
From: John White
Sent: 28 May 2020 15:12
To: Hilary Saunders
Subject: RE: Hannahs Garth NYM/2020/0268/FL

Dear Hilary

Further to our telephone conversation please find attached herewith two more revised drawings which illustrate the following:-

1. Ridge height of the existing house as surveyed.
2. Revised roof geometry.
3. Minor modifications to window arrangement.
4. Confirmation that the proposed main ridge height is now lower than the existing house.
5. Addition of a chimney stack, for the living room fire place, in order to break the long ridge line.

It is hoped that these further modifications along with those carried out previously as recorded in the email string below, and the lengthy pre-application design development process; will enable you to proceed towards approval of the development.

If however you have any further queries please do not hesitate to contact me.

Regards

John M. White P.G. Dip. Arch. RIBA

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4 Hunwick Hall Farm
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Hunwick
Co. Durham
DL15 0JS

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A selection of our work in 2019 which we hope you will find interesting

January	February	March	April	May	June
 The Impeccable Pig, Sedgefield Opens	 Learning Centre Group, DurhamGate Handled Over	 Ballroom, Bowburn Hall Ready for First Function	 Woodland Lodges, Bowburn Hall Implemented	 Pole Barn Cowenston, Durham Starts On-Site	 New House, Crook
July	August	September	October	November	December
 SG Felch Motor Dealership, MidBensbrough Opens	 New House, Wynyard Progression On-Site	 Brewery/ Tap Room, Newcastle Starts On-Site	 Treehouse Lodges, Ramside Hall Nears Completion	 Ray Chapman Motor Dealership, York Opens	 St. Nicholas Church

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From: John White
Sent: 27 May 2020 10:11
To: h.saunders@northyorkmoors.org.uk
Subject: RE: Hannahs Garth NYM/2020/0268/FL

Dear Hilary

I write further to your letter received below and our subsequent telephone conversation. I have worked closely with my client in order to address as far as reasonably possible the objections raised in your correspondence, as follows:-

1. Orientation of the proposed dwelling revised to align with 2, 3 and 4 Grant Close rather than the adjacent house no.7. This maintains the historic grain of Grant Close whilst moving the proposed garage element, out of the direct line of sight line from no. 2 Grant Close, thus greatly diminishing its potential impact.
2. Garage roof / plan re-configured to significantly reduce its height and also move it further away from the northern site boundary and the cottages beyond, whilst again taking the garage element out of the direct line of sight from the cottages.
3. Overall height of the main dwelling has been reduced by approximately 450mm.
4. Ground floor level reduced by 100mm when compared to the existing dwelling to again reduce the overall height and therefore any potential impact.

Hopefully this helps to illustrate that proposed dwelling in its revised configuration helps to mitigate any potential impact on neighbouring properties.

Furthermore hopefully this will enable the application to move towards approval; if however you have any further queries please do not hesitate to contact me.

Regards

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January  The Inseparable Pk, Sedgfield Opens	February  Learning Centre Group, DurhamGate Headed Over	March  Ballroom, Bowburn Hall Ready for First Function	April  Woodland Lodges, Bowburn Hall Implemented	May  Pole Barn Conversion, Durham Starts On-Site	June  New House, Crook
July  SG Felch Motor Dealership, Middlesbrough Opens	August  New House, Wynyard Progress On-Site	September  Brewery/Tap Room, Newcastle Starts On-Site	October  Brewhouse Lodges, Rainside Hall Nears Completion	November  Kay Chapman Motor Dealership, York Opens	December  St. Nicholas Church

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Project:
Proposed Demolition and Erection of Dwelling at
Hannah's Garth, 1 Grant Close
Osmotherley
Nothallerton

Client:
Ms H Almond

Drawing:
Proposed Site Plan

Scale: 1:100 at A1	Date: 22/05/2020	Drawn: JL
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Proj. No.: 709	Dwg. No.: 04	Rev No: E
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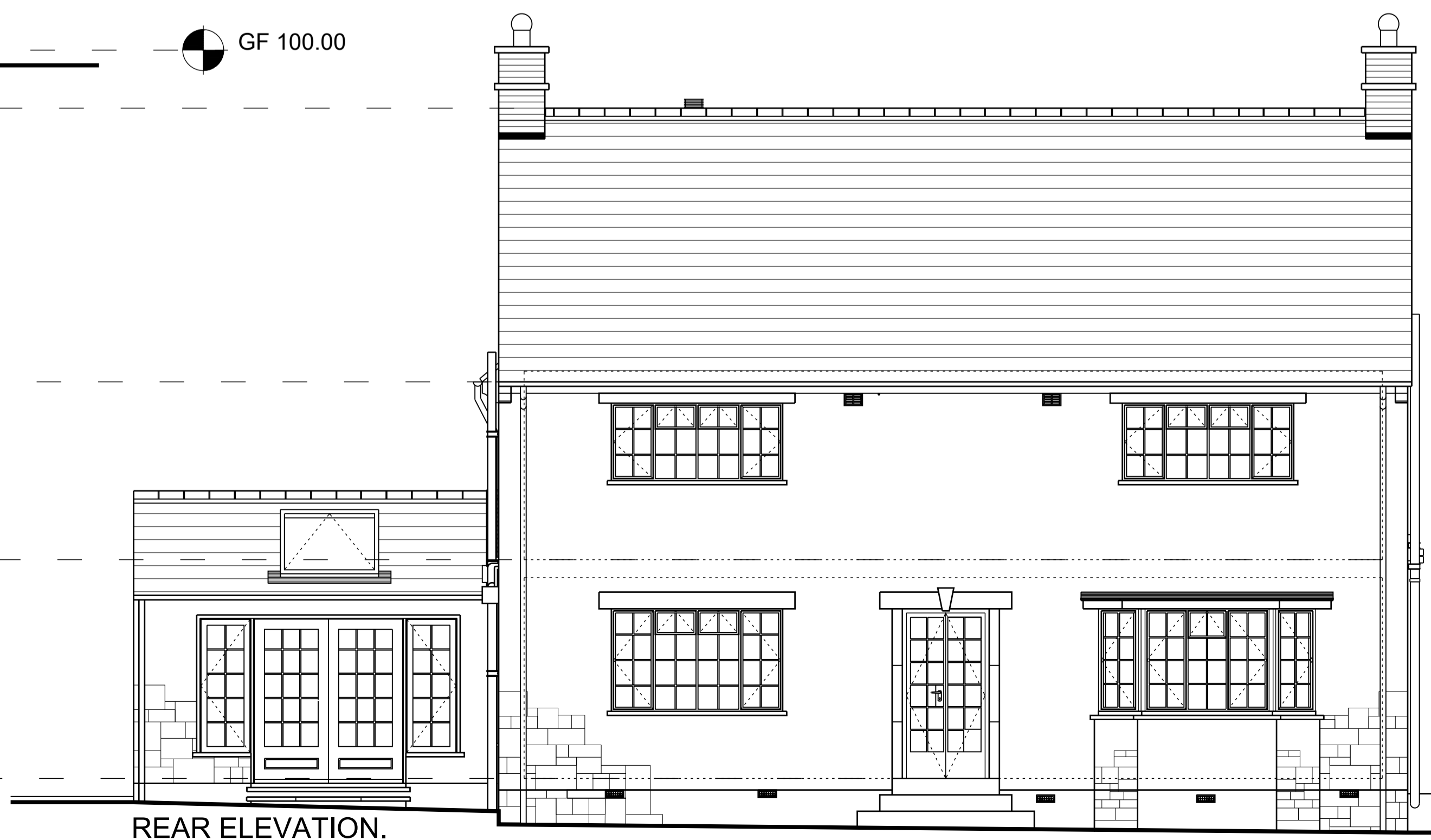
FRONT ELEVATION.



SIDE ELEVATION.



SIDE ELEVATION.



REAR ELEVATION.

NYMNP
28/05/2020
AMENDED

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Project:
Proposed Demolition and Erection of Dwelling at
Hannah's Garth, 1 Grant Close
Osmotherley
Nothallerton

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Ms H Almond

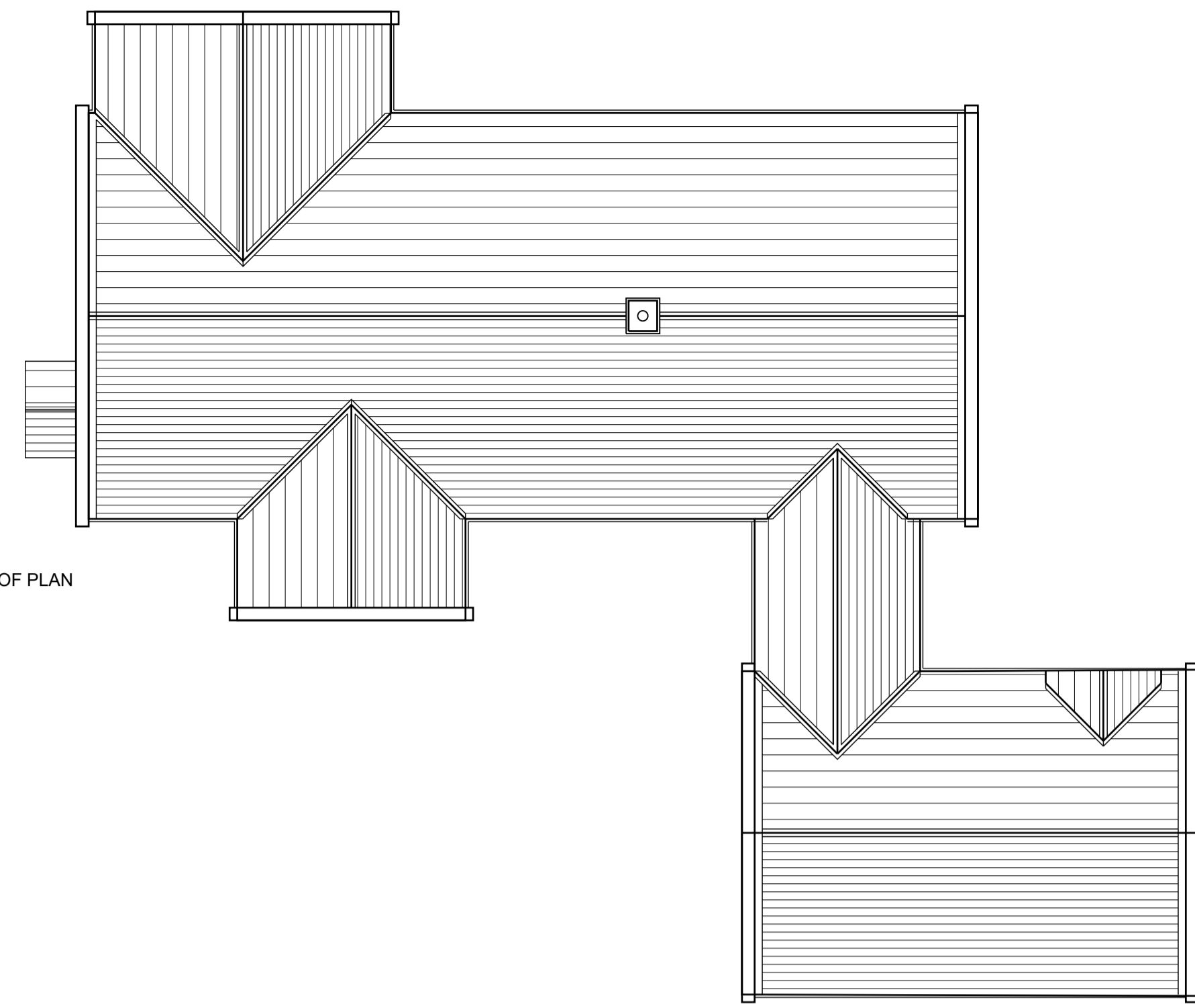
Drawing:
Existing Elevations

Scale 1:50 at A1	Date 30/04/2020	Drawn JL
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Proj. No. 709	Dwg. No. 02	Rev. No. B
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PROPOSED ROOF PLAN



PROPOSED NORTH (FRONT) ELEVATION



PROPOSED SOUTH (REAR) ELEVATION



PROPOSED EAST (SIDE) ELEVATION



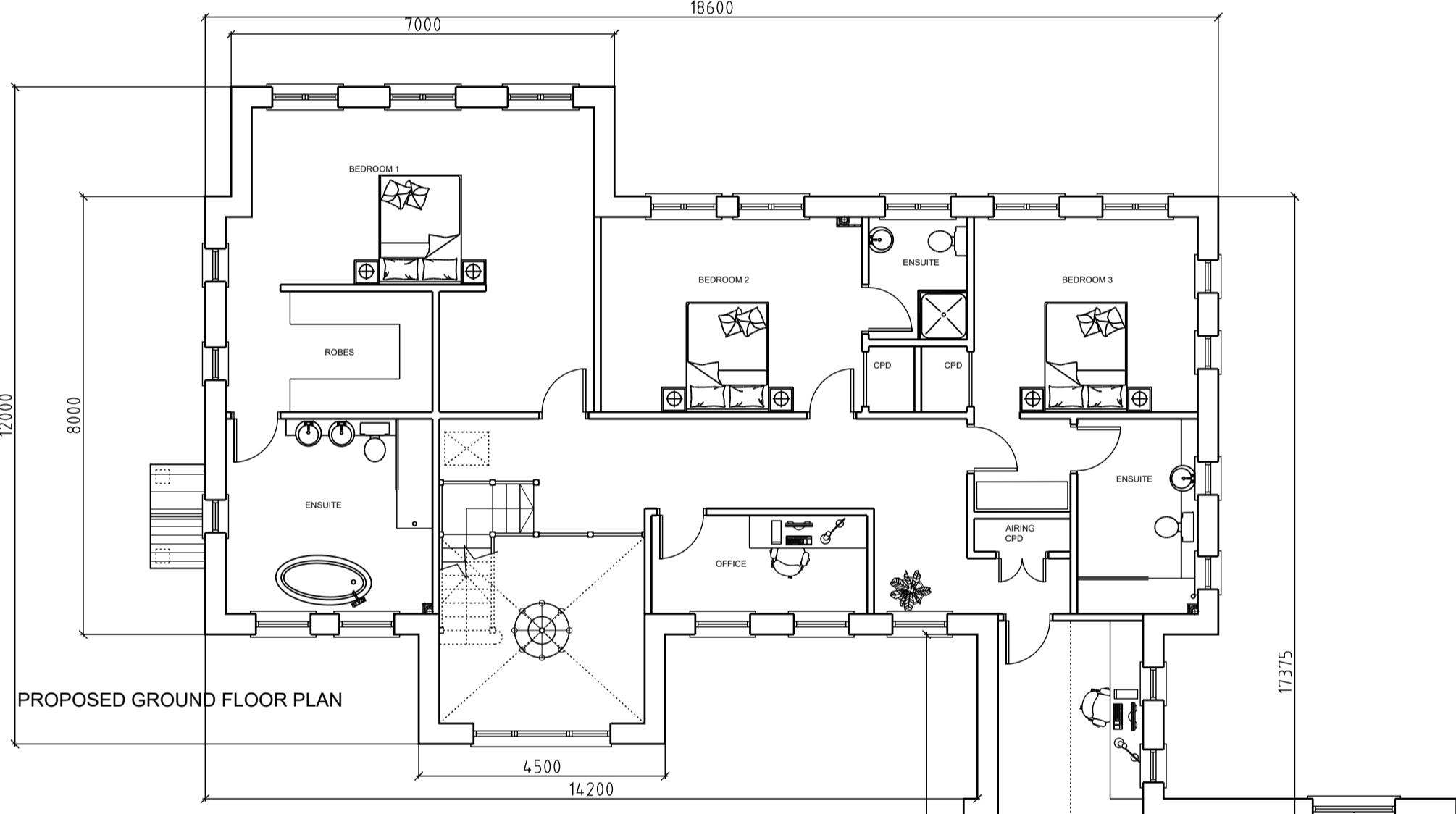
NYMNP
28/05/2020

AMENDED

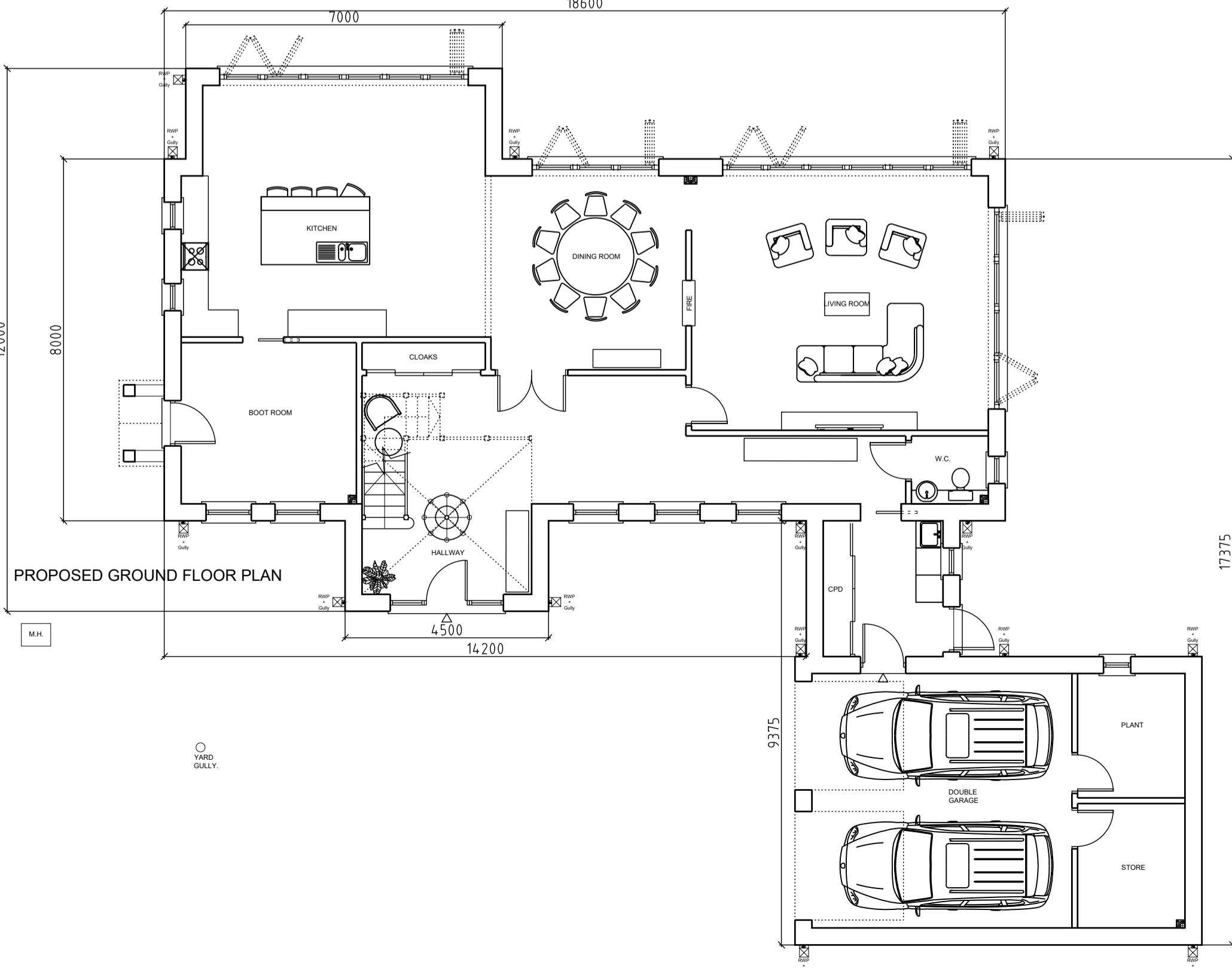
PROPOSED WEST (SIDE) ELEVATION



PROPOSED GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



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Project:
Proposed Demolition and Erection of Dwelling at
Hannah's Garth, 1 Grant Close
Osmotherley
Nothallerton
Client:
Ms H Almond

Drawing:
Proposed Scheme 2

Scale: 1:100 at A1	Date: 26/05/2020	Drawn: JL
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Proj. No.: 709	Dwg. No.: 05	Rev No.: E
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