plaster skim. Internal timber door to be installed. This will make the property better suited to rural family living as both spaces are adjacent to the existing ground floor toilet & utility. As the lean-to extension is of a much later date, there will be no disruption at all to the original old parts of the property.

DRAWING No	3
DATE	4/29/2019
SCALE	1:50