

**Alterations including replacement windows and door, rooflights and construction of 2 no. dormer windows (revised scheme to NYM/2017/0327/FL) at Round Hill House, 10 Main Road, Aislaby**

Condition Numbers:

NYMNPA

01/05/2019

1. The development permitted shall be commenced before the expiration of three years from the date of permission.
2. The development permitted shall be carried out in strict accordance of the following documents:
 

Document Description	Document No.	Date Received
Revised scheme to meet NYMNPA requirements or in accordance with any minor variation thereof that may be approved in writing by the Local Planning Authority.	PH2017 – Revision B	6 November 2018
3. The existing roof tiles will be re-used (any spares will be matched with second-hand tiles already sourced) and so shall match those of the existing building. If the roof tiles were found not to be sound, we would replace them with William Blythe hand-made Old English Pantiles.
4. The new external door frame and fanlight frame shall be of timber construction and painted in RAL 9010 off-white to match the windows (as agreed by Mark Hill). The new external door shall be of timber construction and painted in Mylands Leadenhall grey on the outside and RAL 9010 off-white on the inside. These will be painted within 6 months of installation.

We would like to ask for a minor variation to the door and attach new scale drawings of the door and frame section as well as the door panel section and the glazing bar detail on the fanlight we propose. The reason for this is that we chose to use a different joiner from the one who provided the original drawings and he pointed out that the Ogee detail on the original drawing was not in fact a traditional Ogee moulded door style. He believes that Edward Freedman who requested the Ogee detail would expect the door to be traditional, hence this amend. This is the only difference to the outside as the fanlight still has a putty style profile. We have changed the profile inside for both the front door panelling and the fanlight to better match the internal doors nearby – these will not of course be seen from the outside. We would also request that we are able to etch a number 10 within the central fanlight glass, leaving plain glass around it.

5. The rooflights to be installed shall all be conservation style rooflights as follows:  
All Velux grey conservation package windows – all individual windows consist of one MK04 top-hung roof window with a recessed flashing to ensure that the roof window is installed deeper into the roof. The grey exterior is RAL 7043.

We would like to ask for a minor variation to the front central rooflight to have the addition of one grey conservation glazing bar (not two as shown on the planning drawings as one will look more in keeping with a traditional window of this size).

The 2 larger rooflights shall consist of 2 x MK04 units (as detailed above) coupled with a 100mm gap.

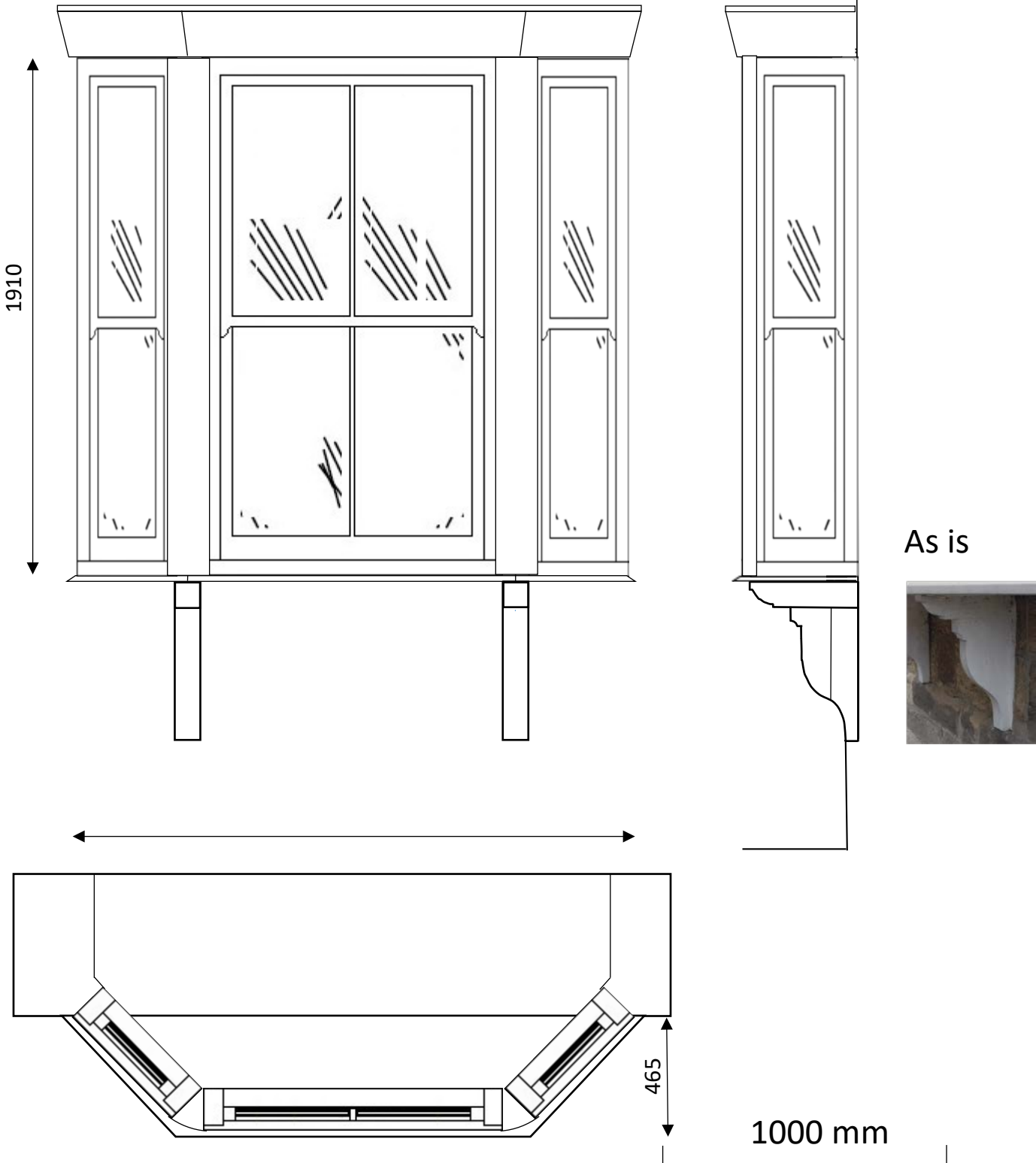
6. All doors and windows on elevations of the building(s) adjacent to the existing highway shall not for a height of 2.4m, open over the public highway and above 2.4m no part of an open door or window shall come within 0.5m of the carriageway.
7. We attach detailed plans showing constructional details and the external appearance of:
  - a. The profile of the cornice to the bay window
  - b. The brackets proposed to support the bay window – a structural engineer has provided structural calculations for the bay window brackets (see attached) and concluded that the existing 90 x 75 bearers are acceptable (ignoring any support from shaped brackets) to support the new windows.

The bearers may need extending further into the wall and fixing down to prevent overturning if necessary. The structural engineer recommended that; "the beams are as long as possible within the thickness of the existing wall – around 400mm would be good which would mean joining extension pieces onto the existing beams (screw fixings). The answer will become clear once the cill is removed to reveal the existing situation." This may already be in place but the cill could not be removed for inspection so when work commences, we will make sure that we check and follow the structural engineers advice.

As the current brackets are suitable for re-use, we would like to ask for a minor variation to the bow window as we will no longer add the 100mm insulation as we will be re-using the existing base structure. New scale drawing of the bow bracket and window attached.

We would also like to ask for a minor variation to the 3 windows on the side of the building (elevations East and West) to not have an astragal bar. The windows are small and the window fitter says they will look much better and much more in keeping without the astragal bar and match the side windows of the bay.

ALL dimensions MUST be checked on site prior to works commencing. Variations in squareness, depth of plaster etc., must be checked for.  
Where new walls are shown aligned with existing walls this must be checked by the physical removal of brickwork and or plaster to establish the actual position of the wall being attached to



Scale 1:20

Sash window construction – we propose to use traditional straight constructional timber jointing methods (mechanical joints) on the sash and frame with elegant, continuous jambs and milled run through sash horns, scribed decorative astragal bars as required and a deep bottom sash rail for true authenticity and charm.

Please refer to Genesis Brochures for detailed information.

10 Main Road  
Aislaby.

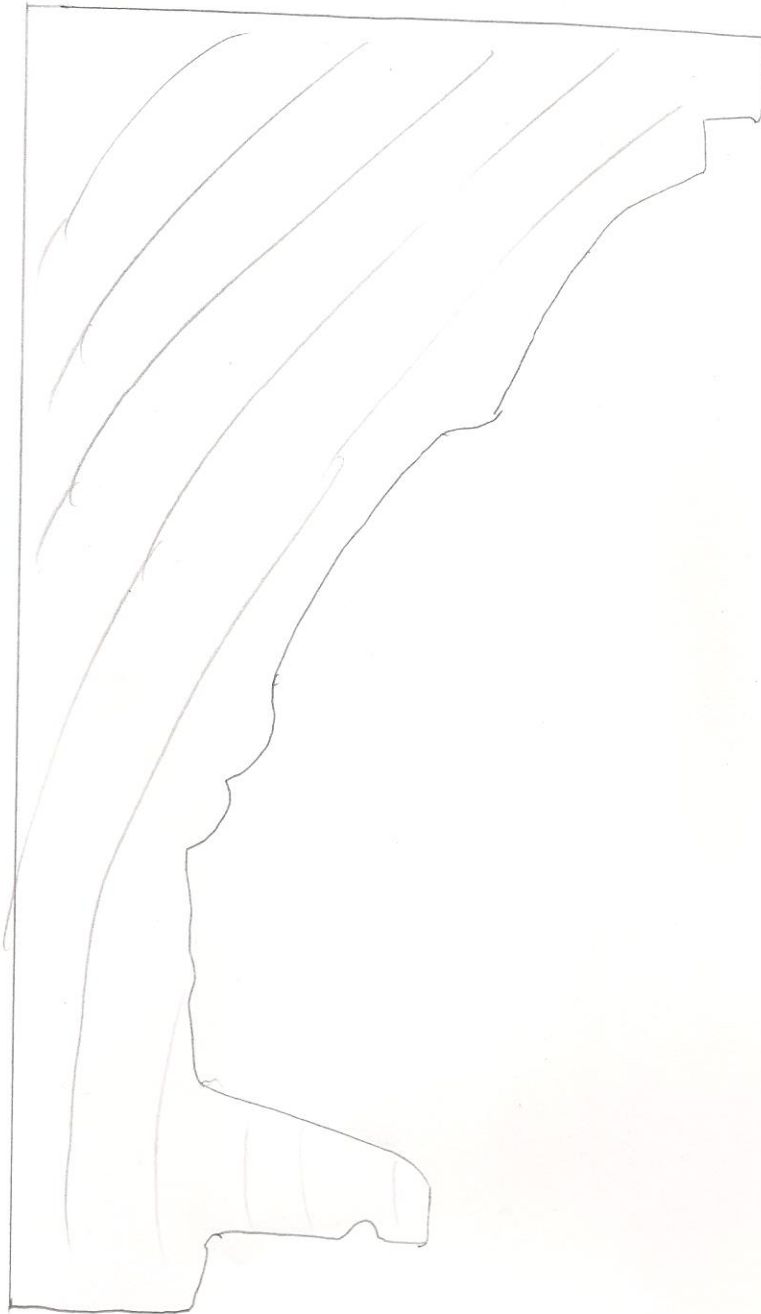
Cornice profile

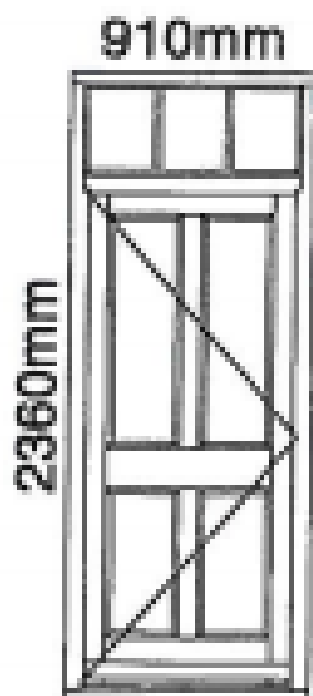
J HALLAM  
Joiner.

1:1 Scale

NYMNPA

01/05/2019





## Door & Frame

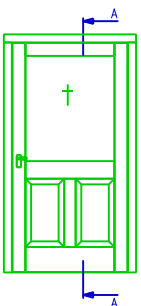
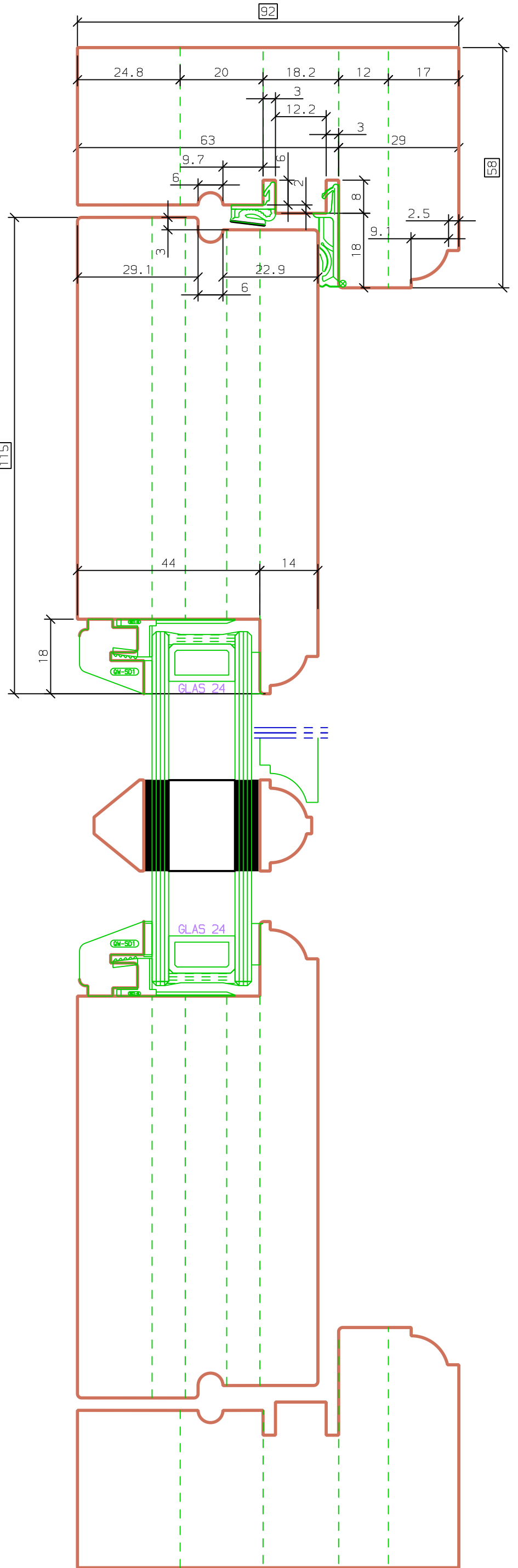
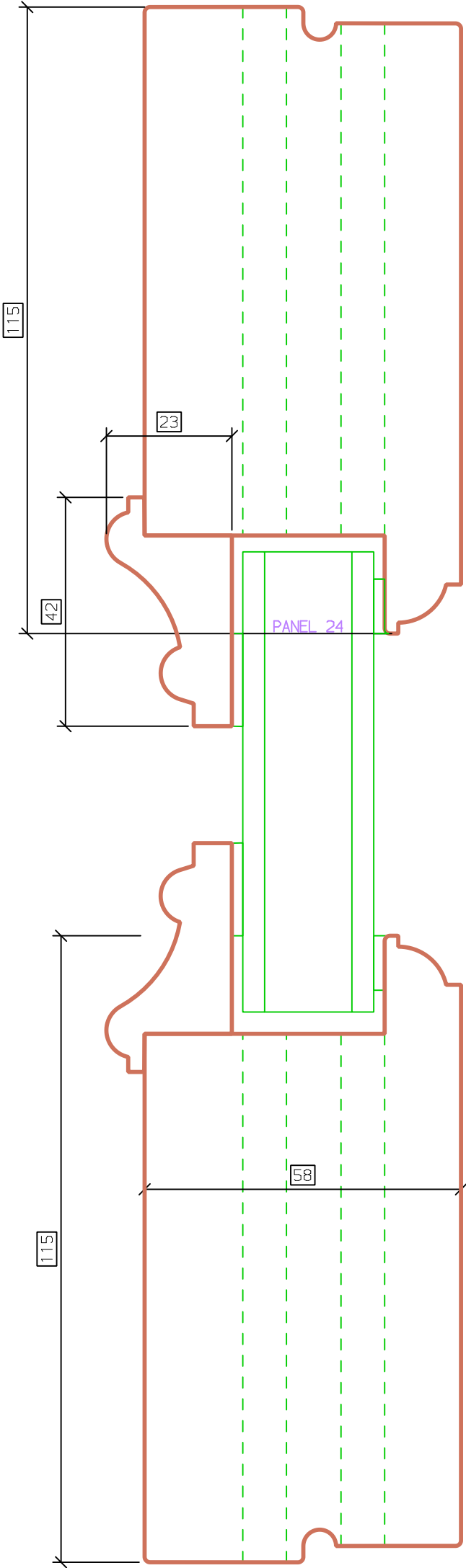
Standard door 58mm thick  
accoya

Insulated timber panel

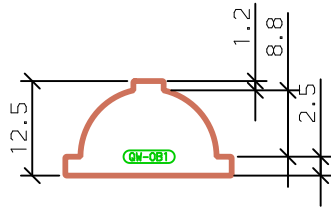
Planitherm Total +, Tough, Argon, SS, Clear, 4/16/4

TRADITIONAL FLUSH CASEMENT  
 BUTT HINGE - CASEMENT STAY  
 24MM GLASS

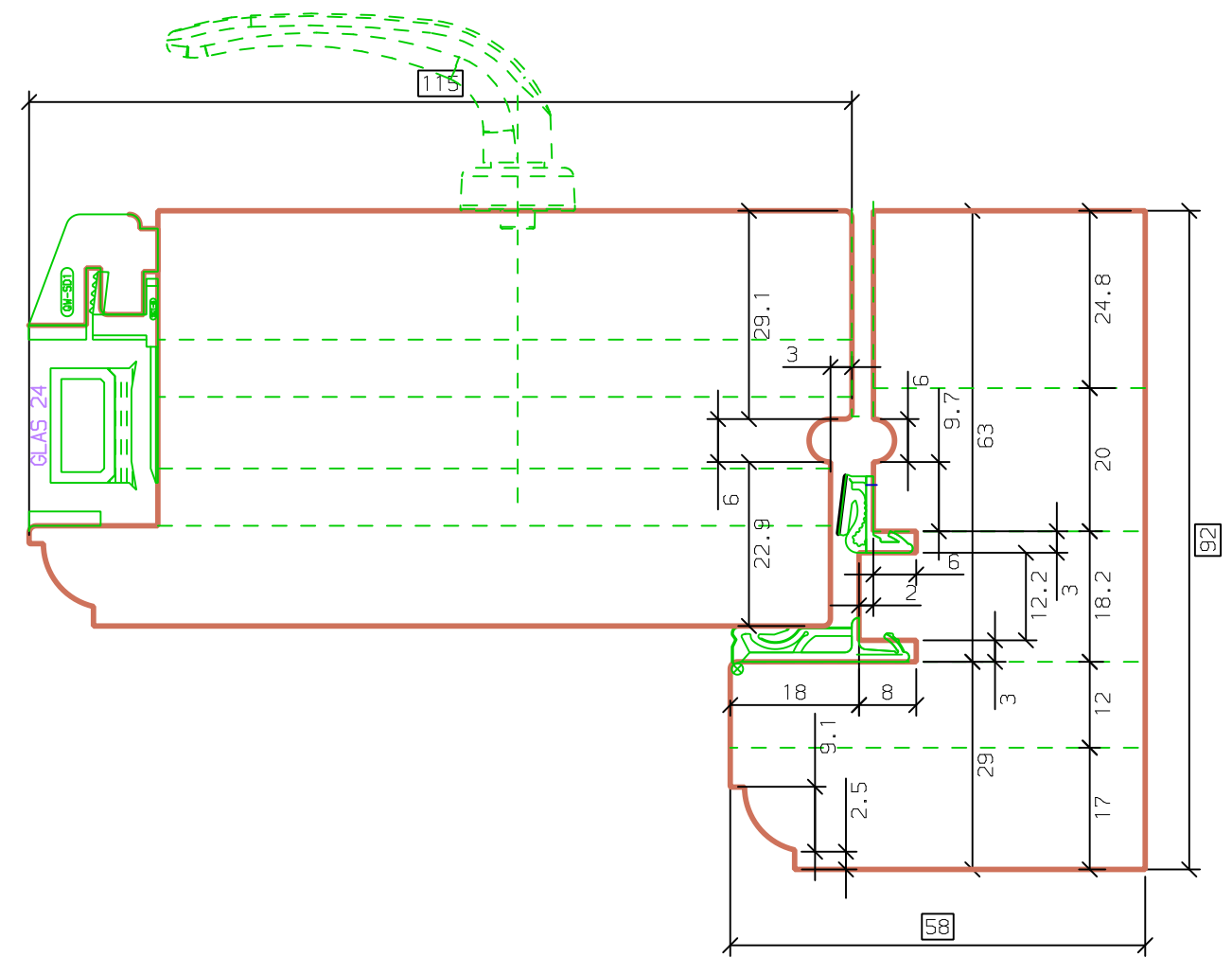
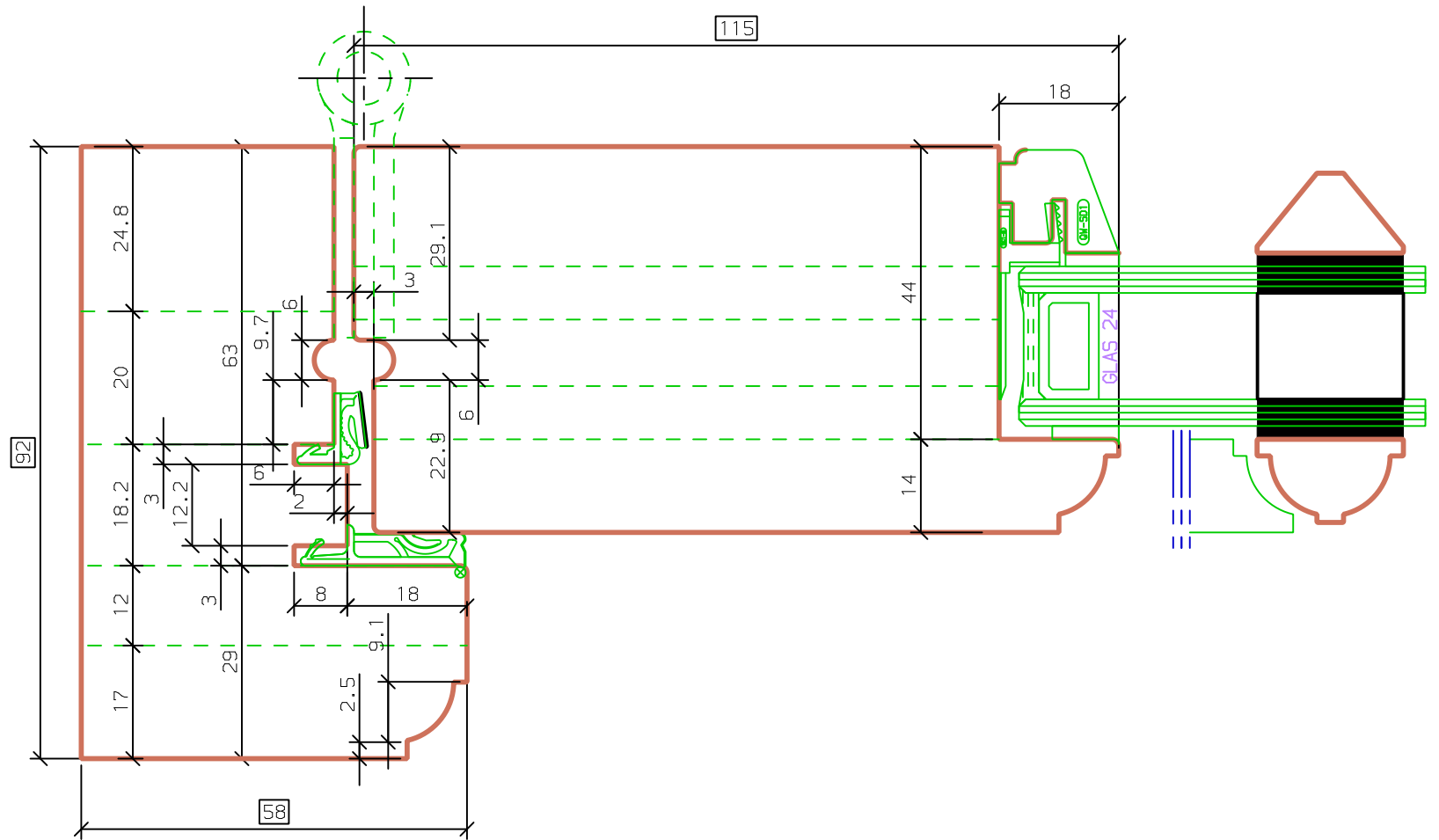
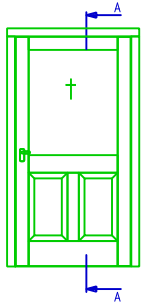
NYMNPA  
 01/05/2019



<b>OERTLI</b> Ers. d.: Ers. f.:	<b>HERITAGE CASEMENT - 92/58</b> <b>VERTICAL SECTION</b> <b>WINDOW LINE</b>		Maßstab 1:1 K-Nr. 1004722 K-Name OE-UK, JACK HALLAM JOINERY	A3 Gez. 01.03.19 Gepr.	BAA  QD 1520083 001 02 A



NYMNP  
01/05/2019



<b>OERTLI</b> Ers.d.: Ers.f.:	<b>HERITAGE CASEMENT - 92/58</b> <b>HORIZONTAL SECTION</b> <b>WINDOW LINE</b>	Maßstab 1:1	A3	Gez. 01.03.19	BAA
		K-Nr. 1004722		Gepr. .	
		K-Name OE-UK, JACK HALLAM JOINERY			
		<b>QD 1520083 002 02 A</b>			

# Colin Fenby Design & Consultancy Services

NYMNPA  
01/05/2019

6, Meadowlands Close,

Easington,

Saltburn

TS13 4PF

Date.. 7<sup>th</sup> FEB 2019

Structural Calculations for ;

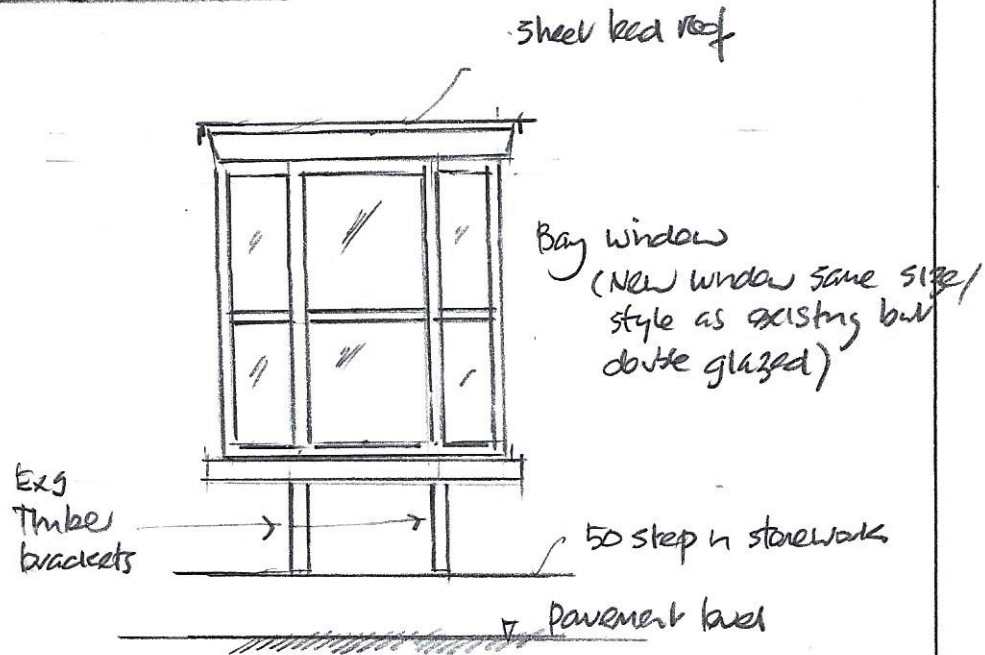
10 MAIN ROAD

AISLABY, WHITBY.

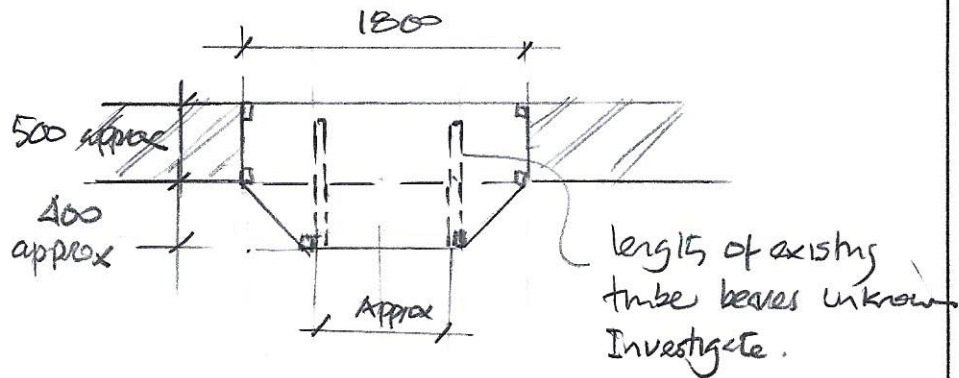
Colin Fenby , CEng, FICE, MStructE

10, Mani Road.  
Aislaby

To check support of new Double glazed front bay window

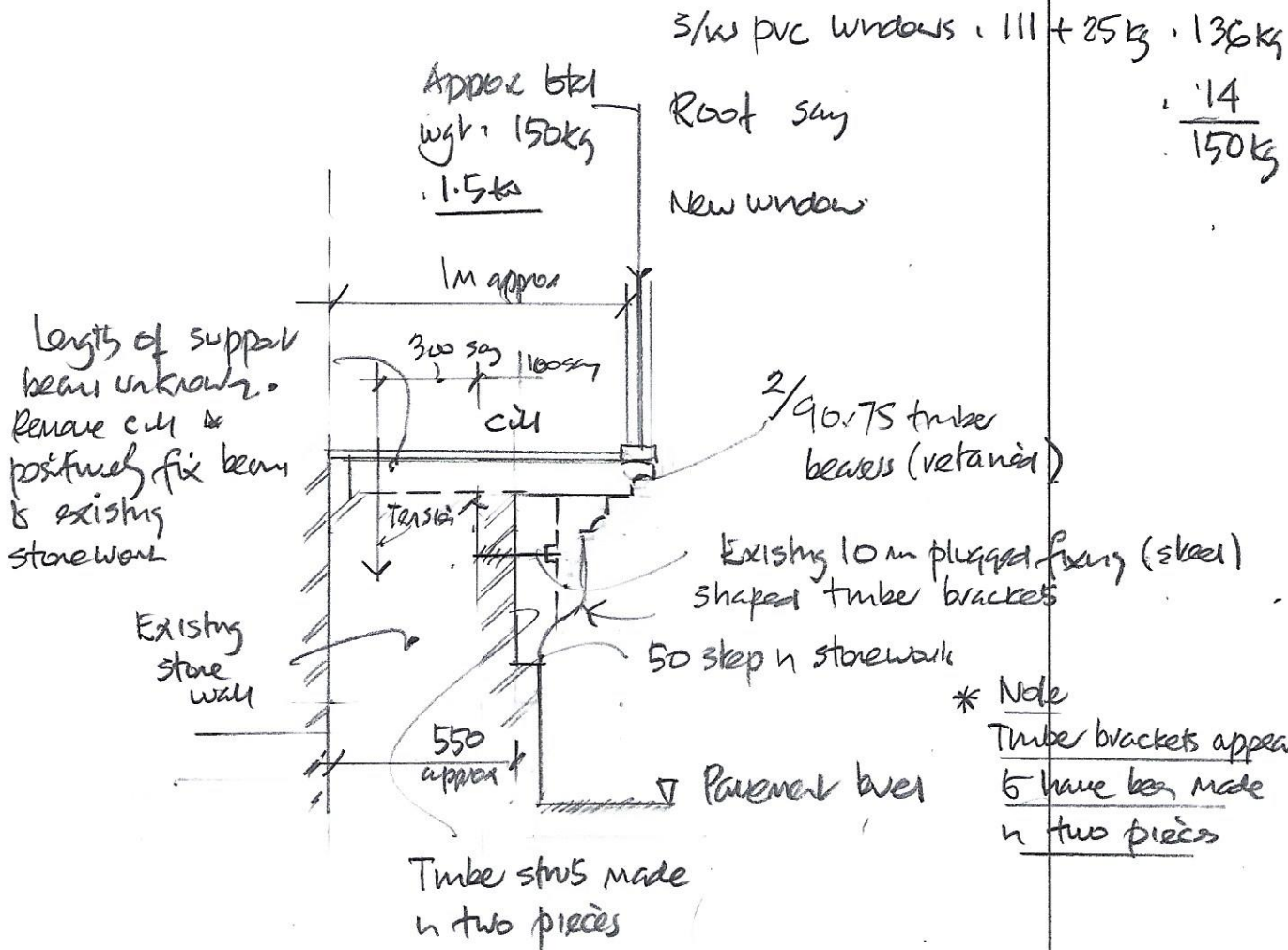


Front Elevation



PLAN





\* Note  
 Timber brackets appear to have been made in two pieces

Based upon assumed section above :-

Max overturning force,  $1.5 \times 0.3 = 1.2 \text{ kNm}$

Max tension/compression forces (ignoring existing steel dowel fixing) =  $\frac{1.2}{0.3} = 4 \text{ kN} = \underline{2 \text{ kN/bracket}}$

Recommendations :-

- Remove cill
- check timber beams below.
- Extend if necessary & positively fix down to prevent overturning of window frame.
- Repoint / seal around existing beams to prevent water ingress

\* Note  
 Proposals may need to be modified depending on what is below the cill

Division

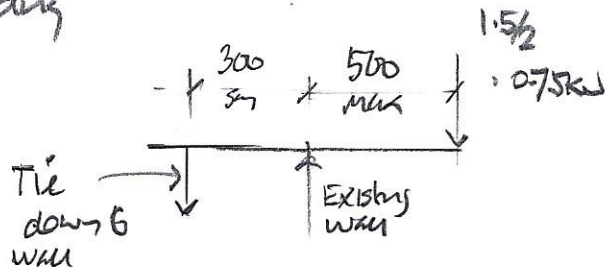
Prepared  
by

Date

Title of Scheme

Job No.

Check existing/extended timber beams in  
bending



$$M_u = 0.75 \times 0.5 = 0.38 \text{ kNm}$$

For  $90 \times 75$

$$f_{bx} = \frac{0.38 \times 10^6}{101 \times 10^3} = 3.8 \text{ N/mm}^2$$

Assume softwood, grade C16

$$f_{bx} = 5.3 \text{ N/mm}^2 \text{ OK} > 3.8 \text{ N/mm}^2$$

• Conclusion :-

Existing  $90 \times 75$  beams acceptable (ignoring any support  
for new beds but my need from shaped brackets)

extending further into the wall

(Decisions required after fixing up  
of timber cill.)

Checked by

Date

Approved by

Date

**Town and Country Planning Act 1990  
North York Moors National Park Authority**

**Notice of Decision of Planning Authority on Application for  
Permission to Carry out Development**

To: Mr Piers Harold  
Round Hill House  
10 Main Road  
Aislaby  
Whitby  
YO21 1SW

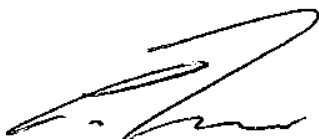
The above named Authority being the Planning Authority for the purposes of your application validated 13 November 2018, in respect of proposed development for the purposes of **alterations including replacement windows and door, rooflights and construction of 2 no. dormer windows (revised scheme to NYM/2017/0327/FL) at Round Hill House, 10 Main Road, Aislaby** has considered your application and has **granted** permission for the proposed development subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.
2. The development hereby permitted shall not be carried out other than in strict accordance with the following documents:

<b>Document Description</b>	<b>Document No.</b>	<b>Date Received</b>
Revised scheme to meet NYMNP requirements	PH2017- Revision B	6 November 2018

or in accordance with any minor variation thereof that may be approved in writing by the Local Planning Authority.
3. The roof tiles utilised in carrying out the development hereby permitted shall match those of the existing building unless otherwise agreed in writing with the Local Planning Authority.
4. All new external doors and door frames shall be of timber construction, painted off white ral shade within six months of the date of installation and shall be maintained in that condition in perpetuity, unless otherwise agreed in writing with the Local Planning Authority.
5. The rooflights to be installed in the development hereby permitted shall be a conservation style rooflight unless otherwise agreed in writing with the Local Planning Authority.
6. All doors and windows on elevations of the building(s) adjacent to the existing and/or proposed highway shall be constructed and installed such that from the level of the adjacent highway for a height of 2.4 metres they do not open over the public highway and above 2.4 metres no part of an open door or window shall come within 0.5 metres of the carriageway. Any future replacement doors and windows shall also comply with this requirement.

Continued/Conditions



Mr C M France  
Director of Planning

Date 08 January 2019

**Please Note your Rights of Appeal are attached to this Decision Notice**

Town and Country Planning Act 1990

Continuation of Decision No. NYM/2018/0726/FL

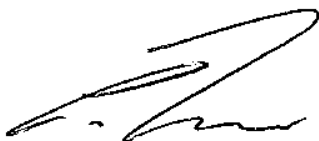
- 7 No work shall commence on the installation of the bay window in the development hereby approved until detailed plans showing the constructional details and external appearance of a) the profile of the cornice to the bay window b) the brackets proposed to support the bay window have been submitted to and approved in writing by the Local Planning Authority. They installed in accordance with the details so approved and shall be maintained in that condition in perpetuity unless otherwise agreed in writing with the Local Planning Authority.

**Reasons for Conditions**

1. To ensure compliance with Sections 91 to 94 of the Town and Country Planning Act 1990 as amended.
2. For the avoidance of doubt and to ensure that the details of the development comply with the provisions of NYM Core Policy A and NYM Development Policy 3, which seek to conserve and enhance the special qualities of the NYM National Park.
3. For the avoidance of doubt and in order to comply with the provisions of NYM Core Policy A and NYM Development Policy 3 which seek to ensure that building materials are of a high quality and compatible with the character of the locality and that the special qualities of the National Park are safeguarded.
- 4 & 5. For the avoidance of doubt and in order to comply with the provisions of NYM Core Policy A and NYM Development Policy 3 which seek to ensure that the appearance of the development is compatible with the character of the locality and that the special qualities of the National Park are safeguarded.
6. In accordance with NYM Development Policy 23 and to protect pedestrians and other highway users.
7. For the avoidance of doubt and in order to comply with the provisions of NYM Core Policy A and NYM Development Policy 3 which seek to ensure that the appearance of the development is compatible with the character of the locality and that the special qualities of the National Park are safeguarded.

**Explanation of how the Authority has Worked Positively with the Applicant/Agent**

The Authority's Officers have appraised the scheme against the Development Plan and other material considerations and confirmed to the applicant/agent that the development is likely to improve the economic, social and environmental conditions of the area.



Mr C M France  
Director of Planning

Date 08 January 2019

## Rights of Appeal

- (1) If the applicant is aggrieved by the decision of the Local Planning Authority to refuse permission or approval for the proposed development, or to grant permission or approval subject to conditions, they may appeal to the Secretary of State of Department of Communities and Local Government in accordance with Section 78 of the Town and Country Planning Act 1990, within six months of the date of this notice (12 weeks in the case of a minor commercial application). The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal. The Secretary of State need not consider an appeal if it seems to the Secretary of State that the Local Planning Authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.

In practice, the Secretary of State does not refuse to consider appeals solely because the Local Planning Authority based their decision on a direction given by him.

- (2) If permission to develop land is refused, or granted subject to conditions, whether by the Local Planning Authority or by the Secretary of State, the owner of the land may claim that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the council of the county/district in which the land is situated a purchase notice requiring that council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990.

Note: If an aggrieved applicant wishes to exercise their right of appeal as above mentioned, they should do so using a form which you can get from the Secretary of State at:

**Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN (Tel: 0303 444 00 00) or online at [www.planningportal.gov.uk/planning/appeals](http://www.planningportal.gov.uk/planning/appeals)**

### Notes

1. Please note, only the applicant possesses the right of appeal.
2. No consent, permission or approval hereby given absolves the applicant from the necessity of obtaining the approval, under the Building Regulations, of the District Council in whose area the site of the proposed Development is situated; or of obtaining approval under any other Bye-Laws, local Acts, orders, regulations and statutory provisions in force; and no part of the proposed development should be commenced until such further approval has been obtained.
3. In your own interests your attention is particularly drawn to the conditions under which approval has been given to your proposals. Failure to comply fully with the conditions could lead to enforcement action resulting in work already done being demolished or prosecution in Magistrates' Court.
4. If this is a decision on a planning application relating to the same or substantially the same land and development as is already the subject of an enforcement notice, if you want to appeal against your Local Planning Authority's decision on your application, then you must do so within 28 days of the date of this notice.
5. If an enforcement notice is served relating to the same or substantially the same land and development as in your application and if you want to appeal against your Local Planning Authority's decision on your application, then you must do so within: 28 days of the date of service of the enforcement notice, or within 6 months (12 weeks in the case of a householder appeal) of the date of this notice, whichever period expires earlier.



## Applications for Minor Works

For applications for small-scale works of a minor nature a lesser amount of information may be required within a Heritage Statement to understand the impact of the proposed works on the significance of a heritage asset. Examples where a reduced amount of information is required could include the erection of a satellite dish on a Listed Building or within a Conservation Area; the replacement of windows or doors on a non-Listed Building within a Conservation Area; or the replacement of a modern fireplace with a more traditional design in a Listed Building.

In these cases applicants may prefer to submit a Heritage Statement in a table format that incorporates the following headings:

What is significant about the heritage asset?	What works are proposed?	What impact do the works have on the part of the heritage asset affected?	How has the impact of the proposals been minimised?
<p>Number 10, Main Road is a substantial stone built house dating around 1825. It is typical of the older properties within Aislaby which is a heritage village consisting of many old, traditional dwellings and more modern units within the North Yorkshire Moors National Park.</p> <p>There is a thriving inn and good community spirit.</p> <div data-bbox="95 753 308 853" style="border: 1px solid black; padding: 5px; margin-top: 20px;"> <p style="text-align: center;">NYMNP 22/05/2019</p> </div>	<ol style="list-style-type: none"> <li>1. Removal and reinstatement of roof and roof lights to facilitate asbestos removal. Reinstatement original tiles or replace like for like.</li> <li>2. Replacement of all front and side elevation false, top opening sash windows with more traditional vertical sliding sash windows (including the bay). To maintain the buildings traditional appearance, these would be Genesis Sliding Sash uPVC windows which are highly detailed, in a sympathetic, lightly grained off-white foil (to match the other houses in the row).</li> <li>3. Construction of two Victorian style dormer windows to replace the end two roof lights on the front elevation in keeping with the older properties nearby with two dormers. These would have Genesis sliding sash windows to the front as above, with uPVC fascias and barge boards, sitting centrally on the roof plane and in line with the windows below.</li> <li>4. Replacement of the central Velux style roof light with a Conservation roof light on the front elevation.</li> <li>5. Addition of a coupled roof light to the rear elevation to give natural light to a staircase and the replacement of an existing roof light with a coupled unit, the same size as the new one.</li> <li>6. Replacement of the front door and fanlight. Replacement like for like in wood except for the profiling which will be more traditional and the fanlight glass which will be double (not single) glazed.</li> <li>7. The regularisation of the bay window which was changed many years ago and out of time as far as a planning is concerned.</li> <li>8. The addition of lead flashing where required.</li> </ol>	<ol style="list-style-type: none"> <li>1. The roof will look the same upon reinstatement using the same tiles.</li> <li>2. The appearance of the house and look of the windows will be improved from what is currently there and more in keeping, with the addition of more traditional vertical sliding sash windows. The materials used and high detailing will ensure that the appearance of the house remains as traditional as possible.</li> <li>3. The design of the Victorian style dormers is more traditional and an improvement on the current Velux style roof lights. They are in keeping with the older properties nearby with two dormers and with the style of the property. They are found throughout the North Yorkshire Moors National Park. They will be highly detailed and provide a balanced look to the front elevation, complementing and matching the sash windows on the front elevation below. They will sit centrally on the roof plane and in line with the windows below.</li> <li>4. The existing central roof light on the front elevation is non-traditional and of a Velux style. We wish to replace this with a more traditional Conservation roof light. This will sit lower to the roof line so be less visible and again, represent an improvement to what is currently there and to the roof line.</li> <li>5. The rear facing skylights aren't visible from the main road.</li> <li>6. The door and fanlight will have a more traditional profile in keeping with the house.</li> <li>7. The regularisation of the bay window completes planning. The lead flashing will be replaced like-for-like to look as similar as possible to now and the supporting brackets will remain. The original moulded wooden cornice will be used if able or replaced with as close a profile to the existing as possible. The stone lintel above is an important feature and will remain visible as now.</li> <li>8. The addition of lead flashing is to prevent the ingress of water and ensure that the building remains in good repair.</li> </ol>	<p>We would like the appearance of the house to remain as traditional as possible (with Genesis Sliding Sash uPVC vertical sliding sash windows in highly detailed materials with traditional straight constructional timber jointing methods (mechanical joints) used on the sash and frame, with elegant continuous jambs and milled run through sash horns, scribed decorative astragal bars as required and a deep bottom sash rail for true authenticity and period charm in a sympathetic, lightly grained off-white foil colour scheme (to match the other houses in the row) which is highly durable.</p> <p>The more traditional vertical sliding sash windows and Victorian style dormer design are in keeping with the older properties nearby and are found throughout the North Yorkshire Moors National Park. We believe that two dormers will provide a balanced look to the front elevation, sit centrally on the roof plane and present an architecturally 'polite' change that would not harm the overall proportions of the front elevation or its setting.</p> <p>We meticulously researched the local area and found a Victorian style dormer which we felt was in keeping with a Heritage area. We amended the style slightly to be more in keeping with our house and the materials we propose to use.</p> <p>The Conservation roof light is also more traditional and will sit lower to the roof line, again representing an improvement.</p> <p>We have consulted and followed advice in full from Mark Hill and Edward Freedman at every stage and on all aspects of these proposals. Chris France and Mark Hill consider they all represent improvements to the house and recommend Authority approval.</p>

Please note that it is the applicant's responsibility to submit sufficient information with their application to understand the impact of the proposals on the significance of any heritage assets affected. If you are in any doubt about the extent of information that is required and to avoid delays in validating your application please contact the relevant Officers to discuss this prior to submission.

*continued overleaf.....*