
From: Patrick [
Sent: 28 May 2020 17:36
To: Hilary Saunders
Cc:
Subject: RE: NYM/2020/0227/FL - Plough Inn, Boonhill Road, Fadmoor

Good afternoon Hilary,

Further to your email and attached NYCC Highways office email of the 29 April 2020, we have now reviewed the comments and respond as follows, using the same numerical order as the NYCC email:

1. Boundary Line. We have now been informed that the previously advised boundary lines and application drawings were indeed incorrect and we attach copies of the confirmed correct boundary lines as per the attached revised drawings:
 - 1527/110/rev D/Proposed Site/Drainage Plan
 - 1527/111/rev D/Proposed External Works Plan

The revised drawings now indicate the correct boundary and subsequent amendments to the car parking proposals. There are still 8 spaces proposed, including one per dwelling and two visitors
Spaces

2. Ground Floor windows. Noted, and we have now included a note on attached drawing 1527/110/rev D/ to indicate no doors or windows to open out on to the public highway
3. Visibility Splay. Noted, we have now omitted the relevant note on the drawing and confirmed the existing vehicle access and egress to and from the site is to be retained
4. Breakdown of Housing Mix, Noted, however, this information is on the submitted application drawings, assume just missed and for convenience, we attach a further copy of the following drawing which indicates number of units, bedrooms/unit and GIA together with local occupancy or holiday let.

- 1527/120/rev C/Proposed Ground Floor Plan, Flats 1-3/building

Apologies with regards to the boundary line error and we trust the above and attached is now sufficient for your requirements and we look forward to hearing from you, in the meantime, please advise if you require any further information or clarification

Regards

Patrick A Barrett RIBA

Barrett+Barrett architects ltd

www.barrettarchitects.com

Morwick Hall, Mortec Office Park, York Road, Leeds LS15 4TA.

BoHo One, Bridge Street West, Middlesbrough TS2 1AE.

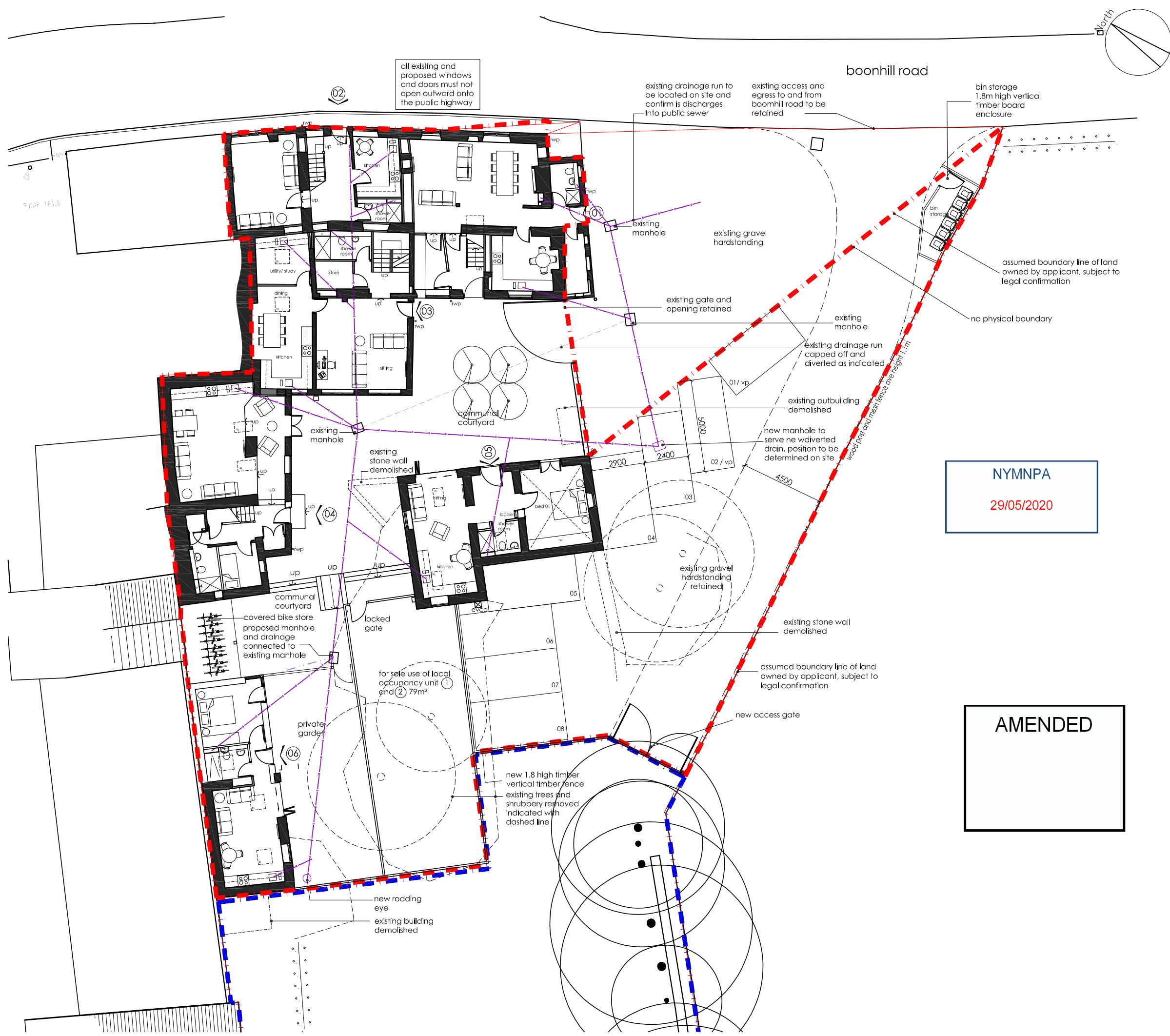


please consider the environment - do you need to print this email?

The contents of this e-mail together with any attachments are strictly confidential and are intended for the addressee only. If you are not the addressee please delete this e-mail together with its contents without reading, copying, distributing, printing or any other form of communication in its regard.

The contents of this e-mail remain the intellectual property of Barrett+Barrett architects and should not in any case be reproduced without our prior consent.

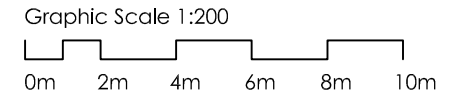
This e-mail has been scanned for known viruses prior to sending, however it is the recipient's responsibility to ensure that it is free from infection and Barrett+Barrett architects accept no responsibility whatsoever for any damage, disruption or offence which may be caused as a result of sending this e-mail.



This drawing may be based on site information as supplied by third parties and as such Barrett+Barrett Ltd make no guarantees as to its accuracy. The features as illustrated are thus approximate and subject to a detailed Topographical and/or Measured Building Survey. Statutory Service enquiries and the confirmation by the client of all legal boundaries.

Scaling from this drawing will not be permitted under any circumstances and figured dimensions must be worked in all cases, taken from the face of existing partitions, grid lines or any other elements as prescribed on the drawing. Discrepancies must be reported to Barrett+Barrett Ltd prior to commencement of any work.

Barrett+Barrett Ltd grant licence to the intended recipient to employ the information as contained in this drawing for the purposes connected with the related project only. Copyright of this information remains solely the property of Barrett+Barrett Ltd unless otherwise assigned in writing. Any breach of the terms of this licence results in the termination of the licence and the medium and any resulting copies must be returned to Barrett+Barrett Ltd immediately.



unit 01 and 02 local occupancy
 unit 03 04 05 and 06 holiday lets

- key**
- foul water
 - surface water
 - re rodding eye
 - fw mh proposed foul water manhole

og obscure glazing

NYMNP
 29/05/2020

AMENDED

D	27.05.20	revised following planning officer's and highways comments	EA	PAB
C	30.08.19	revised following planning officer's comments	EA	PAB
B	23.07.19	revised following planning officer's comments	EA	PAB
A	03.07.19	revised following meeting with planning department	EA	PAB

Barrett+Barrett Chartered architects

Barrett+Barrett Architects Ltd
 Morwick Hall
 Mortec Office Park
 York Road
 Leeds
 LS15 4TA

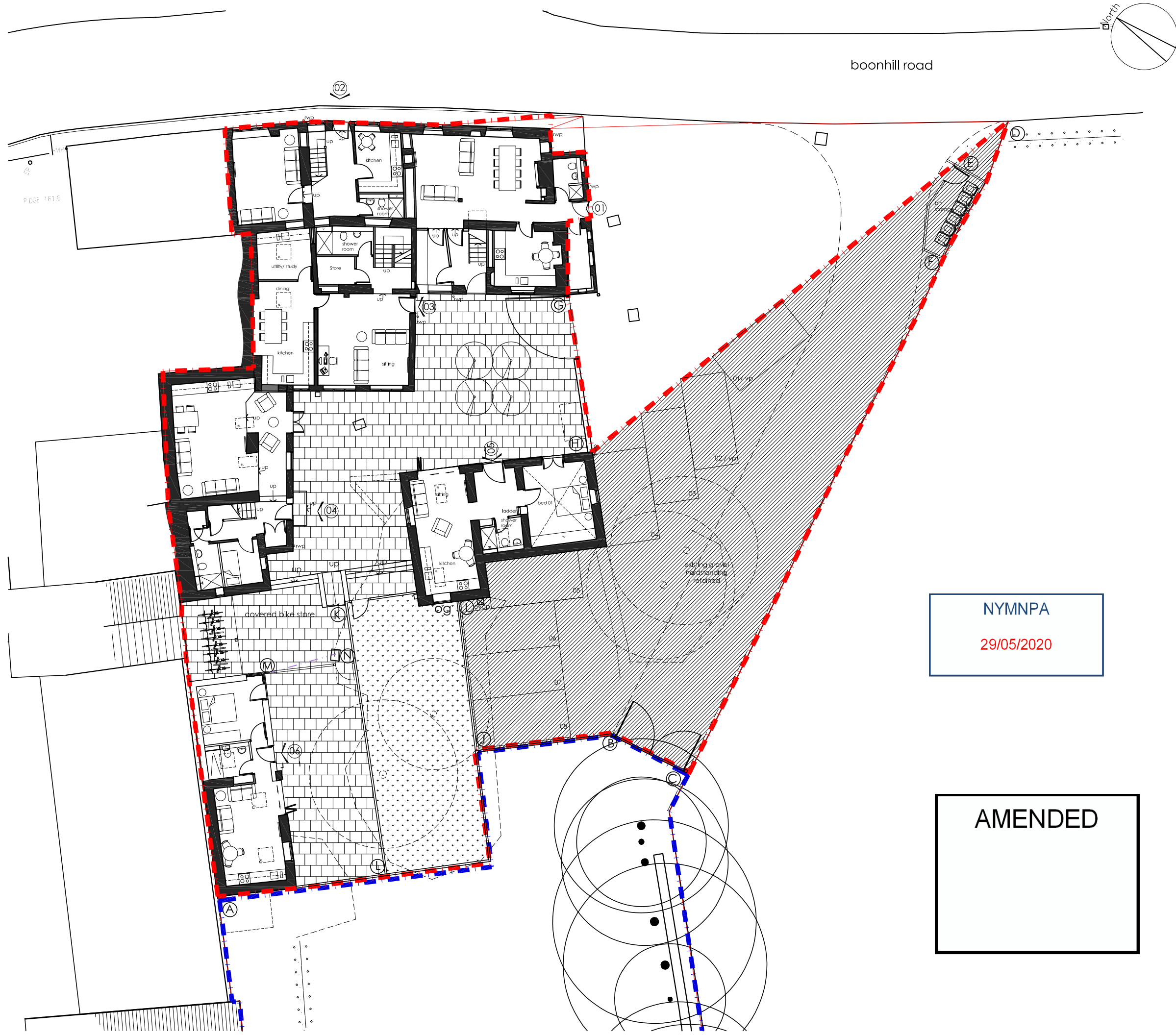


Project:
Proposed Holiday Accommodation Dev at Plough Inn PH, Boonhill Road, Fadmoor, YO62 7JG

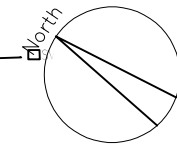
Client:
Pennyholme Estate

Dwg Title:
Proposed Site/ Drainage Plan

Date:	Scale:	Drawn:	Checked:
Mar 2018	1:200 @ A3	SC	PAB
Project No:	Dwg No:	Rev:	Status:
1527	110	D	Planning



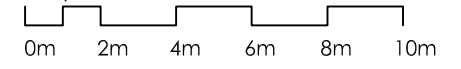
boonhill road



This drawing may be based on site information as supplied by third parties and as such Barrett+Barrett Ltd make no guarantees as to its accuracy. The features as illustrated are thus approximate and subject to a detailed Topographical and/or Measured Building Survey. Statutory Service enquiries and the confirmation by the client of all legal boundaries.

Scaling from this drawing will not be permitted under any circumstances and figured dimensions must be worked in all cases, taken from the face of existing partitions, grid lines or any other elements as prescribed on the drawing. Discrepancies must be reported to Barrett+Barrett Ltd prior to commencement of any work.

Barrett+Barrett Ltd grant licence to the intended recipient to employ the information as contained in this drawing for the purposes connected with the related project only. Copyright of this information remains solely the property of Barrett+Barrett Ltd unless otherwise assigned in writing. Any breach of the terms of this licence results in the termination of the licence and the medium and any resulting copies must be returned to Barrett+Barrett Ltd immediately. **Graphic Scale 1:200**



- boundary treatments
- (A) - (B) 1.8m high vertical timber fence
 - (B) - (C) new access gate
 - (C) - (D) existing boundary fencing / treatment to be retained
 - (E) - (F) 1.8m high vertical timber fence to form bin store enclosure
 - (G) - (H) existing red brick 1.8m high wall and gate opening to be retained
 - (H) - (I) no physical boundary
 - (I) - (J) 1.8m high vertical timber fence
 - (K) - (L) 1.8m high vertical timber fence
 - (M) - (N) 1.8m high vertical timber fence
 - [Pattern] Lawn
 - [Pattern] existing gravel hardstanding retained
 - [Pattern] permeable paving
 - [Pattern] low level native shrub mix
 - [Symbol] proposed trees
 - [Symbol] existing trees
 - [Symbol] evcp electrical vehicle charging point
 - [Symbol] vp visitor parking

NYMNP
29/05/2020

AMENDED

D	27.05.20	revised following planning officer's and highways comments	EA	PAB
C	30.08.19	revised following planning officer's comments	EA	PAB
B	23.07.19	revised following planning officer's comments	EA	PAB
A	03.07.19	revised following meeting with planning department	EA	PAB

Barrett+Barrett Chartered architects

Barrett+Barrett Architects Ltd
Morwick Hall
Mortec Office Park
York Road
Leeds
LS15 4TA

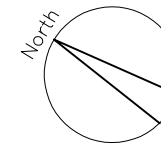


Project:
Proposed Holiday Accommodation Dev at
Plough Inn PH, Boonhill Road, Fadmoor, YO62 7JG

Client:
Pennyholme Estate

Dwg Title:
Proposed External Works Plan

Date:	Scale:	Drawn:	Checked:
Mar 2018	1:200 @ A3	SC	PAB
Project No:	Dwg No:	Rev:	Status:
1527	111	D	Planning

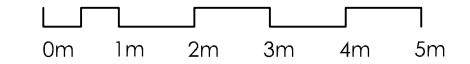


This drawing may be based on site information as supplied by third parties and as such Barrett+Barrett Ltd make no guarantees as to its accuracy. The features as illustrated are thus approximate and subject to a detailed Topographical and/or Measured Building Survey. Statutory Service enquiries and the confirmation by the client of all legal boundaries.

Scaling from this drawing will not be permitted under any circumstances and figured dimensions must be worked in all cases, taken from the face of existing partitions, grid lines or any other elements as prescribed on the drawing. Discrepancies must be reported to Barrett+Barrett Ltd prior to commencement of any work.

Barrett+Barrett Ltd grant licence to the intended recipient to employ the information as contained in this drawing for the purposes connected with the related project only. Copyright of this information remains solely the property of Barrett+Barrett Ltd unless otherwise assigned in writing. Any breach of the terms of this licence results in the termination of the licence and the medium and any resulting copies must be returned to Barrett+Barrett Ltd immediately.

Graphic Scale 1:100



ground floor plan
flat 1-3 / building 1

schedule of areas (gia)

flat no	beds (gia)	m2 (gia)	ft2	note
flat 01	2bed	96.56	1039.37	local occupancy
flat 02	2bed	81.58	878.11	local occupancy
flat 03	2bed	103.12	1109.97	holiday let
flat 04	1/2bed	74.33	800.09	holiday let
flat 05 exc mezz	1bed	45.87	493.75	holiday let
flat 06	1bed	37.57	404.40	holiday let
Proposed total gia floor area		439.03	4725.68	
Existing total gia area		407.82	4389.78	
site area		1206.00	12981.38	

C	30.08.19	revised following planning officer's comments	EA	PAB
B	23.07.19	revised following planning officer's comments	EA	PAB
A	03.07.19	revised following meeting with planning department	EA	PAB

Barrett+Barrett Chartered architects

Barrett+Barrett Architects Ltd
Morwick Hall
Mortec Office Park
York Road
Leeds
LS15 4TA



Project:
Proposed Holiday Accommodation Dev at
Plough Inn PH, Boonhill Road, Fadmoor, YO62 7JG

Client:
Pennyholme Estate

Dwg Title:
Proposed Ground Floor
Flat 1-3 / Building 1

Date:	Scale:	Drawn:	Checked:
Mar 2018	1:100 @ A3	SC	PAB
Project No:	Dwg No:	Rev:	Status:
1527	120	C	Planning

AMENDED

NYMNPA

29/05/2020