

NYMNPA

08/05/2019

From:
Sent: 08 May 2019 14:45
To: Planning
Cc: Hilary Saunders
Subject: Brickyard Cottage, Ravenscar - NYM/2019/0230/FL

Good afternoon Hilary

I write in connection with the above planning application with specific regard to the consultation response kindly provided by Elspeth Ingleby in relation to Section 3 Moorland.

We are pleased to have the opportunity to respond to those comments and along with this please find attached an amended plan which seeks to make changes to move the hardstanding area and therefore maintain conservation resources where possible across the site. For clarity the plan highlights key areas such as existing external walling, hard surfacing and the areas for redevelopment.

The link below provides access to the Cloud and access to a zipped file which contains high resolution photographs which are from a trustworthy source.

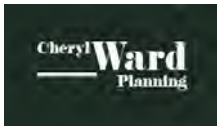
I trust that you will find the information useful and that it will be sufficient to answer the Ecologists queries. Should you require any further from us we will do all that we can to assist.

Kind regards

Cheryl Ward

Cheryl Ward Planning
MSc MRTPI

W: www.cherylwardplanning.co.uk
Referrals welcomed



Forming a commitment to stay with you from the beginning to the end of your planning venture

NYMNPA

08/05/2019



COURSE OF OLD TRACK

TURNING AREA CREATED

EXISTING
HARDSTANDING

ADDITIONAL
HARDSTANDING

THIS AREA CONTAINS
BURIED RUBBLE,
TO BE RECLAIMED
FOR WALLING.

CURRENT
TURNING AREA

PATH

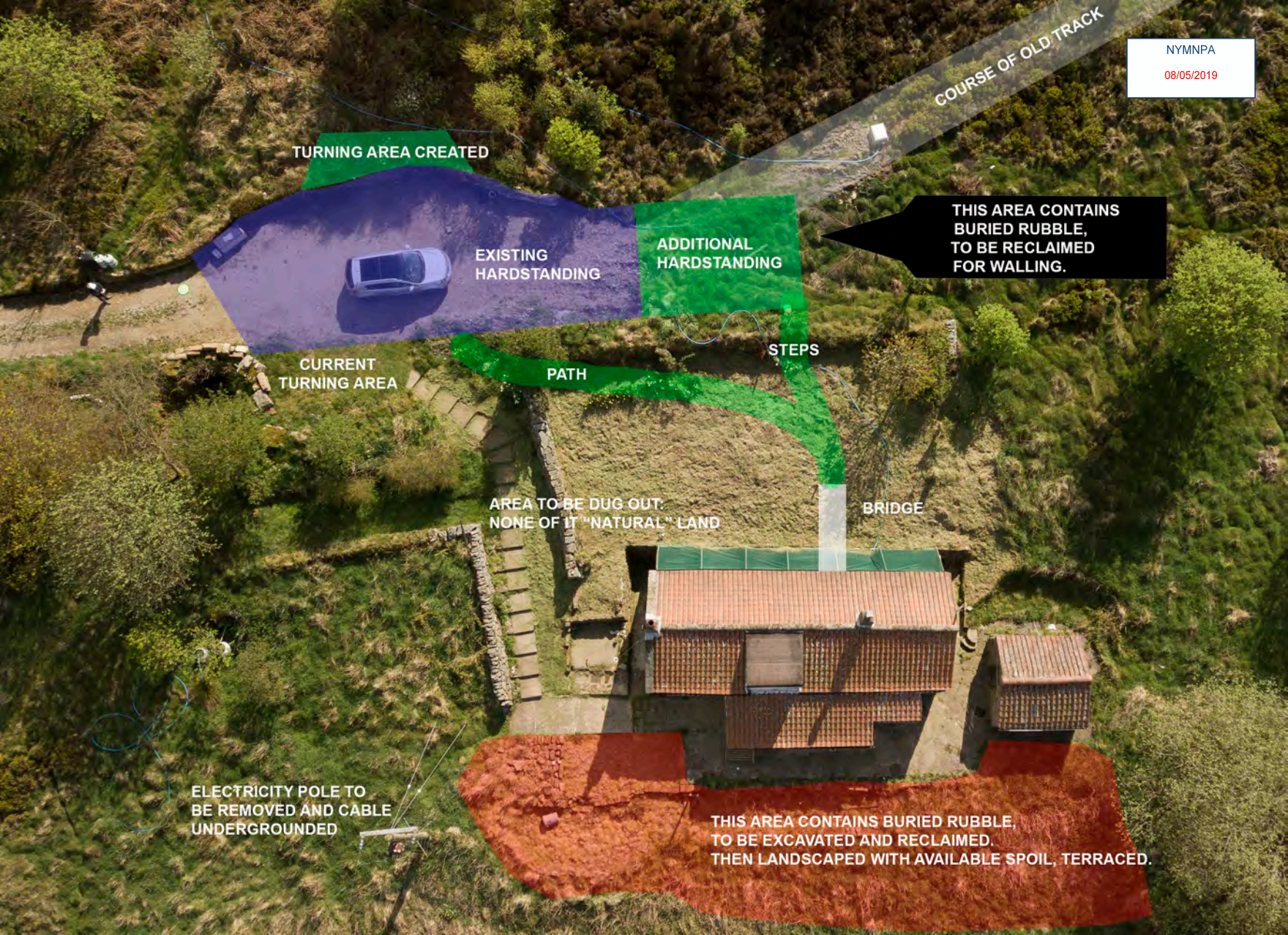
STEPS

AREA TO BE DUG OUT:
NONE OF IT "NATURAL" LAND

BRIDGE

ELECTRICITY POLE TO
BE REMOVED AND CABLE
UNDERGROUNDED

THIS AREA CONTAINS BURIED RUBBLE,
TO BE EXCAVATED AND RECLAIMED.
THEN LANDSCAPED WITH AVAILABLE SPOIL, TERRACED.



NYMNP

08/05/2019



NYMNP

08/05/2019





old maps.com
not for commercial use

Brickyard Cottage



Brickyard Cottage, Ravenscar (formerly Rock Head) – NYM/2019/0230/FL

Additional information - Section 3 Moorland

The LPA's Ecologist has stated that further information should be provided regarding the proposed landscaping scheme around the property and how the applicant will protect and support the grass moorland priority habitat and minimise impact on the Section 3 Moorland landscape.

In response to this: - please find amended plan P02 01 Rev C @ A3.

1. Parking area

The amended plan shows that the proposed hardstanding will be omitted, and the current hardstanding will now be adapted by extending it to the west rather than creating a new designated parking area. This is the line of an old track shown on the 1928 map (below) It is confirmed that this area contains buried rubble (perhaps from previous property renovations). Wherever possible materials salvaged from this area would be reclaimed and used for walling on the site.

In this respect, moving the hard standing will therefore not disturb the natural landscape and/or Section 3 Moorland.

On the southern edge of the existing access/turning area is a retaining wall which curves into the hillside. This would be re-shaped into a more viable turning area, rebuilt with block and reclaimed stone and a land drain will be added behind. The land here is currently planted with garden plants and bushes, so we feel that it must have been re-planted when the wall was first built. It is therefore not considered that any disturbance to protected habitat would therefore take place.



Fig 1. – line of former track

Magic map provides useful environmental data and the map below shows the brown area is technically inaccurate (Priority Habitat Inventory - Grass Moorland) as it clearly does not recognise the current parking hardstanding, and the rubble/grass turning areas referenced above. **Fig 2.** also shows a strip of brown going down the side of the cottage (north east) which is the area beside the concrete steps, as clearly shown on the photo this is more cultivated grass, than natural grass moorland.

Notwithstanding the above, the revised plan however seeks to maximise the potential to provide and safeguard the areas that are considered to be priority habitat and enhance the Section 3 Moorland.

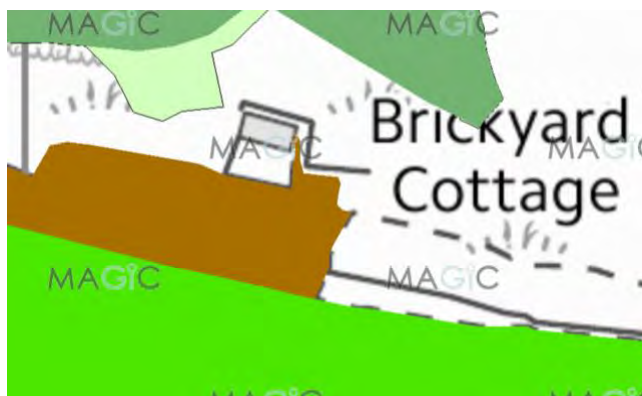


Fig 2. Source: Magic map – shows Priority Habitat Inventory - Grass Moorland – for illustrative purposes only

2. General groundworks

The earth directly behind the southern elevation will be removed to provide a rear garden. It comprises the current area enclosed by the remains of a stone wall and will involve the removal of the concrete steps to the east of the house together with a strip of garden type grass and breaking up the existing concrete foundations to the east of the building.

Any spoil from the excavation work will be re-distributed to the north aspect of the house where there appears to be a substantial area of buried rubble covered by bracken and nettles. Once again, any materials that are salvageable will be reclaimed for building use. The area to the south will then be terraced and re-sown.

In our opinion the general groundworks would not remove any priority habitat or Section 3 Moorland from the site. These works are covered by the permitted development rights associated with the property.

3. Concrete

The Ecologists concerns with regard to clearing 'a skirt around the building' is not something that is proposed.

The line around the property simply shows the current property and associated hard surfaced areas as it is together with the location of the proposed extension which is also currently covered with concrete.

The photographs at **Figs. 3, 4 and 5** below clearly shows the amount of concrete in existence. Further detailed shots of this are attached.

NYMNPA
08/05/2019



Fig 3. – overhead shot of the property and existing ‘concrete skirt’



Fig 4. – shows existing the concrete apron



Fig 5. – shows concrete steps, concrete foundation and pad to side of property (north and east)

Future landscaping plan

With regard to future planting, the applicant has given some thought to what might be appropriate for the site and recently attended a Bumblebee Conservation Trust talk. They are aware of importance of the heather moorland and other wildflowers for bee conservation and intend to maintain or improve these resources for bees and butterflies over time.

With the warmer spell in the past few weeks there have been numerous moorland wildfires across the UK, which has made the applicant think about the Howdale/Browdale moor wildfire near Brickyard Cottage in the summer of 2003. With this it is noted that NYM had issued a high fire risk warning.

If climate change is to increase this problem, the applicants have been considering what low-cost measures would either be available and/or what measures they could take to try to protect the property in any such future event.

The current track and parking area have a permeable (rough gravel) surface and will help serve as a barrier/fire break against fire spreading towards the house and so the applicant would not want to make the parking area a grass surface for fear of increasing the risk.

These measures in turn will help to protect wildlife from future potential devastation.

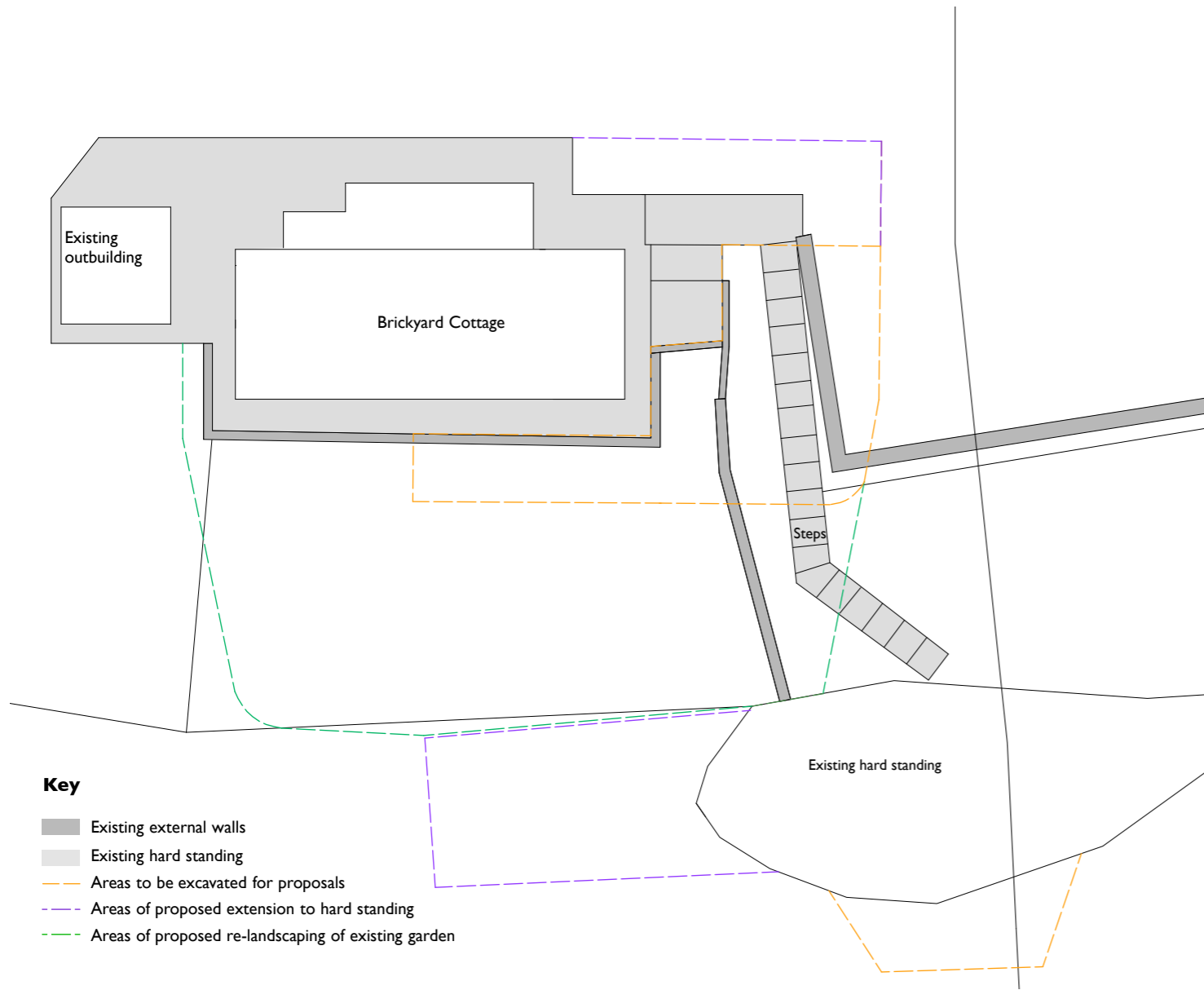
5. Surfaces

The hardstanding and paths would be created using crushed natural stone materials.

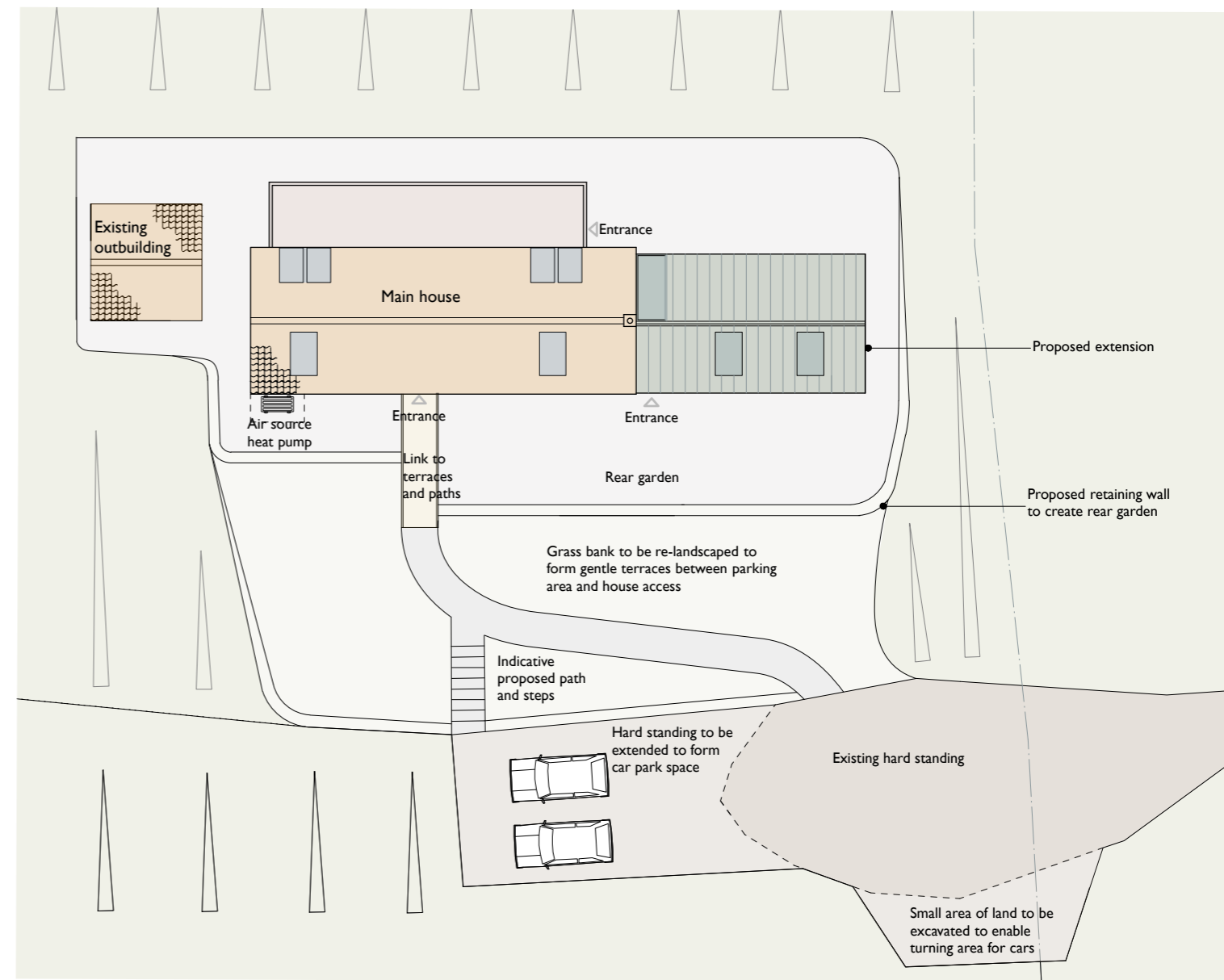
Notes:

Interesting article: on alleviating fire risk:

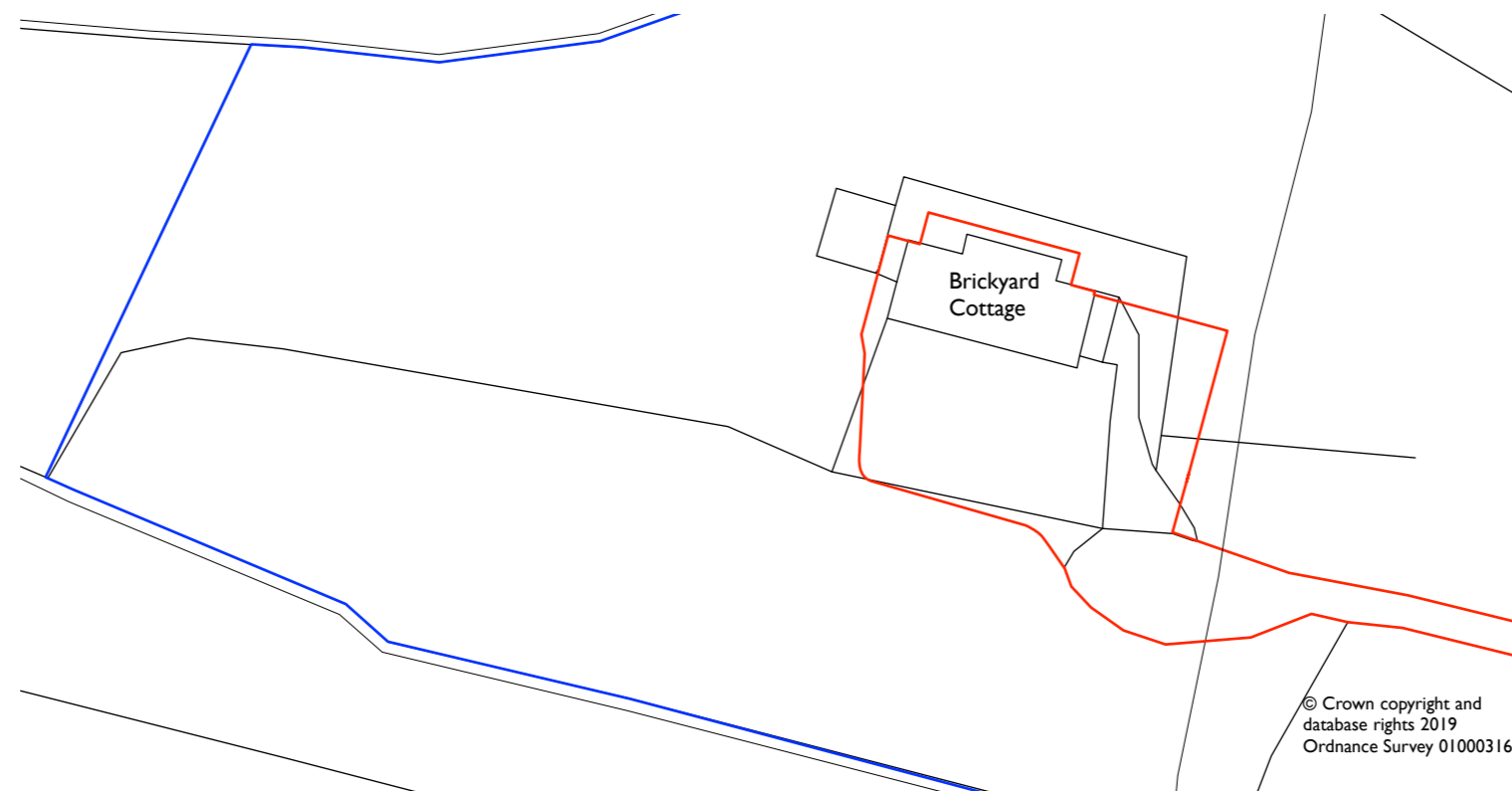
<https://www.bbc.co.uk/news/uk-scotland-48058693>



Existing site plan showing extent of existing hard landscaping and areas of proposed external alterations
Scale 1:200



Proposed site plan
Scale 1:200



Site block plan - Ordnance Survey
Scale 1:500

0 5 10m

Area subject of planning application

Other land owned by the applicant

© Crown copyright and database rights 2019
Ordnance Survey 0100031673

NYMNP
08/05/2019

C	060519	SS	Additional information added regards existing landscape - Proposed site plan revised	
B	100419	SS	Red and blue line amended	
A	040319	SS	Reduced length of extension and front single storey length	
Rev	Date	Drawn	CHK'G	Description
<small>EM - Employer changes to brief CL - Client change to brief ER - Contractor BU - Buildability ST - Change required by Statutory Authority</small>				

Status
PLANNING
STUDIO STEAD arb
74 Marlborough Rd Washington Tyne&Wear NE37 3BT

Job
Brickyard Cottage
Address
Brickyard Cottage, Robin Hood Lane, Ravenscar, Scarborough YO13 0ES

Client
Mr and Mrs Hollingworth

Drawing
Site block plan and proposed site plan

Scale	First Issue Date	DM/Y	Drawn	Checked
1:200/500	Feb 2019		SS	SS

© STUDIO STEAD - Do Not Scale From This Drawing

Job No.	Dwg no.	Sheet No.	Revision	Sheet Size
098	P02	01	C	A3