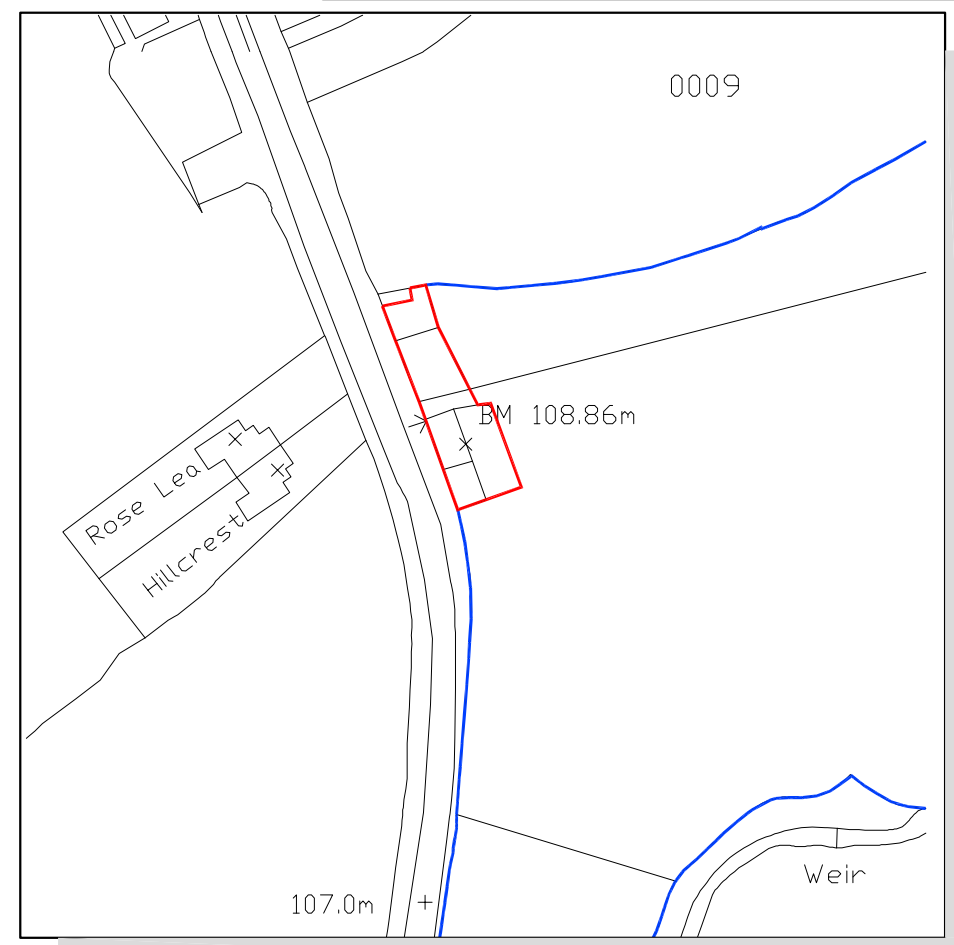
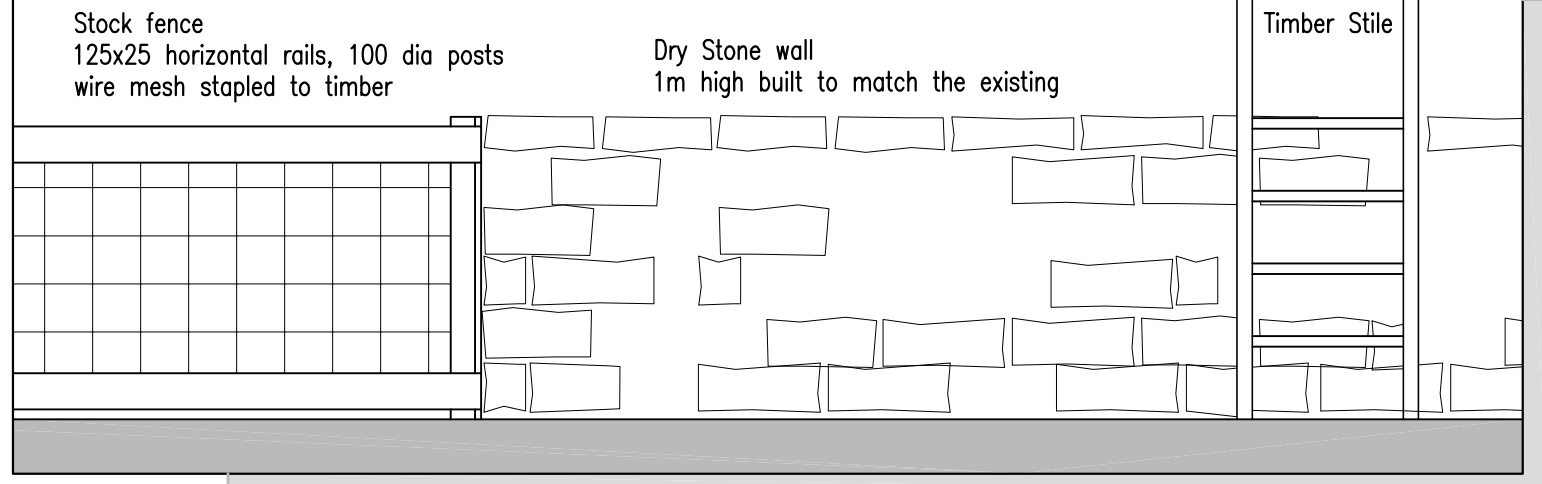
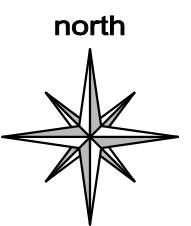


Site Block Plan
SCALE: 1:200



Site Location Plan
SCALE: 1:1250

Boundaries
SCALE: 1:25

NYMNPA
23/08/2019

b h d partnership
Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.

- DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
- The Contractor must verify all dimensions on site before commencing any work or shop drawings.
- The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
- Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

REV	DATE	BY	AMENDMENT	CHKD	APVD
B	29/07/14	NID	Finishes re Discharge of conditions		
A	16/04/14	NID	Issued for approval		

CLIENT:
Mark Wooding

PROJECT:
Conversion of The Old Smithy Dunsley

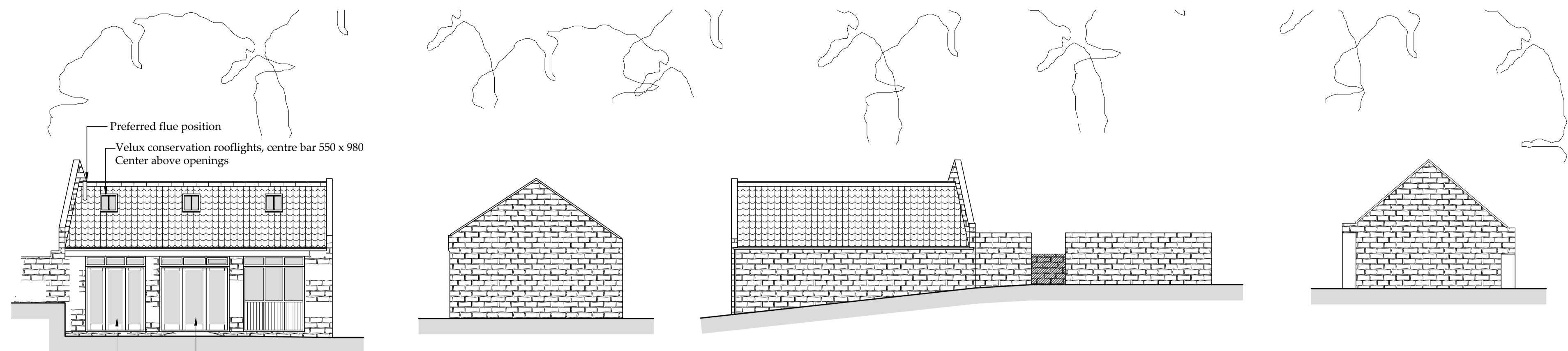
A3 | DRN: NID | DATE:
SCALE: As Shown | ISSUE: Preliminary

DRAWING TITLE:
Existing Site Location & Proposed Block Plan

DRAWING NR:
D10553-01

REV:
B

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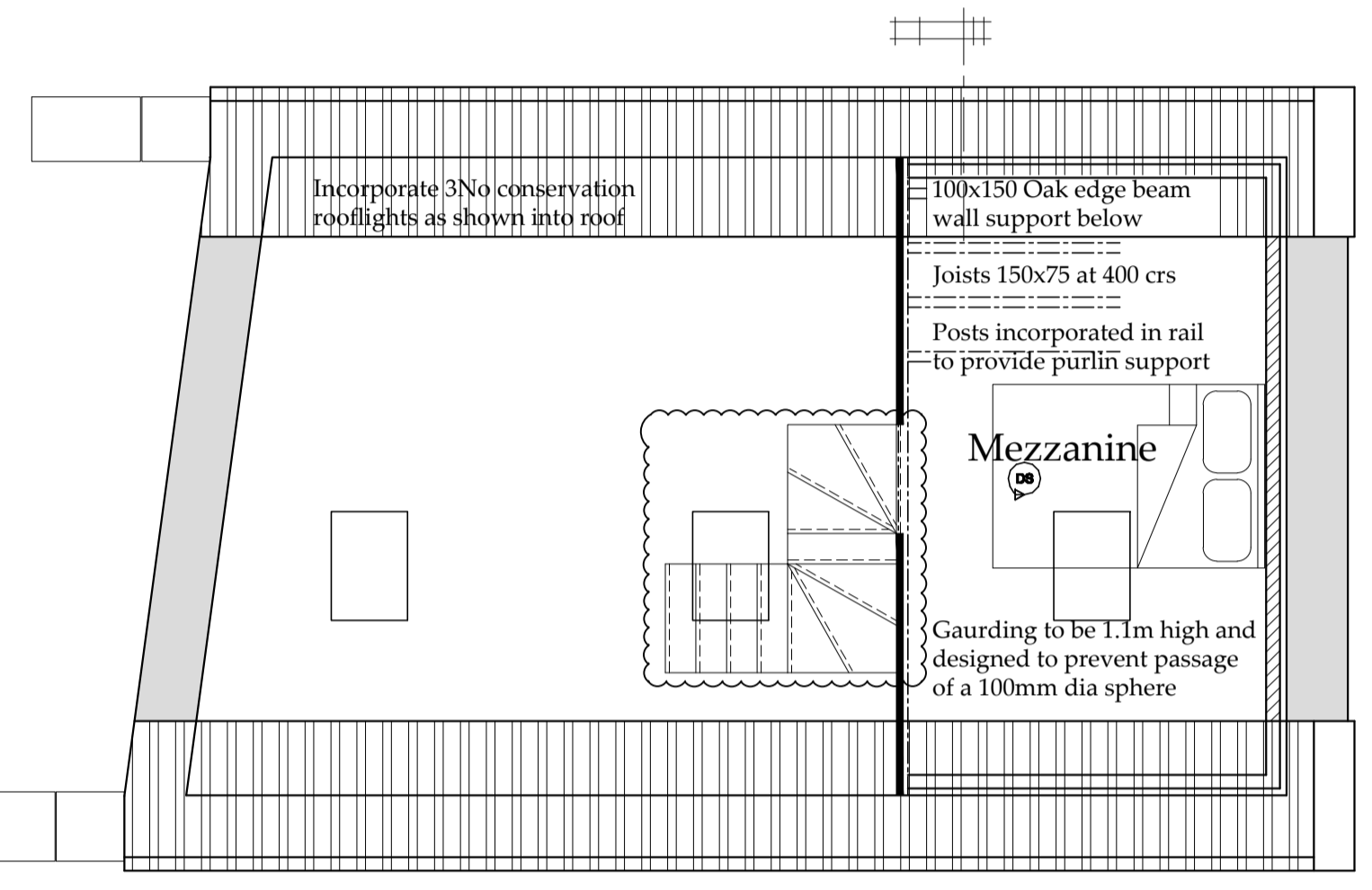


East Elevation
SCALE: 1:100

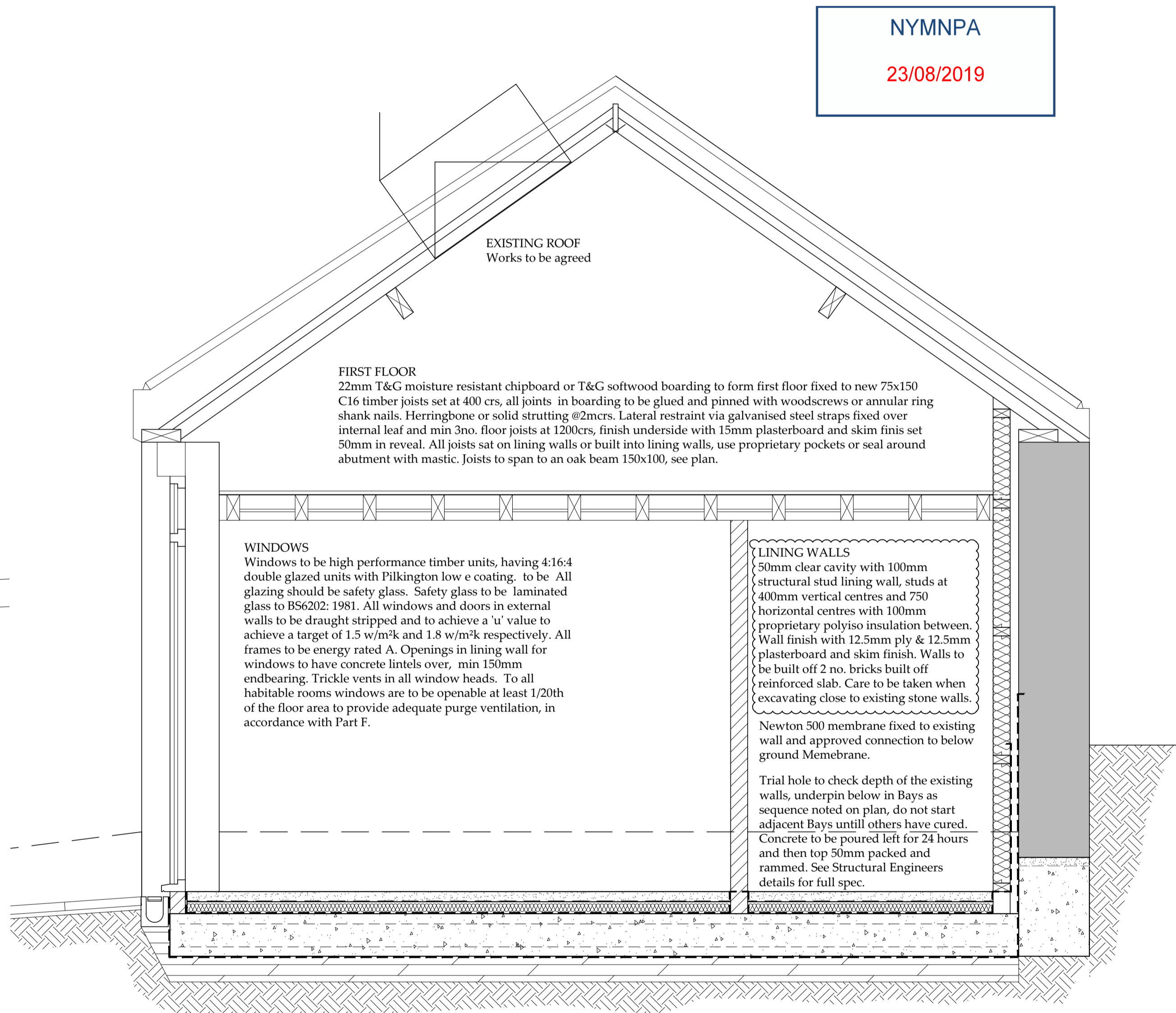
North Elevation
SCALE: 1:100

West Elevation
SCALE: 1:100

South Elevation
SCALE: 1:100



Mezzanine Plan
SCALE: 1:50

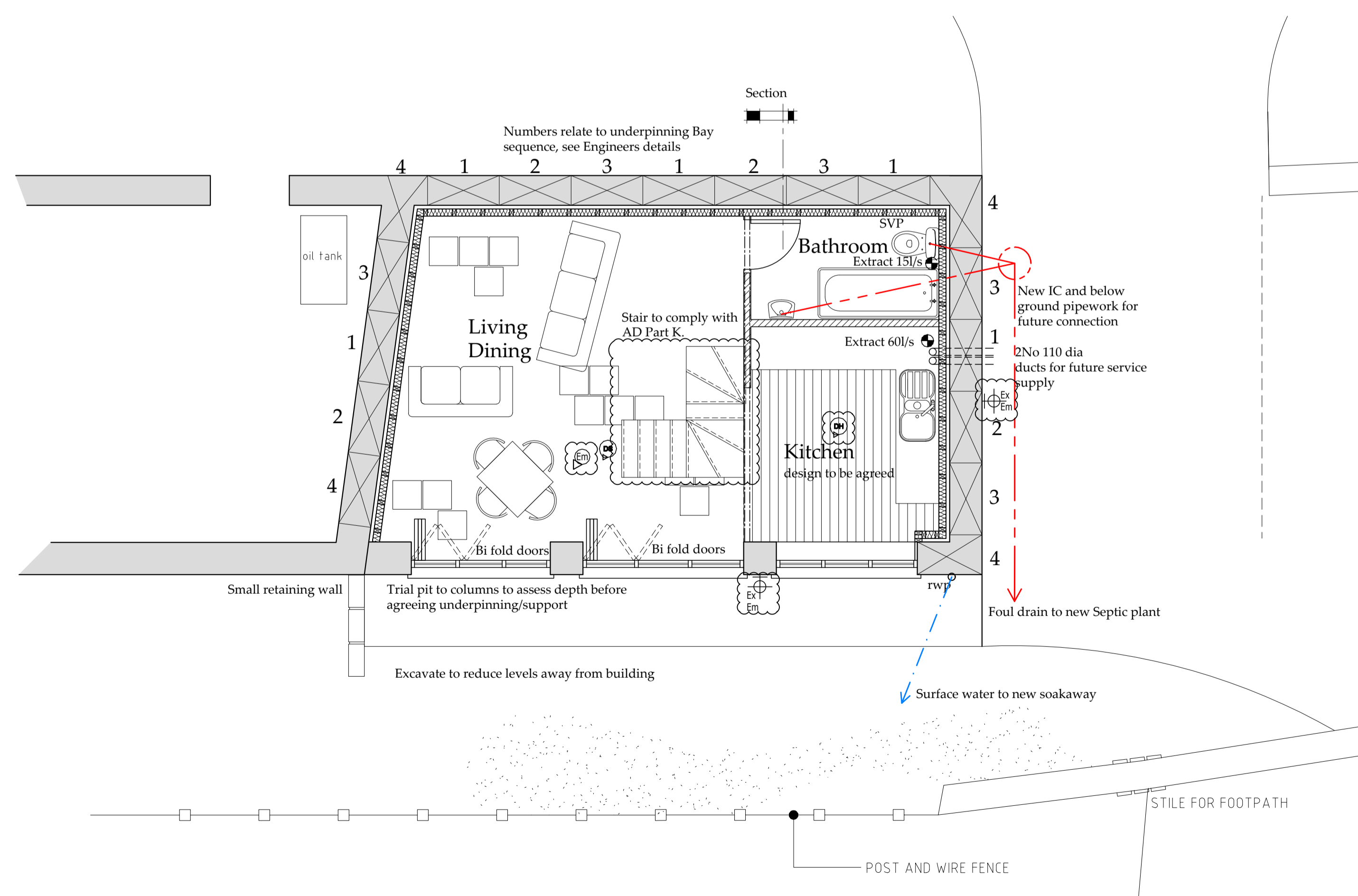


FIRST FLOOR
22mm T&G moisture resistant chipboard or T&G softwood boarding to form first floor fixed to new 75x150 C16 timber joists set at 400 crs, all joints in boarding to be glued and pinned with woodscrews or annular ring shank nails. Herringbone or solid strutting @2mcrs. Lateral restraint via galvanised steel straps fixed over internal leaf and min 3no. floor joists at 1200crs, finish underside with 15mm plasterboard and skim finish set 50mm in reveal. All joists sat on lining walls or built into lining walls, use proprietary pockets or seal around abutment with mastic. Joists to span to an oak beam 150x100, see plan.

WINDOWS
Windows to be high performance timber units, having 4:16:4 double glazed units with Pilkington low e coating. to be All glazing should be safety glass. Safety glass to be laminated glass to BS6202: 1981. All windows and doors in external walls to be draught stripped and to achieve a 'u' value to achieve a target of 1.5 w/m²k and 1.8 w/m²k respectively. All frames to be energy rated A. Openings in lining wall for windows to have concrete lintels over, min 150mm endbearing. Trickle vents in all window heads. To all habitable rooms windows are to be openable at least 1/20th of the floor area to provide adequate purge ventilation, in accordance with Part F.

LINING WALLS
50mm clear cavity with 100mm structural stud lining wall, studs at 400mm vertical centres and 750 horizontal centres with 100mm proprietary polyiso insulation between. Wall finish with 12.5mm ply & 12.5mm plasterboard and skim finish. Walls to be built off 2 no. bricks built off reinforced slab. Care to be taken when excavating close to existing stone walls.
Newton 500 membrane fixed to existing wall and approved connection to below ground Membrane.
Trial hole to check depth of the existing walls, underpin below in Bays as sequence noted on plan, do not start adjacent Bays until others have cured. Concrete to be poured left for 24 hours and then top 50mm packed and rammed. See Structural Engineers details for full spec.

GROUND FLOOR
Ground floor to comprise of 75mm screed over vapour barrier with all joints lapped 150mm & taped on 75mm Kingspan T170 rigid insulation board on 1200 dpm lapped into wall dpc on 200mm C40 concrete slab inc 2 layers A393 mesh with Newton membrane DPM system below lapped in to DPC level for basic radon protection, over sand blinding on well compacted D.O.T Type 1 hardcore depth min 150mm or more depending on ground conditions, compacted in 150mm layers. Include 25mm insulated upstand around edges of screed. Floors all to give u-value of 0.22w/m²k. Note: Contractor must ensure the screed is compatible with the insulation used.



Ground Floor Plan
SCALE: 1:50

Section
SCALE: 1:20

NYMNP
23/08/2019

D	01/08/19	CE	Windows altered
C	23/09/14	DC	Revised stair to mezzanine
B	22/09/14	DC	Amended to suit NYBCP
A	16/04/14	NID	Issued for approval

bhd partnership
Architecture + Engineering
Airy Hill Manor, Waterstead Lane, Whitby, N. Yorks. YO21 1QB.

CLIENT: **M Wooding**

PROJECT: **Conversion of The Old Smithy Dunsley**

Drawing: **Proposed Plans & Elevations**

DRAWING STATUS: **Preliminary**

DRAWN: nid CHECKED: N.Duffield

SCALE @ SIZE: 1:50 & 1:100 @ A1 DATE: 10/04/14

DRAWING No: **D10553-03** REV: **D**