
From: Neil Duffield
Sent: 30 April 2020 15:03
To: Helen Webster
Subject: RE: NYM/2020/0223/FL - Rounton House, RHB E11808- nymnp drawing 02C 30-04-20

Hi Helen,

Our client has responded to this one. While she feels they can compromise on some items they still need a reasonable floor area.

Her comments:-

We are happy to work with the planners but would like the following to be considered which we feel helps the situation significantly.

- 1. We will remove the parapet wall completely – this is fine, we will have to stick with the lantern roof as we don't have the height to get the pitch for a regular pitched roof with skylights.*
- 2. We will come in half a metre rather than the 1 metre suggested – coming in 1 metre will remove 6m² of floor space, there won't be much point at all in doing the extension and improving the property to lose all this extra floor space.*
- 3. We will extend to 5m rather than 6m – it is suggested that we come in 1.5m from our planned extension, however for the same reasons above there will be little point in creating the extension if the floor space is to be minimised so much. Furthermore at this distance we are still a very long way off being in view of the neighbouring properties. We are lower than many so there is no danger of us overlooking their outdoor space at this level.*

As a side note the works that we have completed to date are:

Removal of certain trees in the garden which were flagged up on the survey as causing damage to the culvert that runs underneath the gardens, if this were to crack it could cause flooding and drainage issues for the area so we were advised to remove the trees asap> We did seek advice from Scarborough Council and the National Parks prior to removal of the trees and to check that there was no preservation order on any of them.

Our drawing reflecting this D11808-02c is attached.

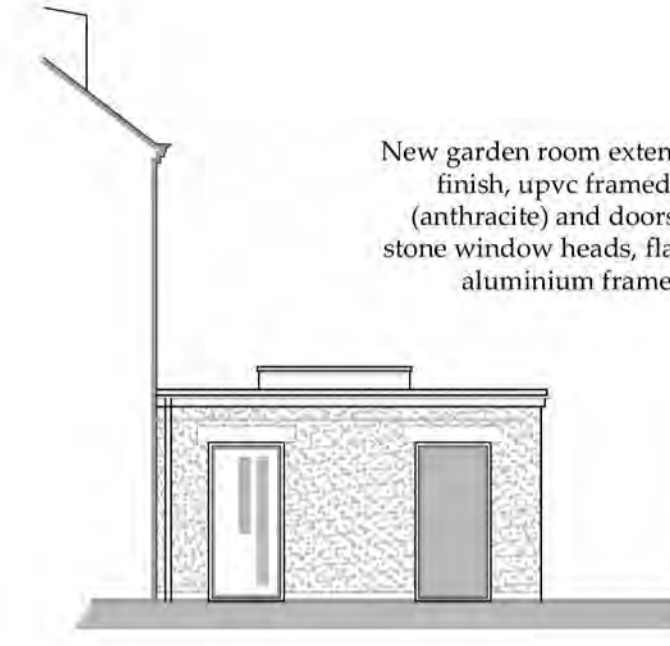
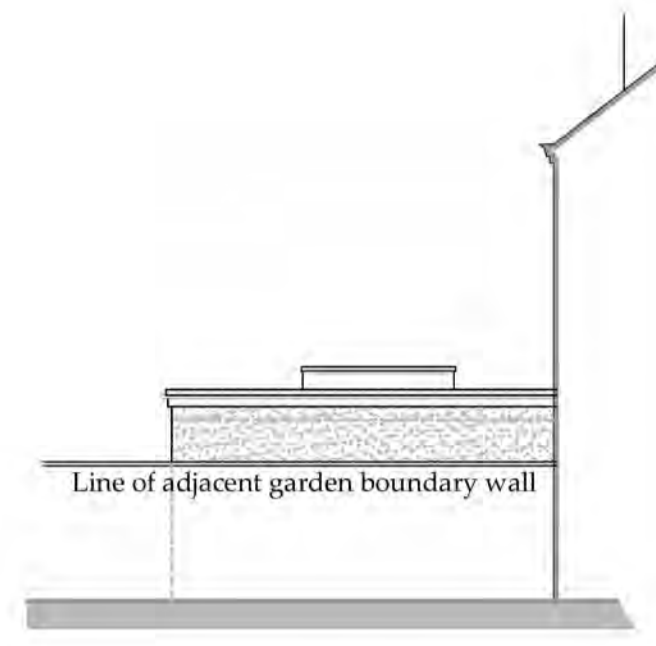
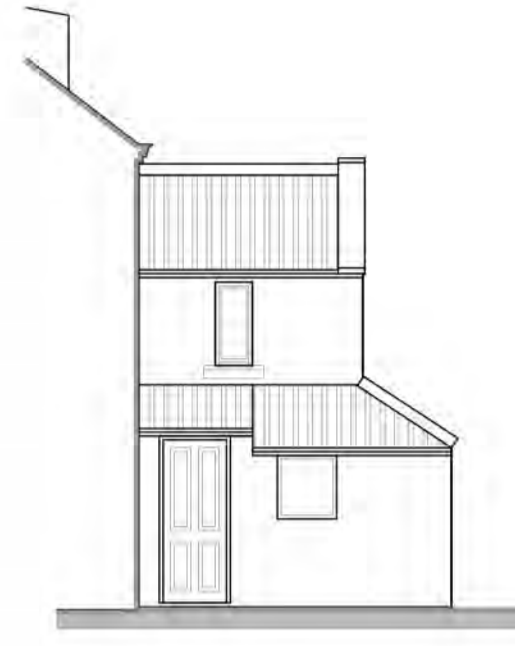
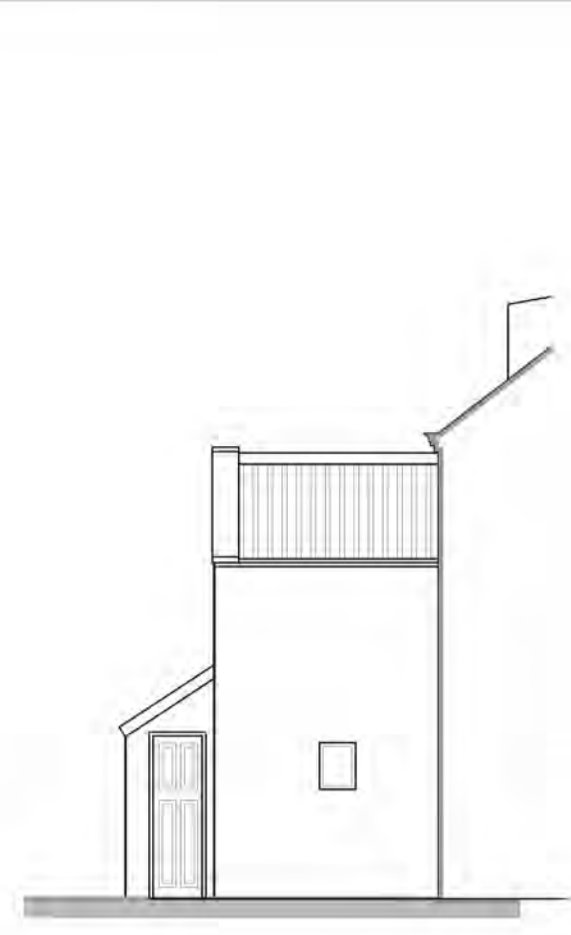
There are also changes to the window type, ie UPVC instead of aluminium as we originally specified.

The internal lobby has also been removed to help with floor area.

I look forward to your comments prior to issuing a decision.

Kind regards
Neil

Do not scale from this drawing. Only figured dimensions are to be taken from this drawing.
 The contractor must verify all dimensions on site before commencing any work or shop drawings.
 The contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the technician is to be informed before work is initiated.
 Work within the construction (design and management) regulations 2015 is not to start until a health & safety plan has been produced. This drawing is copyright and must not be reproduced without consent of BHD Partnership Ltd.
CDM Regulations
 Contractor must not start without 'Pre Construction Information' from Principle Designer. If unsure contact BHD.
 Contractor must agree the 'Principle Contractor' roll with the client prior to commencement of the works.
 Ensure if required under CDM2015 regulations that the project is notified to the HSE.



New garden room extension; rendered finish, upvc framed windows (anthracite) and doors. GRP roof, stone window heads, flat glass lantern to roof.

Side Elevation - W
Scale 1:100 @ A1

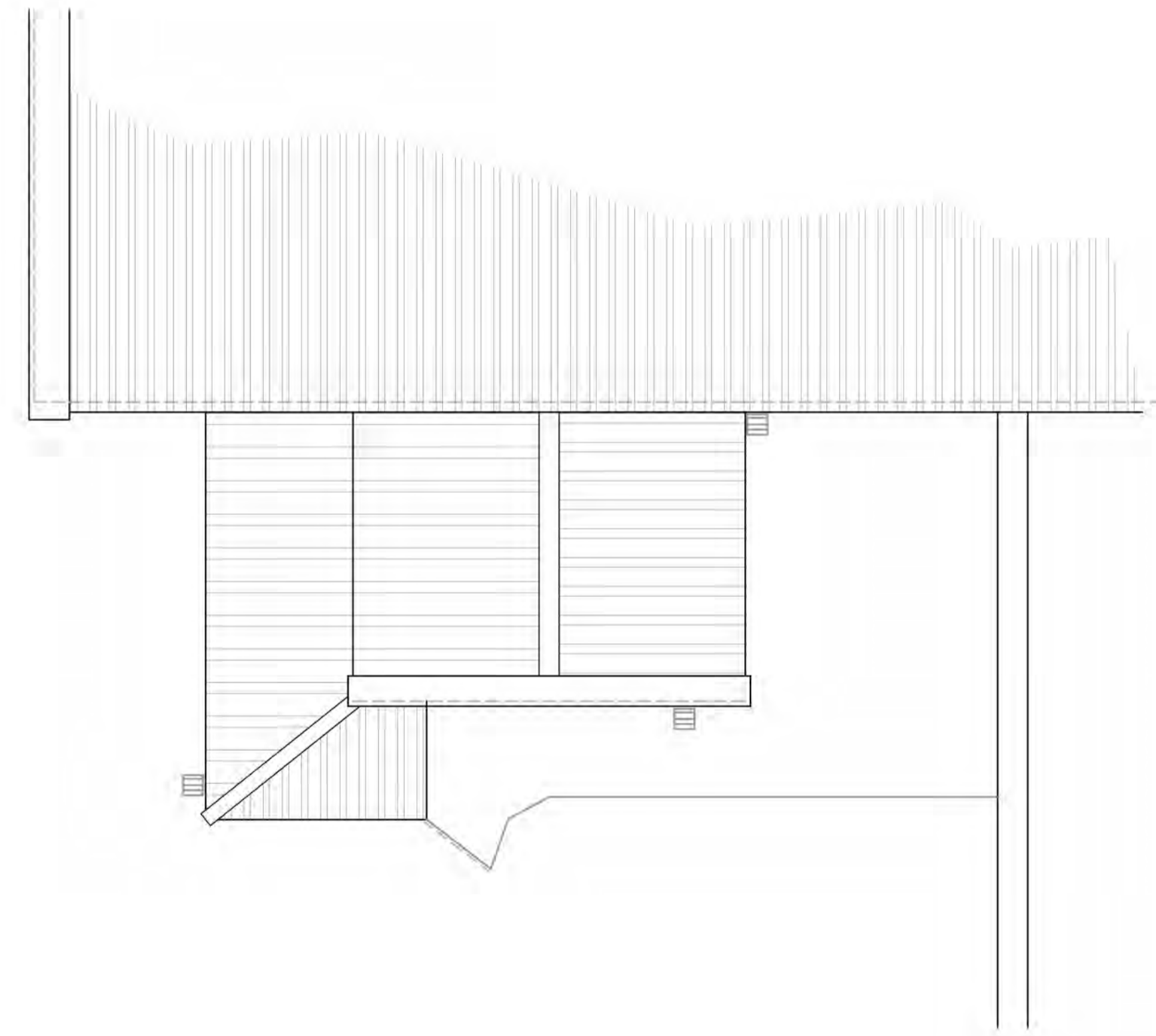
Rear Elevation - N
Scale 1:100

Side Elevation - E
Scale 1:100

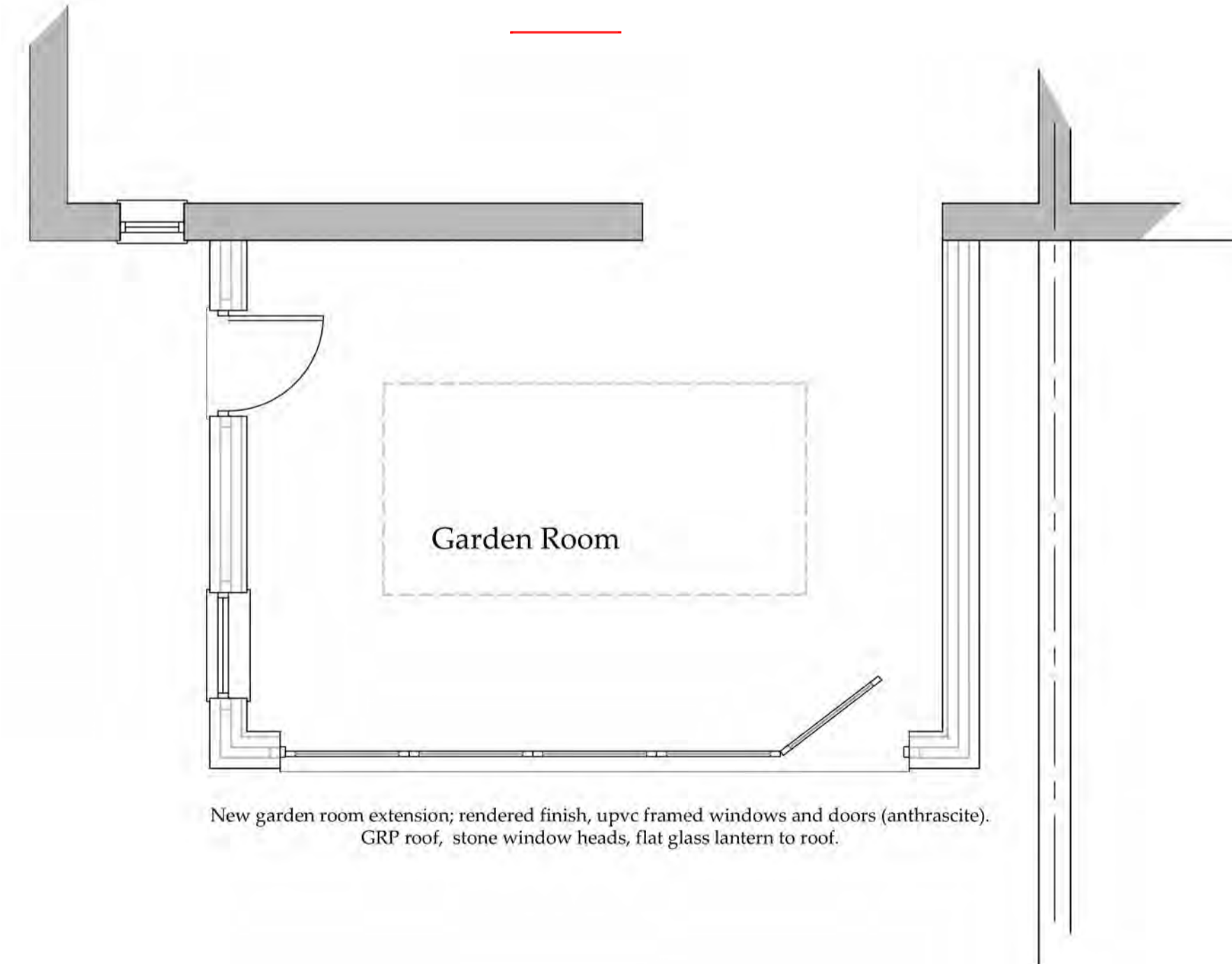
Side Elevation - W
Scale 1:100 @ A1

Rear Elevation - N
Scale 1:100

Side Elevation - E
Scale 1:100



Roof Plan
Scale 1:50 @ A1



New garden room extension; rendered finish, upvc framed windows and doors (anthracite). GRP roof, stone window heads, flat glass lantern to roof.

Floor Plan
Scale 1: 50 @ A1

NYMNP
30/04/2020

AMENDED

Drawing for Planning and Client consideration only

C	30/04/20	NID	Finishes notes and Lobby
B	29/04/20	CE	Reduced to suit Planners
A	18/03/20	NID	Issued for approval

REV	DATE	BY	AMENDMENT
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bhd
partnership
Architecture + Engineering

Airy Hill Manor, Waterstead Lane,
Whitby, N. Yorks. YO21 1QB.

CLIENT: Sarah McDermott

PROJECT: Rear extension to Rounton House Robin Hoods Bay

Drawing: Existing and Proposed Elevations and Plans

DRAWING STATUS: Preliminary

DRAWN: NID CHECKED:

SCALE @ SIZE: 1:50&1:100@ A1 DATE: 18/03/20

DRAWING No: D11808-02 REV: C

From: Neil Duffield
Sent: 01 May 2020 12:21
To: Helen Webster
Subject: FW: NYM/2020/0223/FL - Rounton House, RHB E11808- nymnp finishes 01-05-20

Hi Helen,

Following on from yesterday our clients have suggested the following finishes.
'Chalk' for the render, picture attached and the 'Anthracite' dark grey for the upvc. See the link.
<https://www.foldingdoors2u.co.uk/upvc-bifold-doors/colours.htm>

Let me know if you have any thoughts on these.
Otherwise have a good weekend.
Thanks
Neil

Order your samples —



Chalk

NYMNPA
01/05/2020