
From:**Sent:** 20 April 2020 07:42**To:** Ailsa Teasdale**Cc:** 'Tim Harrison (BHD Partnership)'**Subject:** Ainthorpe Yard, Ainthorpe - NYM/2020/0054/FL - Additional supporting information

Dear Ailsa

We have prepared the following additional information in support of the above application for consideration by Officers/Members which we hope you will find to be of use to you and is inclusive of:

- An engineering statement from BHD Partnership Ltd.
- An illustration to show the landscape impact that could potentially occur if the proposed dwelling were to be built at the same ground level as the adjacent bungalow. This brings to light how the dwelling sited at the crest of the hill is more exposed and visually prominent and therefore intrusive in the landscape whereas the proposed plan defines the development having far less of an impact.
- For the sake of a small amount of engineering work the impact of the dwelling can be significantly reduced by setting the building into the slope in preference to raising floor levels. We wish to emphasise that this is wholly achievable and that the dwelling will fit comfortably on the site as confirmed by the attached Statement. The engineer confirms the disturbance to the existing land form in order to reduce visual impact is in fact considered to be minimal.
- The ground behind the dwelling is to be graded and seeded and will further ensure the development can be assimilated into the surrounding rising land.

We trust that you and the Members will find the above information to be useful. In summary, it confirms that the applicant has chosen a higher standard of siting and design to best align the dwelling not necessarily with the existing built level but with one that uses the natural land contours in preference to raising them and that the practicalities of doing so will cause minimum disturbance.

Kind regards

Cheryl Ward

Cheryl Ward Planning
MSc MRTPI

Chartered Town Planner

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Planning



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Chartered Town Planner

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Before printing, think about the environment

From:
To: |
Subject: FW: Proposed New House for Robin and Elizabeth Asquith , Land at Easton Lane , Ainthorpe, Danby, Whitby, North Yorkshire.-- Statement regarding site Engineering Works.
Date: 09 April 2020 13:46:16

ENGINEERING STATEMENT REGARDING THE SITE WORKS IN RELATION TO THE PROPOSED DWELLING AND GARAGE AT EASTON LANE AINTHORPE DANBY FOR ROBIN AND ELIZABETH ASQUITH.

The land on which the proposed dwelling and attached garage is to be positioned rises to the south from Easton Lane, Ainthorpe between approximately 3 metres at the Western Boundary (adjacent to the existing farm shed) and approximately 6 metres at the Eastern boundary adjacent to No 8 Easton Lane, Ainthorpe.

The proposed dwelling and garage are located centrally and to the East of the site at mid-point on the rising land which results in these being sat on a relative plateau which is approximately 1 to 1.2 metres above Easton Lane at a level of 8.69 metres to 8.83 metres which then rises to a level of approximately 10 metres on the Eastern boundary and a level of 12.02 metres on the western side .

This results in land rising between 1.5metres to the East and 3.3 metres to the west.

The dwelling and rear terraced area being positioned on the plateau of approximately 8.69 metres results in the dig or excavation works at the rear and west side being approximately 1.5 metres deep to a potential maximum of 2 metres and the proposal is to grade the land back to blend in with the rising ground above so that there is not a requirement for the construction of retaining walls.

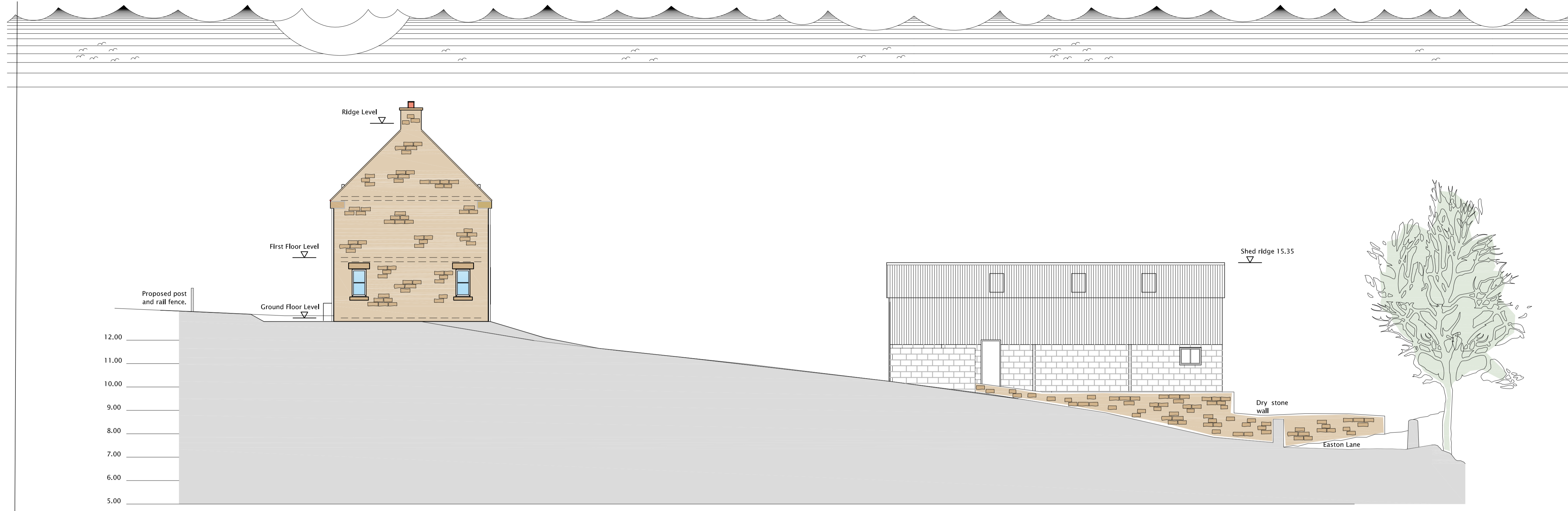
This design concept is also proposed in order to minimise the visual impact and create a continuation of the green rising land as the back drop to the dwelling without the interruption of that by an engineered retaining wall of stone and reinforced concrete.

Therefore the likely excavation work in relation to the above of 1.5 to 2metres is not considered to be a major engineering project and is relatively straight forward and manageable by any experienced competent local contractor without the need for the significant associated works sometimes required with such excavations.

The proposals will be over-seen by a suitably qualified engineer working closely with the applicant and his chosen contractor to ensure that the works are carried out safely and correctly in accordance with the proposed design should planning consent be granted.

We trust that this statement will be of assistance to the planning team considering the planning application.

BHD Partnership,
Architectural , Engineering Design Consultants and Building Surveyors.
Airy Hill Manor,
Waterstead Lane,
Whitby,
North Yorkshire.
YO21 1QB



Elevation Looking West - Revised location on site
Scale 1:100



Elevation Looking East - Revised location on site
Scale 1:100

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NYMNP
20/04/2020

A	15.01.20	MK	First Issue
REV	DATE	BY	AMENDMENT

bhd
partnership
Architecture + Engineering

Airy Hill Manor, Waterstead Lane,
Whitby, N. Yorks. YO21 1QB.

CLIENT:
Mr R. and Mrs. E. Asquith

PROJECT:
Land at Easton Lane,
Danby.

DRAWING:
Site Elevations
Revised Location

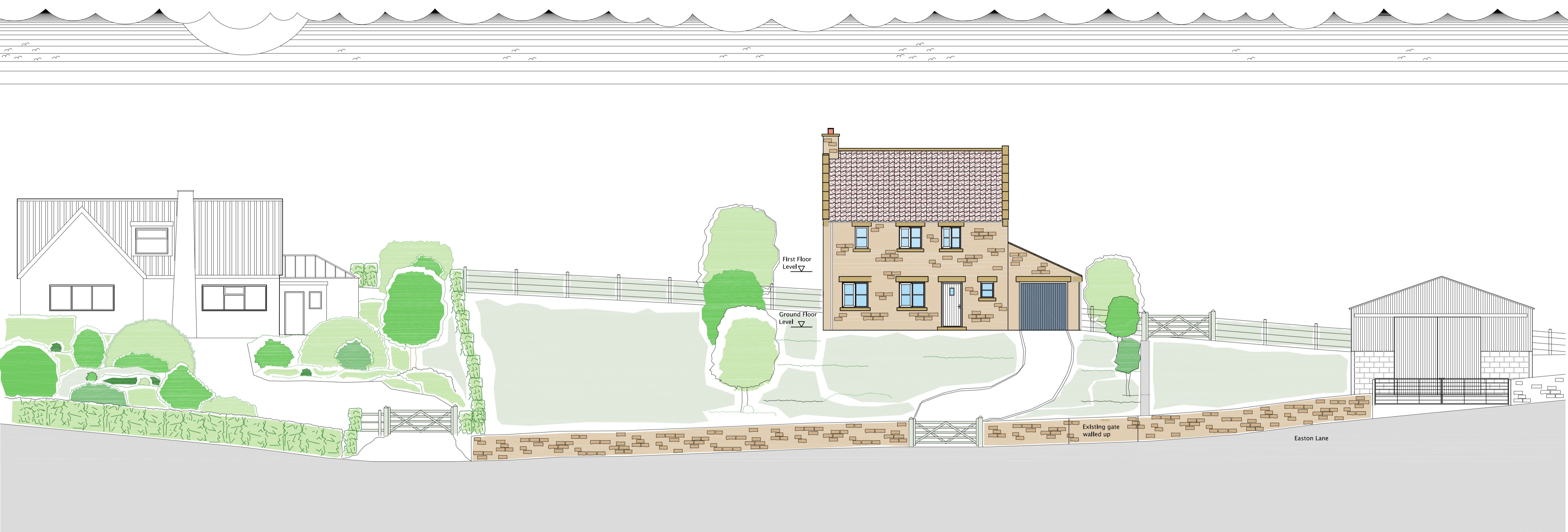
DRAWING STATUS:
Plannig

DRAWN: M.Kay
CHECKED: T.Harrison

SCALE @ SIZE: 1:100 @ A1
DATE: 13.04.2020

DRAWING No: D11655-15
REV: A

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○ Elevation Looking South - Revised Location on the Site
 Scale 1:100

NYMNPA
 20/04/2020

REV	DATE	BY	AMENDMENT
A	13.04.20	MK	First Issue

bhd
 partnership
 Architecture + Engineering

Airy Hill Manor, Waterstead Lane,
 Whitby, N. Yorks. YO21 1QB.

CLIENT:
 Mr R. and Mrs. E. Asquith

PROJECT:
 Land at Easton Lane,
 Danby.

DRAWING:
 Front Elevation
 Street scene
 Revised Location

DRAWING STATUS:
 Plannig

DRAWN: M.Kay	CHECKED: T.Harrison
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SCALE @ SIZE: 1:100 @ A1	DATE: 19.03.2020
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DRAWING No: D11655-16	REV: A
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