

NYMNPA

11/07/2019

From: Pddesign Mail
Sent: 11 July 2019 08:43
To: Harriet Frank
Cc: Allison Calvert
Subject: RE: Grove Cottage, Fylingthorpe

Morning Harriet,

Please find attached our response to some of the objections we deem as relevant to the application, along with our supporting revised drawing, for your consideration.

Hopefully all should be fairly self-explanatory but please let us know if you have any queries or require any further information.

Kind regards

Paul Draper IEng, AMIStructE
Managing Director
for and on behalf of PDDesign Consulting Ltd

From: Harriet Frank <h.frank@northyorkmoors.org.uk>
Sent: 10 July 2019 12:01
To: Pddesign Mail
Subject: Grove Cottage, Fylingthorpe

Dear Paul

How are you getting on with Grove Cottage – I think you said you were going to send me amended plans but I haven't received anything as of yet?

I am actually leaving the National Park on 07 August so I am hoping the decision can be determined before then if possible.

Kind regards

Harriet

Harriet Frank
Planning Officer, Development Management

North York Moors National Park Authority

The Old Vicarage, Bondgate, Helmsley, YORK, YO62 5BP

t: 01439 772700

e: planning@northyorkmoors.org.uk

w: www.northyorkmoors.org.uk

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219045 – Grove Cottage, Fylingthorpe

Project Name: Grove Cottage, Thorpe Bank, Fylingthorpe, Whitby, YO22 4UA

Project No: 219045

Date: 9th July 2019

Response to Objections.

The document provides a response to some of the objections that been lodged against the planning application reference NYM/2019/0347/FL at the above property. We have focused on the elements we feel that are most relevant to the application and are summarised below:-

Objections Summary

1. Extension Design and Massing.
2. Rendering to front elevation.
3. UPVC Windows and Doors.
4. Two windows to front elevation.
5. Removal of stone boundary wall.
6. New access and turning circle.
7. Demolition of existing outbuilding and garages.

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We respond to the above items as follows:-

Response to Objection

1. The extension has been designed to remain sub-servient to the main house and clearly provides a change in level between the ridge line and gable wall of the main house and a step back from the front elevation of the main house. The 2D side elevation details a new parapet wall to the new extension which obscures the full extent of the existing gable end which is exposed. When descending Thorpe Bank towards to village centre, the change in level will be very apparent.

The proposed footprint is not much larger than the existing side extension to be demolished and removes a poorly designed, poorly constructed extension and conservatory structure.

The extension is to be constructed in stonework to match the main house, which will soften the front elevation and provide some interest between the rendered and stonework elements. The existing paintwork is to be removed and stonework restored to reinstate its original finish.

2. The existing building is constructed primarily in stonework to the rear and side elevations with the existing front elevation constructed in face brickwork. Both the stonework and brickwork are painted.

The brickwork to the front elevation is in a particularly poor condition. Cleaning and repointing the brickwork will cause catastrophic damage to the existing wall and it would likely have to be completely rebuilt which is cost prohibitive and not feasible. The render will provide protection to the wall as well as reinforcing/bonding it together to maintain its structural stability. A roughcast render can be used to provide a more period look. We are also undertaking reinforcement works internally to stabilise the wall further.

219045 – Grove Cottage, Fylingthorpe

3. All new windows will be replaced in timber frame, sliding sash to complement the surrounding area and new single doors will be timber framed. The existing property already has a number of upvc windows which will be refurbished and retained where appropriate.
4. We agree with the conservation officer's comment's and therefore we will revise the design to a single window at first floor to the front elevation, that is in line with the corresponding ground floor window. Please refer to our revised Drawing number 219045/P01 Rev. P4.
5. The stone boundary wall is to be removed and altered to suit the new access requirements and will be re-constructed in stonework to match the existing wall or re-using the existing stonework where practical.
6. We have responded separately to the Highways comments regarding the proposed new access in our e-mail response dated the 24th June. We note an objection regarding the turning circle from a neighbour however, as we have been advised, any vehicle exiting the property has to do so in forward gear, therefore the turning circle/area is required as per the approved Highways Detail.
7. The existing garages and outbuilding are in a very poor state of repair and cannot be retained. Long term retention is also not possible due to the dilapidated nature, especially when the current buildings are partially retaining the existing adjacent highway. Asbestos is also present and needs to safely removed as part of the building works.

The primary reason to remove the existing buildings is to create a safer access and egress from the property. Currently the existing access is extremely dangerous and requires amendment, therefore the existing outbuildings have to be removed as a consequence to create the desired access.

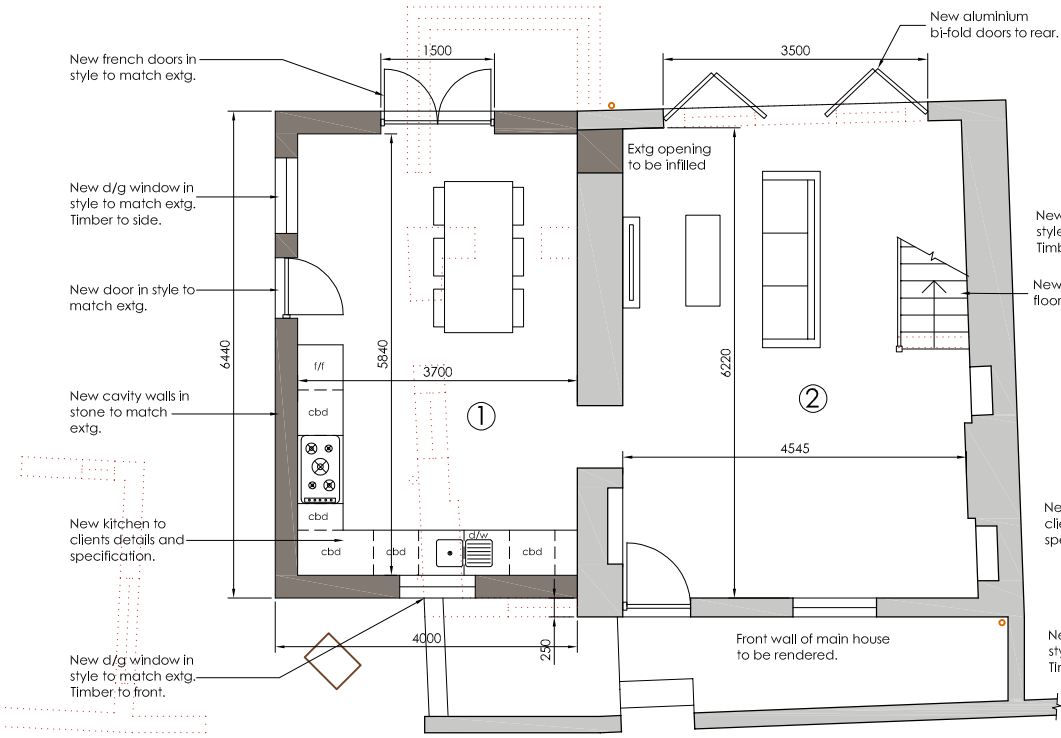
The removal of the existing buildings will also allow for the construction of a modern retaining structure that is designed for long term use and highway loads. Reinforced concrete walls, sheet piling or gabion walling may be used. In anycase, the chosen method will be finished to complement the main house and new outbuilding. The retaining structure can be faced in stonework to match the existing building if required.

The proposed replacement garage/outbuilding is to be constructed in materials to complement the existing property therefore creating a uniform aesthetic to the complete site which we feel is more in keeping that the retention of the existing buildings.

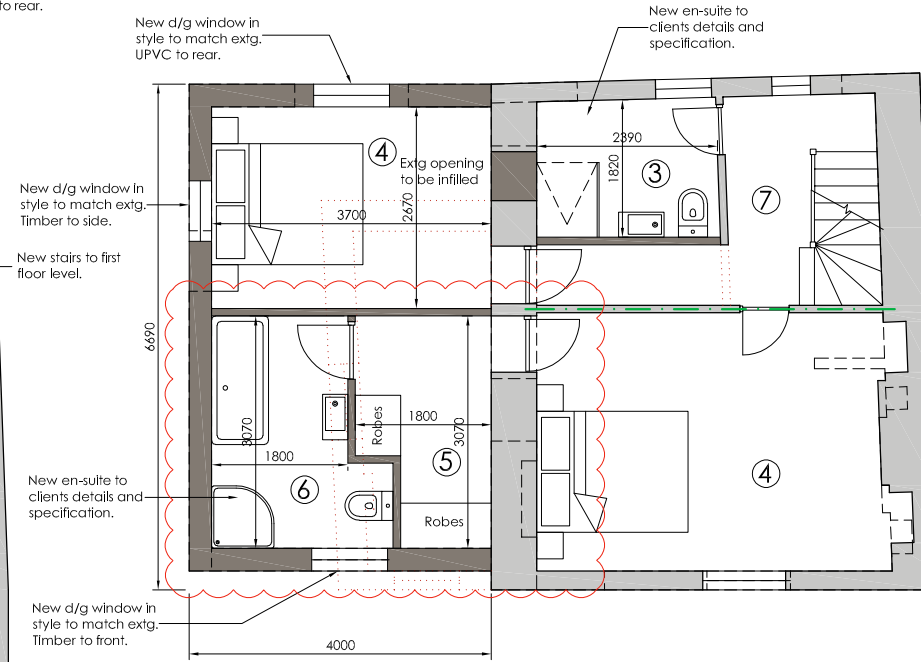
Proposed

1. this drawing is to be read in conjunction with all relevant architects & engineers drawings & specifications.
2. do not scale from this drawing.
3. all dimensions to be checked and confirmed on site by the contractor. any discrepancies to be reported to PDDesign Consulting Ltd immediately.

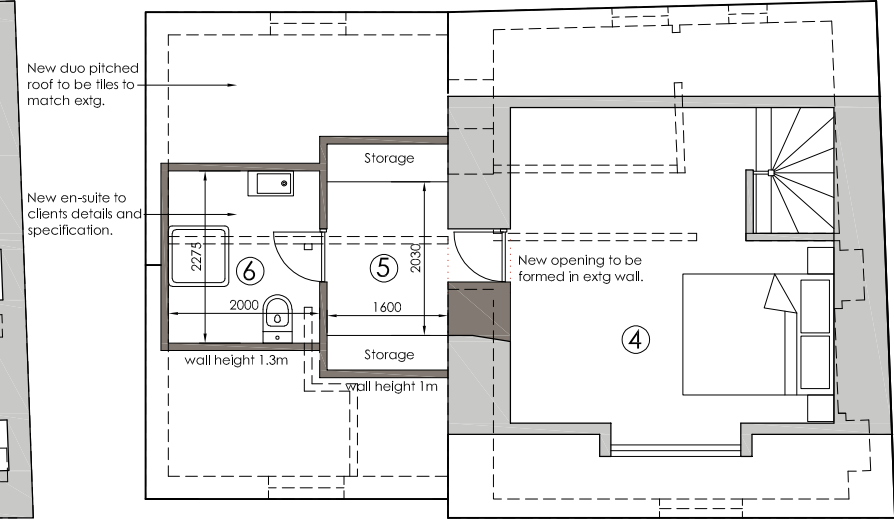
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AMENDED



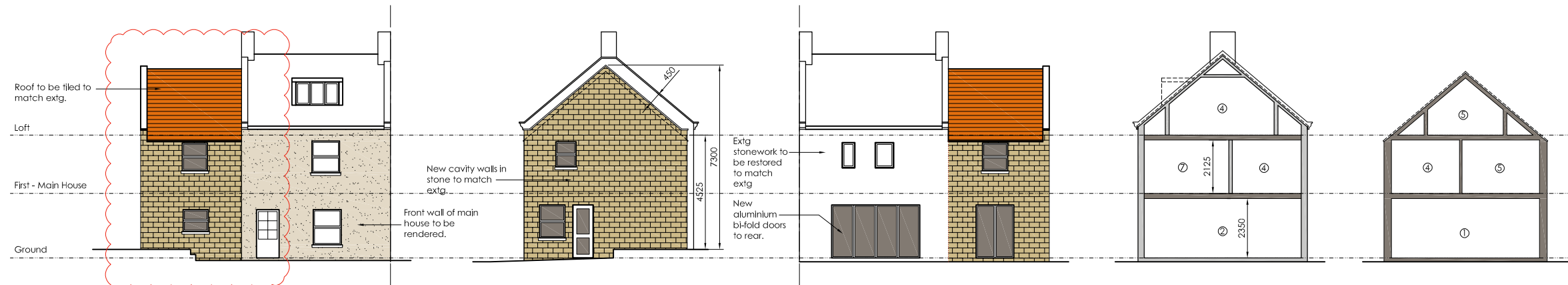
Proposed Ground Floor Plan
Scale 1:50



Proposed First Floor Plan
Scale 1:50



Proposed Loft Plan
Scale 1:50

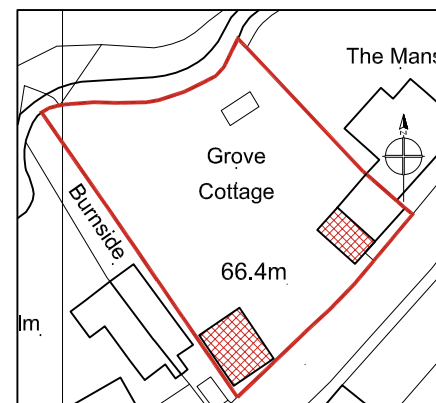


Proposed Front Elevation
Scale 1:100

Proposed Side Elevation
Scale 1:100

Proposed Rear Elevation
Scale 1:100

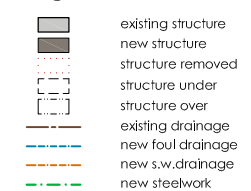
Proposed Sections
Scale 1:100



Proposed Block Plan
Scale 1:500

1. kitchen/dining
2. family
3. bathroom
4. bedroom
5. wardrobe
6. en-suite
7. hall

Legend



Rev	Date	Made by	Amendments
P4	10.7.19	db	front elevation revised
P3	14.5.19	db	planning issue
P2	10.5.19	db	updated prior to meeting
P1	1.5.19	db	Issued for information

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Client: **Allison Calvert**
Project: **Grove Cottage, Thorpe Bank Fylingthorpe, Whitby YO22 4UA**
Project Description: **Two Storey Side Extension, New Vehicular Access and Proposed Garage**
Drawing Name: **Proposed Plans, Elevations & Site Plan**



Job Number: **219045** Date: **1.5.19**
Drawn By: **DBS** Drawing Status: **Planning**
Scale: **1:50, 1:100@A1, 1:100, 1:200@A3** Drawing No: **P-01** P4