

NYMNPA

17/04/2020

DESIGN & ACCESS STATEMENT

INCORPORATING PLANNING STATEMENT

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01 INTRODUCTION & CLIENT INFORMATION

This document has been prepared for Mr & Mrs Suggitt as supporting documentation to the planning application to undertake a single storey rear extension and two storey side extension at 15 Mill Lane, West Ayton, Scarborough.

Section 42 of the Planning and Compulsory Purchase Act 2004 requires a Design and Access Statement to be submitted with some planning applications and the purpose of the report is to satisfy the requirements of the aforementioned act.

This statement has been prepared under the requirements of the Town & Country (General Development Procedures) (Amendment) (England) Order 2006. The structure and content has been informed by:

- The Town & Country Planning (General Development Procedure) (Amendment) (England) Order 2010
- DCLG 'Guidance on Information Requirements and Validation (March 2010)
- 'Design & Access Statements – How to write, read and use them' (CABE 2006);
- Secretary of State Appeal decisions on the role of a Design & Access Statement
- North York Moors National Park Authority Core Strategy and Development Policies document (2008)
- North York Moors National Park Authority Design Guide (Part 2 Extensions and Alterations to Dwellings)

The statement seeks to explain the design principles for the development, based upon an understanding of what is appropriate for the site, determined through an analysis of the surrounding context. These principles are based upon good practice as set out in national planning and urban design guidance.

The document has the following functions and purpose:

- To identify the existing context of the site
- To provide a description of the key issues, constraints and opportunities afforded by the site, and the evaluation that has informed and led to the proposed form of development
- To identify the key development principles and framework which has informed the design of the scheme
- To provide appropriate information on the development in terms of layout, scale, amount, landscaping, appearance, and access.

01 INTRODUCTION & CLIENT INFORMATION

The ethos of the design is to:

- Create a sustainable development that supports the existing community and respects the positive features of the site and surrounding area
- Create a legible and attractive place with a sense of identity appropriate to the area
- Create a high quality environment

The proposal involves the medium scale remodelling of this property which includes the demolition of the existing garage due to the existing foundations not being suitable to take the load of an additional floor.

The main alterations to the property include the provision of a modest single storey rear extension and two storey side extension.

The completed development would provide modern facilities associated with 21st century living and would provide a positive addition due to the appropriate location, scale, design and relationship with the main property.

Extending a property can harm residential amenity of neighbouring occupants but it is considered that the nearest occupants will not be harmed by virtue of overlooking, over dominance, loss of light, loss of outlook and enclosure.

The Design and Access Statement has been produced in line with CABE guidelines to establish the parameters and principles of the development proposals.

Planning Applications are to be determined in accordance with the policies in the Development Plan and in this case the Development Plan comprises the North York Moors National Park Authority Core Strategy and Development Policies document (2008).

02 SITE DESCRIPTION

The application site comprises an attractive two storey semi-detached dwelling on the northern side of Mill Lane, a residential street in West Ayton and lies within the boundaries of a conservation area of the North York Moors National Park.

The property is traditional in form and has a stone finish. There is a single storey garage attached at the side.

On-site parking is on a tarmac driveway at the front with vehicular access taken directly from the main highway.

The surrounding area is residential in form, with varying forms of architectural styles prevailing.

03 SITE HISTORY

There is no recent planning history at this property.

04 THE PROPOSED SCHEME

A pre-application submission was made to North York Moors National Park Authority on 11th February 2020 which included drawings indicating the proposals. In accordance with correspondence with Miss Helen Webster, the proposal seeks consent for;

- Single storey rear extension
- Two storey side extension following demolition of existing garage
- Changes to main roof at the rear of the house to accommodate the new two storey extension roof intersection

The existing dwelling is largely traditional in appearance and externally comprises stone façades under a pantile roof. There is an attached garage to the side of the dwelling which will be demolished to accommodate the new two storey side extension.

At present, the appearance at the rear of the property is a little imbalanced due to the garage being set back from the main dwelling. The removal of the garage and changes to the existing roof will allow for a cohesive arrangement which will represent a sense of uniformity and balance in the overall appearance whilst being sympathetic in character to the existing house and immediate neighbouring area.

Although the internal changes do not require planning permission, the existing internal layout is not conducive to modern day living due to the amount of separate narrow rooms. The changes proposed will allow for a more open plan environment and for a high level of amenity for the occupants.

Amenity Levels

The proposed extensions benefits from having good amounts of glazing on the facades which allows lots of natural light within the building and the general openness of the proposed internal layout ensures all areas will receive good amounts of natural light and sunlight throughout the day thus affording a high level of residential amenity for the existing occupants.

Layout

It is considered that the proposed location of the extensions is acceptable in terms of forming a cohesive relationship with the main dwelling and the neighbouring occupants.

Amount

It is considered that the overall size of the development is commensurable to the size of the main dwelling and rear garden without compromising the amenity of those living closest to the development.

Living Standards

The proposed development would only increase the living standards of the occupants by providing additional living spaces and a higher standard of residential amenity.

Access

No changes to the existing front access will be made. This property is an existing private house in single occupation and as such does not have any particular additional access requirements.

05 LOCAL PLAN POLICIES

North York Moors National Park Authority Local Development Framework Core Strategy and Development Policies (2008)

Policy 3 (Design)

To maintain and enhance the distinctive character of the National Park, development will be permitted where:

1. The siting, orientation, layout and density preserves or enhances views into and out of the site, spaces about and between buildings and other features that contribute to the character and quality of the environment and will not result in the loss of an open space which contributes to the amenity, character and setting of a settlement.
2. The scale, height, massing, proportion, form, size, materials and design features of the proposal are compatible with surrounding buildings, and will not have an adverse effect upon the amenities of adjoining occupiers.
3. A high standard of design detailing is used whether traditional or contemporary, which reflects or complements that of the local vernacular.
4. The design takes account of the safety, security and access needs for all potential users of the development and provides car parking provision in line with the standards adopted by the Authority.

Policy 19 (Householder Development)

Proposals for development within the domestic curtilage of dwellings will need to take full account of the special qualities of the Park's nine landscape character areas and architectural character of settlements and will only be supported where:

1. The scale, height, form, position and design of new development does not detract from the character and form of the original dwelling or its setting in the landscape.
2. The development does not adversely affect the residential amenity of neighbouring occupiers or result in inadequate levels of amenity for the existing dwelling.
3. The development does not harm the amenities of adjoining occupiers by reason of noise and disturbance, smell or other adverse impact.

NB: Relevant parts of Policy identified only.

The proposal allows for the cohesive redevelopment of this property. Taken into context of the size of the main dwelling and availability of space to redevelop then this provides the perfect opportunity to provide a high quality development which will visually enhance this property and provide a high standard of accommodation for its residents.

The development has been designed in a manner that ensures that both the amenity of adjacent residents and the setting of the Conservation Area are not harmed in any way.

06 NATIONAL PLANNING POLICY FRAMEWORK (NPPF)

This section of the Statement sets out relevant National Planning Policy. The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England with a strong emphasis being on presumption in favour of sustainable development.

Section 12 of the revised NPPF, Achieving well-designed places, states that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities, and that Neighbourhood plans can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development.

Paragraph 124 states 'the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.'

Paragraph 127 (Part F) 'Planning policies and decisions should ensure that developments:

Create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience'.

Paragraph 130 states 'Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents.

Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decisionmaker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used)'.

07 RESIDENTIAL AMENITY

With any new development, if in close proximity to existing residents, it is important that their amenity is not significantly harmed in any way.

By virtue of varying factors, the extensions would have a largely neutral effect on the amenity of the residents because the overall relationship is compatible with the surrounding land use and the size of the structure, position of windows, distance, location and presence of intervening structures ensures the amenity of those living at this property is not harmed.

08 HERITAGE ASSESSMENT

The application site is located within a Conservation Area.

Where possible, heritage assets should be used to reinforce local distinctiveness, create a sense of place, and assist in the delivery of the economic well-being of the area. This can be achieved by putting assets, particularly those at risk, to an appropriate, viable and sustainable use. It continues stating that the significance, views, setting, character, appearance and context of heritage assets, both designated and non-designated, should be conserved preserved or enhanced, especially the key features that contribute to the areas historic character.

Given the location of the proposed additions to the building, it is not considered that there would be any harm to the character and appearance of this part of the Conservation Area. The architecture of the main dwelling is traditional in form but in line with the overall remodelling of the property such a arrangement would not look inappropriate.

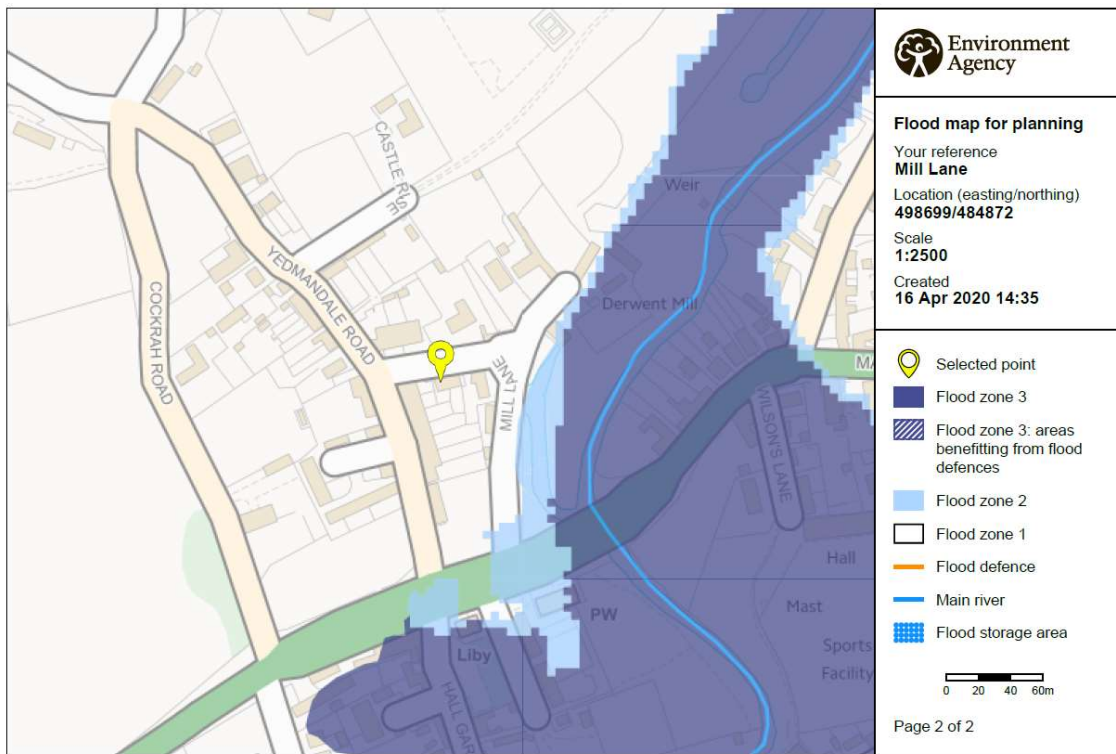
09 FLOOD RISK / DRAINAGE

The NPPF seeks to ensure that environmental hazards, such as flood risk, coastal change groundwater pollution and other forms of pollution are managed so that the development does not result in unacceptable consequences to its users, the wider community and the environment.

The site is in an elevated position, has no history of flooding, does not lie within an area at risk of flooding as it is located in Flood Zone 1 and the size of the application site is under 1 hectare, therefore a Flood Risk assessment is not required to accompany this planning application.

Therefore, it is considered that it would be reasonable to conclude that the development of this site would not result in problems relating to drainage and flood risk.

It is considered that the proposal is acceptable in respect of foul and surface water.



10 CONCLUSION

There are sufficient positives to justify an application of this nature on the application site with this considered and well-designed development which would accord with the host site and the immediate locality.

The extensions have been designed in an appropriate and sensitive manner that will respect the main dwelling and the site in general and will ensure that the form of the built environment is not harmed in a significant manner.

Context has been taken to the style and size of the main dwelling which is modest and semi-detached in form and it is considered that this proposal enhances the overall appearance.

Residential amenity has been taken into consideration and it is not considered there are such issues such as overlooking, loss of privacy, loss of light, enclosure, loss of outlook or over dominance created as a result of the development and the amenity of the occupants living to the east and west will not be harmed.

From a heritage perspective, it is important that visual changes to the building do not harm the setting of the Conservation Area but the main changes to the property are at the rear and there will be no direct conflict.

The completed development will provide all the modern facilities of 21st Century living and a positive sense of amenity for the current occupants because of the good internal space provided which allows them to take advantage of sunlight throughout most of the day.

It is considered that the development complies with all the relevant Local Planning Policies and the North York Moors National Park should fully support the applicant's efforts and commitment for continued redevelopment and enhancement of this property which is of the highest standard in many aspects.

Justine Strickland

From: Chris Suggitt
Sent: 17 April 2020 09:17
To: Planning
Cc: Helen Webster
Subject: Proposed Single Storey Rear Extension, Conversion of/Extension to Garage to form Living Accommodation and Construction of First Floor Side Extension at 15 Mill Lane, West Ayton
Attachments: Completed Application Form.pdf

Email 1 of 3

Dear Sirs

Further to our Pre-App correspondence (ref NYM\2020\ENQ\16358), please find enclosed the following information in support of our householder planning application: -

1. Completed Householder Planning Application Form (please could we kindly request that our personal contact information is hidden from public view?)
2. Drawing No: 15/ML/001/# Existing & Proposed Plans & Elevations
3. Design & Access Statement
4. Bat Exemption Statement (see below)
5. Application fee payment of £206.00 to be paid via bank transfer once we have a reference number.

Bat Exemption Statement:

This householder planning application includes some proposed alterations to the existing roof and the demolition of the garage roof. The existing roof of the garage and house is of modern construction and there are no cracks, voids or inconsistencies in the roof tiles, soffits or fascias which would allow bats to access the property. As a result, there is no potential for bats to roost/co-habitat. In addition, the property is well maintained and has been occupied on a continual basis with no sightings of bats and no evidence of bat droppings.

Considering the above, we would request exemption from any requirement to undertake a specialist bat survey.

We trust the above provides sufficient information to validate the application once we have made payment, however if any further information is required please do not hesitate to contact the undersigned.

Yours Faithfully

Mr & Mrs Suggitt