

Location Plan  
Scale 1:1250

NYMNPA  
18/11/2019

Block Plan  
Scale 1:500

Ordnance Survey Licence No. 100002562

**b h d partnership**  
Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.  
www.bhdpartnership.com

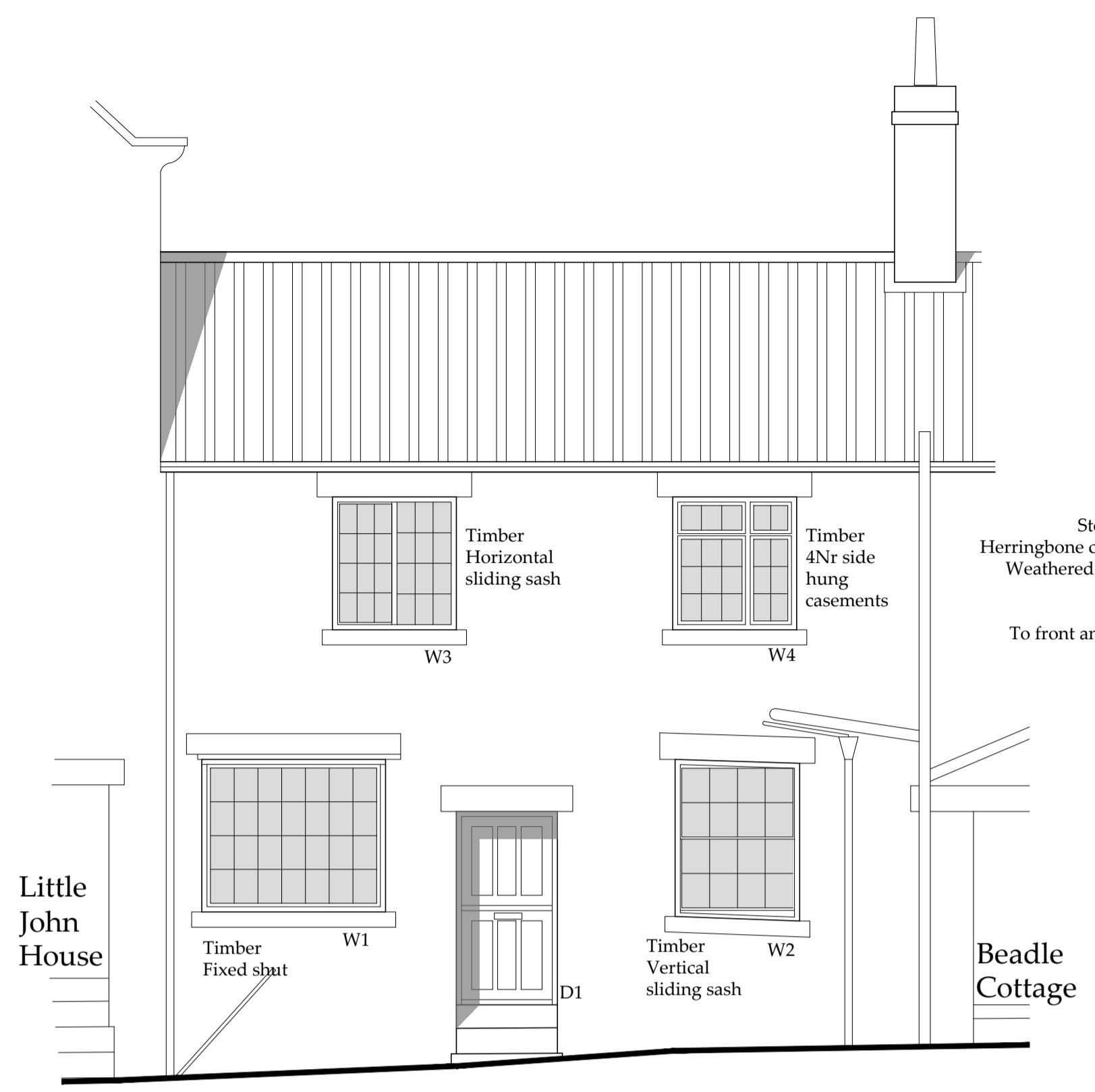
● DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.  
● The Contractor must verify all dimensions on site before commencing any work or shop drawings.  
● The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.  
● Work within The Construction (Design and Management) Regulations 2015 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

REV	DATE	BY	AMENDMENT	CHKD	APVD
A	15/11/19	CE	Issued for approval		

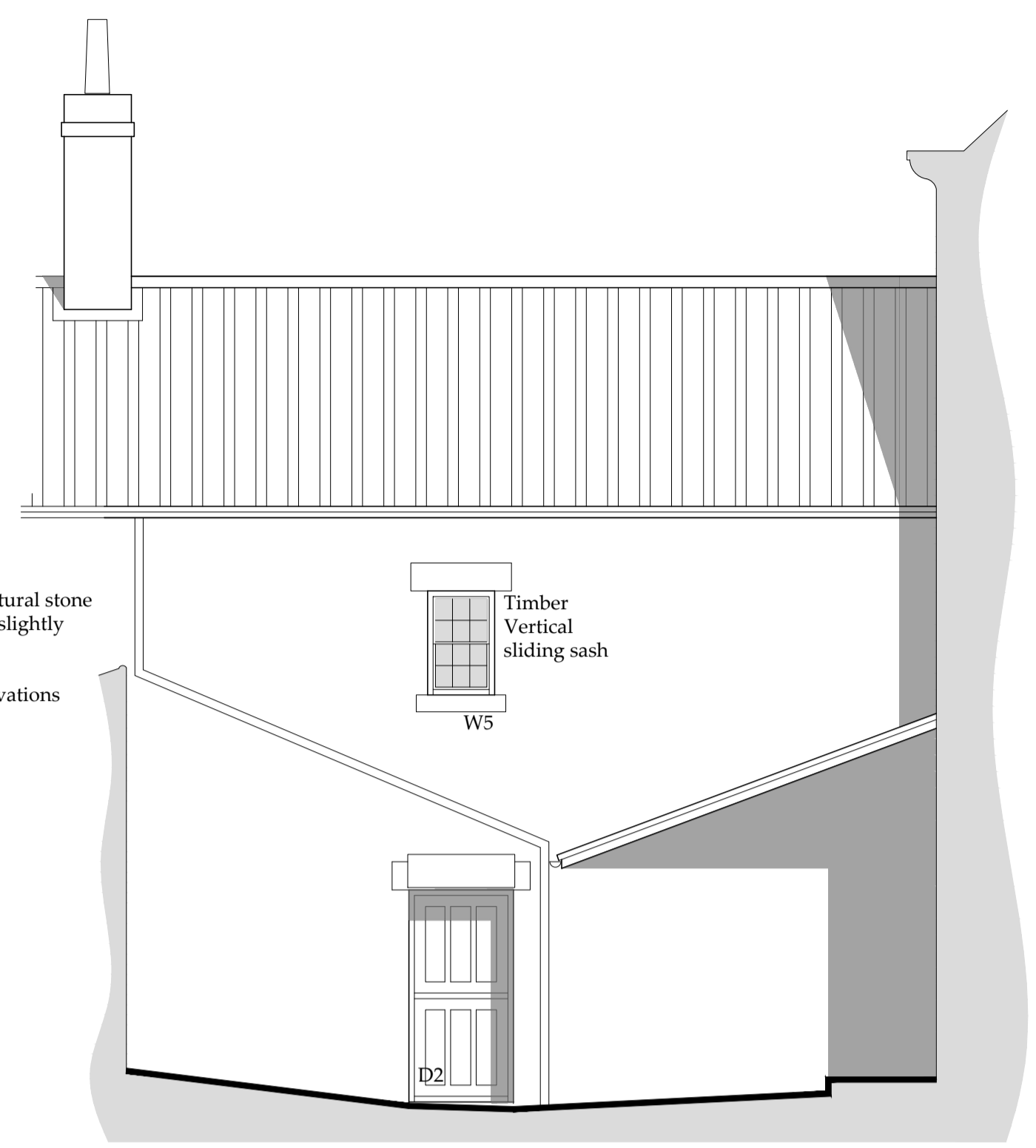
CLIENT: Mr J Kingham		
PROJECT: Downhill Cottage Main Rd Robin Hood's Bay YO22 4SF		
A3	DRN: C Eynon	DATE: 15/11/19
SCALE: As shown		ISSUE: Preliminary

DRAWING TITLE: Location Plan and Block Plan	
DRAWING NR: D11726-01	REV: A

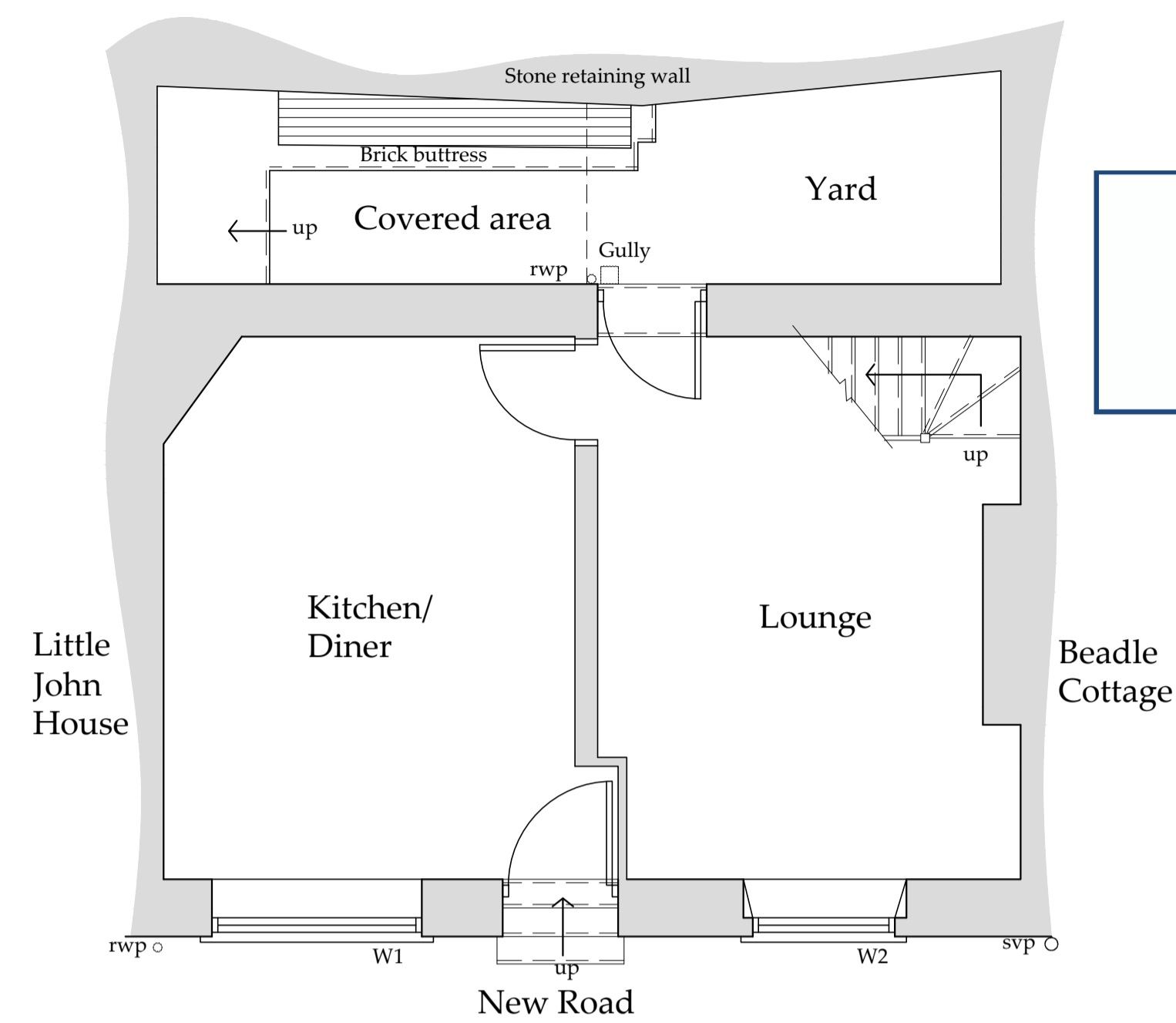
Do not scale from this drawing, only figured dimensions are to be taken from this drawing.  
 The contractor must verify all dimensions on site before commencing any work or shop drawings.  
 The contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the technician is to be informed before work is initiated.  
 Work within the construction (design and management) regulations 2015 is not to start until a health & safety plan has been produced. This drawing is copyright and must not be reproduced without consent of BHD Partnership Ltd.  
**CDM Regulations**  
 Contractor must not start without 'Pre Construction Information' from Principle Designer. If unsure contact BHD.  
 Contractor must agree the 'Principle Contractor' roll with the client prior to commencement of the works.  
 Ensure if required under CDM2015 regulations that the project is notified to the HSE.



**Front Elevation**  
Scale 1:50



**Rear Elevation**  
Scale 1:50

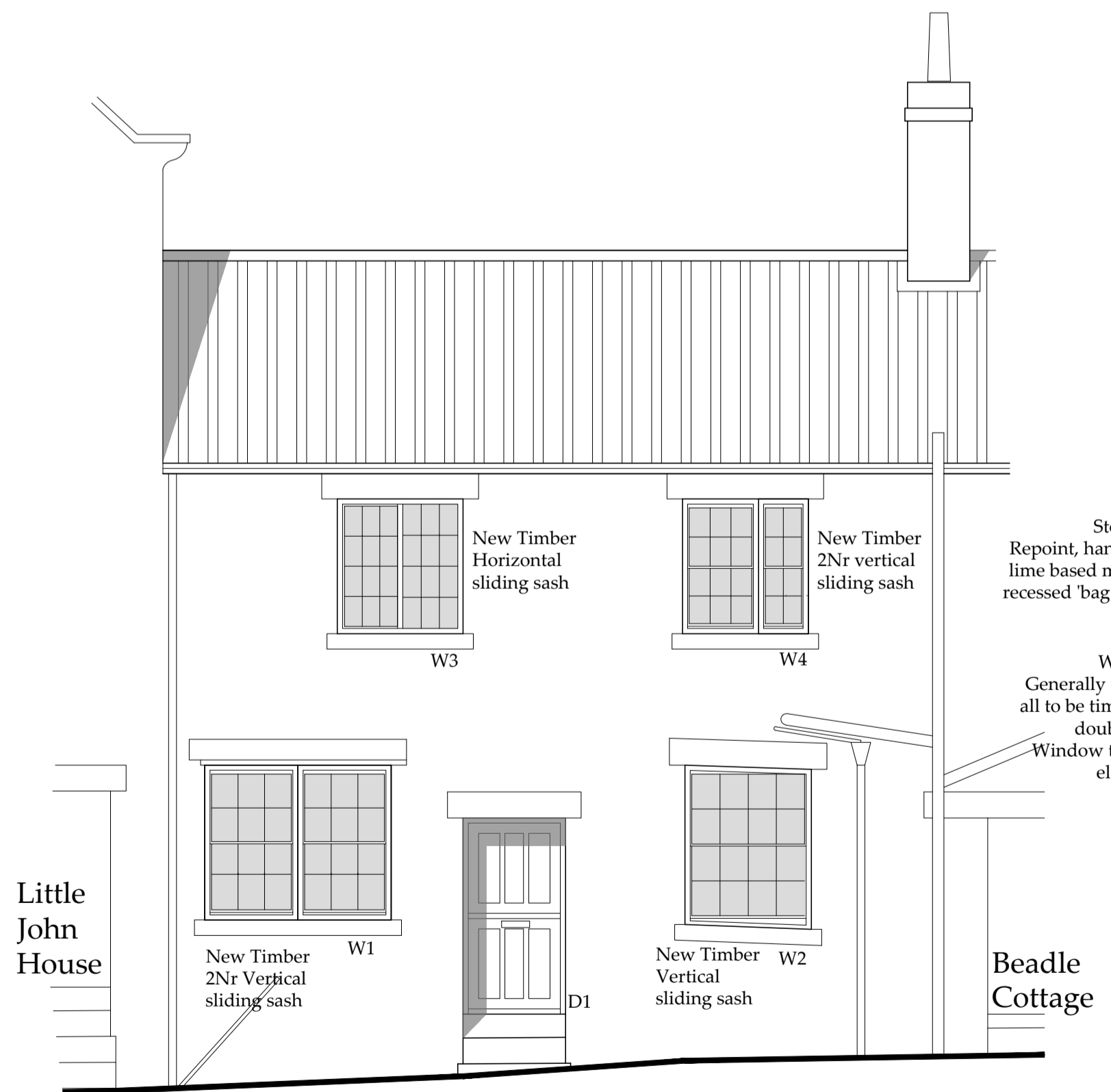


**Ground Floor Plan**  
Scale 1:50

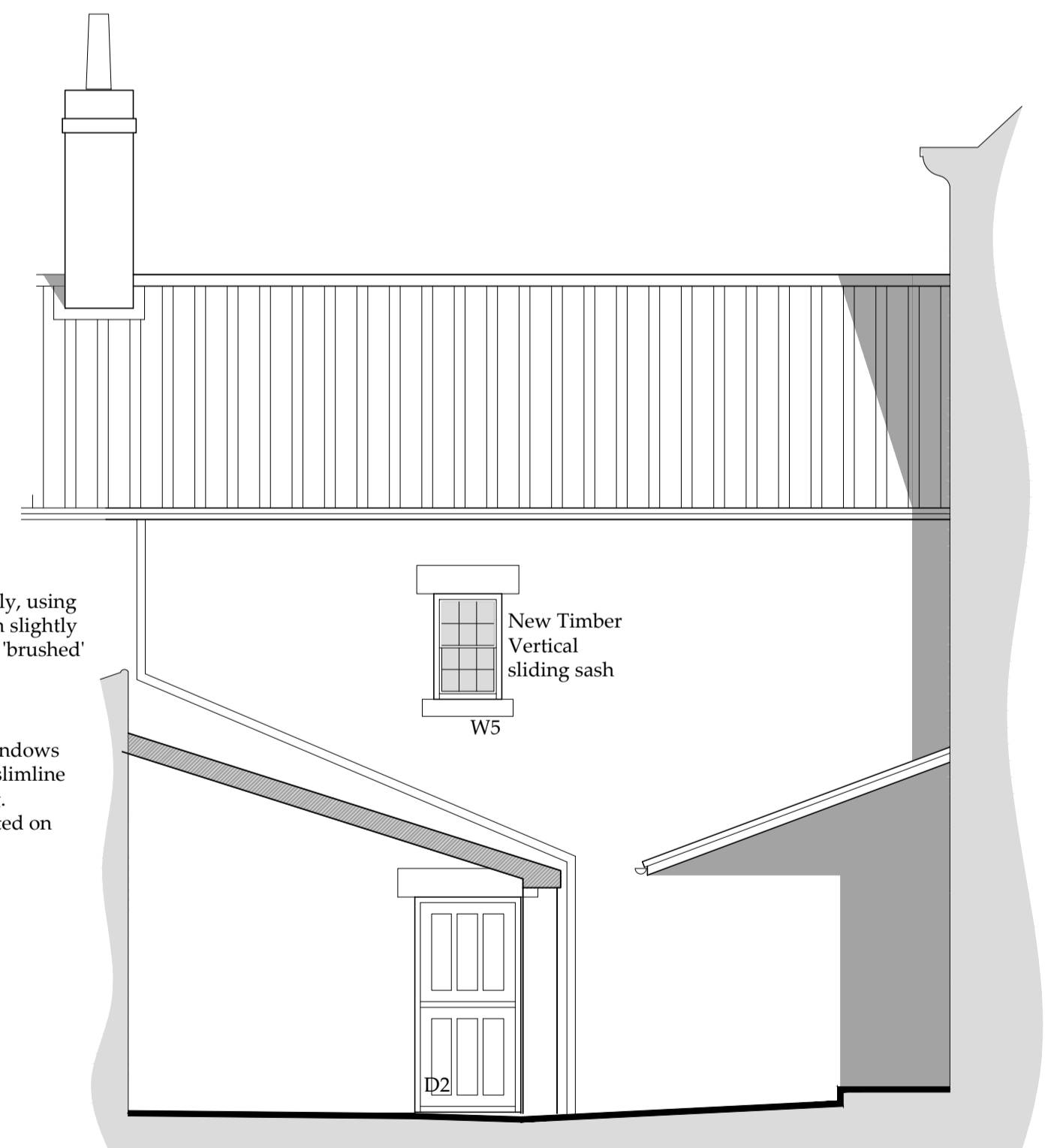
**NYMNPA**  
 18/11/2019

PLANNING ISSUE  
 Initial Drawings for Client and Planning consideration only  
 Planning Schedule of Works to be provided

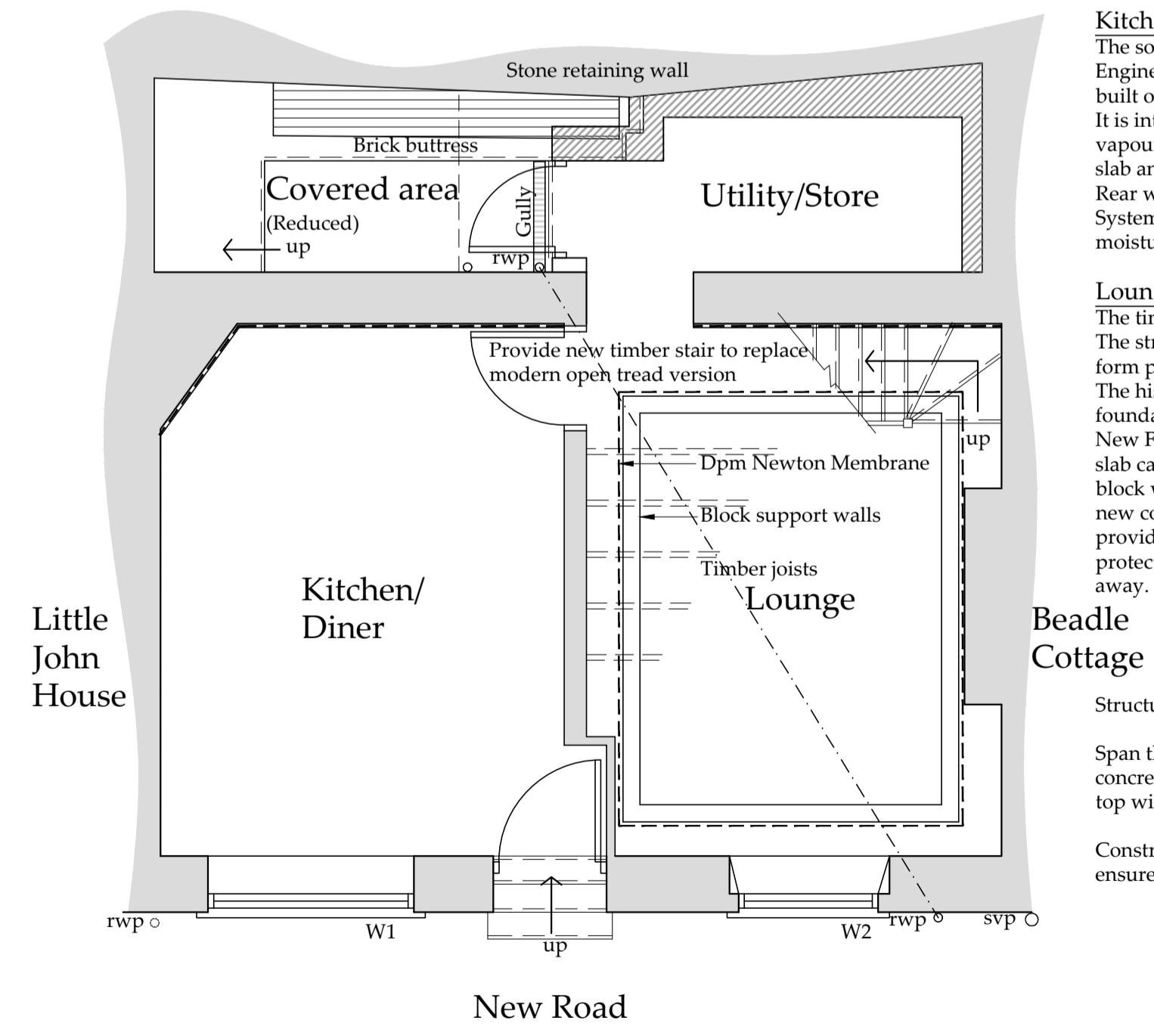
**e x i s t i n g**



**Front Elevation**  
Scale 1:50



**Rear Elevation**  
Scale 1:50



**Ground Floor Plan**  
Scale 1:50

**Utility/Store**  
 Form new Utility/Store Room within the rear Yard. Existing walls to be left and the room is to be formed using an inner insulated and damp proofed skin.  
 The new monopitched roof is to follow the line of a former outhouse evidence of which is provided by the remains of cement haunching on the stone wall.

**Kitchen Dining Room**  
 The solid floor has been removed due to serious defects-See Engineers Report. It appeared to have been a modern replacement built off substandard fill.  
 It is intended to provide a new floor. Floating timber boards, vapour barrier onto Flooring grade insulation onto concrete floor slab and dpm.  
 Rear wall to be drylined with dpm behind lapped into floor dpm. System to be Newton Membrane allowing percolation on moisture, nothing applied to the wall.

**Lounge**  
 The timber floor has been removed leaving a large sub floor void. The structural problems are noted on the Engineers reports which form part of the application. Photographs will also be provided. The historic erosion has left areas where the original wall foundation stones are left exposed.  
 New Floor; Inset from the existing walls provide a foundation slab cast to form a structural base. From this construct concrete block walls up to the underside of floor level, backfill between the new concrete walls and the lower levels of the house walls to provide support, include a newton membrane dpm as above to protect the building from damp but allow it to naturally percolate away.

**Beadle Cottage**  
 Structural elements must be to a structural engineers design.  
 Span the void with a timber joist floor supported on the new concrete walls, infill between joists with insulation and line the top with timber floor boarding.  
 Construction details to be provided, see 'schedule of works' and ensure Building Regulations are complied with

A	11/11/19	CE	Issued for approval
REV	DATE	BY	AMENDMENT

  
**Architecture + Engineering**  
 Airy Hill Manor, Waterstead Lane,  
 Whitby, N. Yorks. YO21 1QB.

CLIENT: **Mr J Kingham**

PROJECT: **Refurb of Downhill Cottage  
 New Road, Robin Hoods Bay**

Drawing: **Existing and Proposed  
 Elevations  
 and Floor plans**

DRAWING STATUS: **Preliminary**

DRAWN: **C Eynon** CHECKED: **N I Duffield**

SCALE @ SIZE: **1:50@ A1** DATE: **11/11/19**

DRAWING No: **D11726-02** REV: **A**

**p r o p o s e d**