

NYMNPA

27/05/2020

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# Design and Access Statement

for proposed works at:  
Home Farm,  
Dunsley,  
Whitby,  
North Yorkshire,  
YO21 3TL

client:  
Mr & Mrs Hodgson

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May 2020

**THE PROPOSAL**

The proposal is for the conversion and change of use of redundant farm storage buildings within the setting of the farmhouse into 2no. holiday letting cottages with car parking.

## **ASSESSMENT OF THE SITE'S EXISTING IMMEDIATE AND WIDER CONTEXT**

- **Use –**

The site is part of a farm complex located in the centre of Dunsley consisting of a small L-shaped, single storey group of buildings originally erected as animal shelters and feed stores. Latterly the buildings have become redundant as a result of the development of larger, modern barns across the farm save for the southernmost bay which is used for general domestic storage associated with the nearby farmhouse.
- **Character –**

The buildings are constructed in coursed, local stone with a pitched, red pantile roof covering in an L-shaped arrangement facing south-westerly towards the main farm complex. The two legs of the buildings were constructed at different times in the early part of the twentieth century specifically for animal housing, cart sheds and general storage. The buildings are low rise and domestic in scale.

The external facing materials contain good quality detailing including coursed stonework, stone copings, stone lintels and heavy stone voussoirs to 3no. large openings leading into what was once the cart shed.

The north-western corner of the buildings contains a small section where the lean-to roof has been removed and the walls partially taken down.

The buildings are in a setting to the north-eastern corner of the farm within sight of the farmhouse and immediately off the current driveways leading from the public highway.
- **Special designation –**

The site is not within a designated conservation area in the adopted local plan.

The site is not subject to an Article 4 Direction.

There are no Tree Preservation Orders affecting the site.

The nearest listed building to the site is Fairfax Farm House, grade 2 with list UID 1148876, located some 200m distance to the north of the site separated by the public highway and other non-listed buildings.
- **Spaces –**

The buildings are on the north-eastern edge of the farm separated from the working farm buildings by driveways with a small buffer of grassland up to the adopted highway.

There is an area of open courtyard towards the south-west and the Applicants' farm house is close by to the south.
- **Access routes –**

The site takes vehicular and pedestrian access directly from adopted highway immediately to the north-west and south-east of the buildings. Although both access points are used by farm vehicles they are surfaced, well maintained and clean.

- **Access to services/transportation –**  
Access to local services and public transport is via the public highway adjacent the site and linking with the A174 approximately 1700m distance from the site. Local bus services can be taken from the A174 into Whitby (3km) where there is a connection to the national rail network.  
The access route to the A174 is surfaced but without footways and is largely single track width.  
Access from within the site to the public highway is surfaced and suitable for wheelchair users.

## **ASSESSMENT OF THE PROPOSED IMMEDIATE AND WIDER CONTEXT**

- **Use –**

It is proposed to make better use of the buildings through conversion into 2no. holiday letting cottages each of which with private car parking, available cycle parking and amenity space to the north.
- **Character -**

The character of the original buildings will be maintained and respected with little alteration to the original form and detail. The partially demolished lean-to in the north-east corner will be restored and re-built to something close to the original form. Existing external materials will be retained with any replacement elements in matching materials. Existing openings will be retained without alteration and the existing walled up opening on the north-east elevation will be re-opened to form a secondary entrance to Unit 1. 4no. new window openings will be formed on the north-west and north-east elevations including 1no. opening in the re-built lean-to addition. The proposed new window and door frames will consist of dark brown uPVC as a concession to contemporary choices and in the best interest of energy efficiency; noting that the use of uPVC as a material is widespread throughout the park authority.
- **Spaces –**

The proposal does not affect or change the use of the surrounding spaces retaining the current openness of the setting. Hard landscaping will be incorporated in those areas adjacent the existing driveway, which is surfaced in loose stone, creating a single car parking space for each new unit. Secure cycle parking will be provided within the current log store. The area immediately surrounding the buildings will be retained as open grassland for use as amenity space by the cottage tenants.
- **Archaeology –**

There is no visible evidence of archaeological remains. However, if, during the course of construction, items of interest are found the Applicant will record the findings and notify the local Archaeology Advisory Service inviting their interest. However, given the past uses of the site there is little potential for finding items of localised interest.

- **Contamination –**  
A walk-over of the site revealed no visible evidence of contamination within the buildings or surrounding land. Further and more detailed studies will be undertaken as a matter of course during and throughout construction and appropriate action will be taken in consultation with the appointed Building Control Body should materials of risk be found.
- **Ecology –**  
A walk-over of the site and inspection within the eaves revealed no evidence of occupation by resident wildlife species such as bats, newts or snakes. There is no evidence of nesting materials or areas of droppings which may indicate roosting.
- **Accessibility –**  
Access to the site from the public road and transport network will remain as existing.  
Within the site the approaches to the proposed letting units will be surfaced in gravel, paving and timber decking to provide level access for wheelchair users and semi-ambulant people.  
Internally, each unit is designed to accommodate wheelchair users and semi-ambulant people with Unit 1 in particular being being suitable for disabled people and a carer(s).
- **Security –**  
Each external door and window being installed shall be fitted with multi-point locking systems designed and installed to PAS24 – 2012 standard.  
Natural surveillance will be improved locally by virtue of the proposed use of the buildings and orientation of the various windows.
- **Impact on Existing Trees –**  
There are no trees which are likely to be affected by the proposal.
- **Topography/gradients –**  
The site is generally level, ie. less than 1/20 gradient, and there are no proposals to alter that.
- **Special designation –**  
The proposal does not adversely affect the character or setting of the area and will not prompt changes to, or introduce, any special designations.

### **SOCIAL CONTEXT**

- **Effect from the proposed works –**  
The proposed works will create 2no. holiday letting cottages which will add to the local tourist trade and make better use of otherwise redundant buildings.
  
- **Over-looking/over-shadowing –**  
The proposal retains existing buildings and principal window openings which are situated well in excess of minimum overlooking guidelines for residential use. As the buildings are stand alone there is no possibility of over-shadowing other properties.
  
- **Impact on local services –**  
The proposal will be beneficial to local services by introducing increased trade for the local outlets by virtue of bringing in a number of additional visitors each year.

**ECONOMIC CONTEXT**

- **Employment –**  
Short term employment will be provided throughout the construction period and longer term employment will be created for service staff and suppliers to the local tourism industry.
  
- **Effect on attractiveness of area to investors –**  
The proposal will improve the attractiveness of Home Farm to visitors and investors in the area by being promoted and used for tourism. The proposed additional units are therefore seen as positive in this context.



**RELEVANT PLANNING POLICIES**

- **Local Plan Policies -**

Relevant policies contained in the adopted Local Plan are:

Core Policy H		Rural Economy
DP3	-	Design
DP14	-	Tourism and Recreation

- **National and Regional Policies –**

National Planning Policy Framework (NPPF) section 3 paragraph 28 – Supporting a Prosperous Rural Economy and,

**COMMUNITY INVOLVEMENT**

The scale of the proposal does not warrant a pre-application public consultation process.

It is noted that the proposal will be subject to wider consultation by the LPA through the normal planning process following registration of the application.

### **EVALUATION AND SUSTAINABILITY**

- Current local and national planning policies/guidelines are supportive of proposals which are beneficial to existing uses and the rural economy, which this proposal is.
- The proposal meets the aims and objectives of the adopted Local Plan insofar as the recommendations contained in CPH, DP3, and DP14 have been taken into account.
- The proposal does not seek to alter the character of the area.
- The proposal affords an opportunity to improve the quality of life for visitors to Dunsley and surrounding areas by adding to and improving available facilities for tourists and encouraging longer stays in the area with consequential economic benefits to local businesses.

## **DESIGN**

- **Use Justification –**

Tourism throughout North Yorkshire in general and within Dunsley in particular is long established and seen as the backbone of the area's economy. This proposal seeks to improve upon the current facilities being offered to tourists by introducing a wider range of options and thus further encouraging tourism.

- **Local Plan Policies**

### **CORE POLICY H - Rural Economy**

*The rural economy will be strengthened and supported by providing local communities with a range of opportunities for entrepreneurship, education and training. This will be achieved through:*

- 1 New employment development in the Local Service Centre of Helmsley, Whitby Business Park, Service Villages and the Local Service Villages.
- 2 Training and education opportunities in the Local Service Centre of Helmsley, Service Villages and Local Service Villages.
- 3 Supporting the agricultural sector and opportunities for diversification.
- 4 Sustainable tourism based on recreation activities and tourism development related to the understanding and enjoyment of the Park.

The proposed holiday letting cottages will become part of the established tourism business within this local service village and will serve to support the agricultural sector by enabling farm diversification thereby meeting the aims and objectives of this core policy.

### **DP3 - Design**

*To maintain and enhance the distinctive character of the National Park, development will be permitted where:*

- 1 The siting, orientation, layout and density preserves or enhances views into and out of the site, spaces about and between buildings and other features that contribute to the character and quality of the environment and will not result in the loss of an open space which contributes to the amenity, character and setting of a settlement.
- 2 The scale, height, massing, proportion, form, size, materials and design features of the proposal are compatible with surrounding buildings, and will not have an adverse effect upon the amenities of adjoining occupiers.
- 3 A high standard of design detailing is used whether traditional or contemporary, which reflects or complements that of the local vernacular.
- 4 Provision is made for adequate storage and waste management facilities.
- 5 Good quality sustainable design and construction techniques are incorporated in the development including measures to minimise energy use and where possible use energy from renewable sources.
- 6 A satisfactory landscaping scheme forms an integral part of the proposal.
- 7 The design takes account of the safety, security and access needs for all potential users of the development and provides car parking provision in line with the standards adopted by the Authority.

The proposal involves the conversion of existing buildings with minimal alteration to the external appearance and no changes to the form or orientation of the existing buildings. The design approach is simple and blends the use of traditional materials with contemporary (uPVC frames) in a way which is commonly, and successfully, used throughout the park authority.

#### DP14 – Tourism and Recreation

*The quality of the tourism and recreation product in the National Park will be maintained and improved through adopting the principles of sustainable tourism. New tourism development and the expansion or diversification of existing tourism businesses will be supported where:*

■ 1 *The proposal will provide opportunities for visitors to increase their awareness, understanding and enjoyment of the special qualities of the National Park in a manner that will not undermine the special qualities of the National Park or in a way that conserves and enhances the special qualities.*

■ 2 *The development can be satisfactorily accessed from the road network<sup>30</sup> (categories 1, 2 or 3) or by other sustainable modes of transport including public transport, walking, cycling or horse riding.*

■ 3 *The development will not generate an increased level of activity, including noise, which would be likely to detract from the experience of visitors and the quality of life of local residents.*

■ 4 *It will make use of an existing building. Proposals for new buildings will be expected to demonstrate that the facility cannot be satisfactorily accommodated within an existing building in that location.*

The proposal is intended to create additional places to stay within the National Park. The new letting units will not undermine the special qualities of the National Park due to their location, which is semi-concealed to the general public, and which already forms a feature of this corner of the site.

Access to the site is easily achievable on foot, by cycle, by public transport (on a bus route up to the junction with the A174), by car and by rail (Whitby Station). The proposal will not alter access arrangements into the site and will provide adequate car parking facilities on site.

The proposal is small in scale and will not add significantly to the local activity.

The proposal makes better use of a redundant agricultural building thus securing the future of the building which is of importance to the farmyard setting but which, otherwise, has no particular use.

- **National Land Use Policies**

NPPF – paragraph 2 (Introduction) states –

*'Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise.'*

This proposal is non-contentious and can be determined positively within the scope of the Local Plan and in particular within the spirit of CPH, DP3 and DP14.

Paragraph 28 (Supporting a prosperous rural economy) states -

*'Planning policies should support economic growth in rural areas.....  
and should support the sustainable growth and expansion of all types of business and enterprise in rural areas, both through conversion of existing buildings and well designed new buildings.'*

It is considered the sympathetic conversion of truly redundant outbuildings together with a change of use will indeed be of benefit to the local tourist industry and will enable a new rural enterprise to establish itself in Dunsley with all the consequential benefits that will bring to the local economy.

In summary:

- **Amount** –  
The proposal is for the conversion and change of use of redundant outbuildings into 2no. holiday letting cottages.
- **Layout** –  
The proposal does not adversely impact upon the current layout of the site, neighbouring house or area in general.
- **Scale** –  
The scale of the proposed development is relatively modest and does not have an adverse or overbearing impact on the character of the area.
- **Landscaping** –  
Existing landscaping will be managed and retained and it is considered there is no need for substantial areas of additional hard or soft landscaping.
- **Appearance** –  
The appearance of the buildings will remain largely as existing and as originally built.
- **Access** –  
Access into and around the site will not be adversely affected by the proposals.

## **CONCLUDING STATEMENT**

This Design and Access Statement has been written in support of a proposal to convert and change the use of existing redundant agricultural buildings to form 2no. holiday letting cottages.

The statement demonstrates the following steps:

- the context of the site has been considered and documented, and includes an accessibility audit, together with references to relevant planning policies.
- the design of the proposal has been justified in terms of use, amount, layout, scale, landscaping, appearance and access arrangements.

Further:

- The proposal complies with the relevant Local Plan policies and national planning strategies and guidelines.
- In conclusion it is considered that the proposal meets the requirements of national and local planning policies and that the Council should be supportive of the scheme and grant planning permission.

**END**

NYMNPA

08/07/2020

# Preliminary Ecological Appraisal

**Barn conversion at Home Farm, Dunsley,  
Whitby, YO213TL**

**Report prepared on behalf of Paul and Alison Hodgson**

**By Jonathan Pounder,  
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**June 2020**



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*Ecologist*

**Report reviewed and approved for issue**

<b>J Pounder</b>
<b>First Draft: Date: 6<sup>th</sup> June 2020</b>
<b>Final Draft Date: 7<sup>th</sup> July 2020</b>

*Whilst every effort is taken to meet the client's brief and ensure an accurate assessment of the site at the time of the survey, please be aware that no survey can ensure complete evaluation of the natural environment.*

**Field Investigations and Data**

Where field investigations have been carried out these have been restricted to a level of detail required to achieving the stated objectives of the work. Where any data supplied by the client or from other sources have been used it has been assumed that the information is correct. No responsibility can be accepted by JP Environmental Solutions for inaccuracies in the data supplied by any other party.

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## 1.0 Introduction

### 1.1 Site details

#### Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Home Farm is located in the village of Dunsley to the west of Whitby in the North Yorkshire Moors National Park. The buildings are part of a working farm which is at the heart of the village of Dunsley at grid reference NZ85731107.

### 1.2 Scope of proposed works

JP Environmental Solutions has been asked to carry out a preliminary ecological appraisal to support a barn conversion planning application; to make recommendations on any future ecological work that may be required.

### 1.3 Location map



Diagram 1 showing the site location at the red dot (image from Bing Maps)

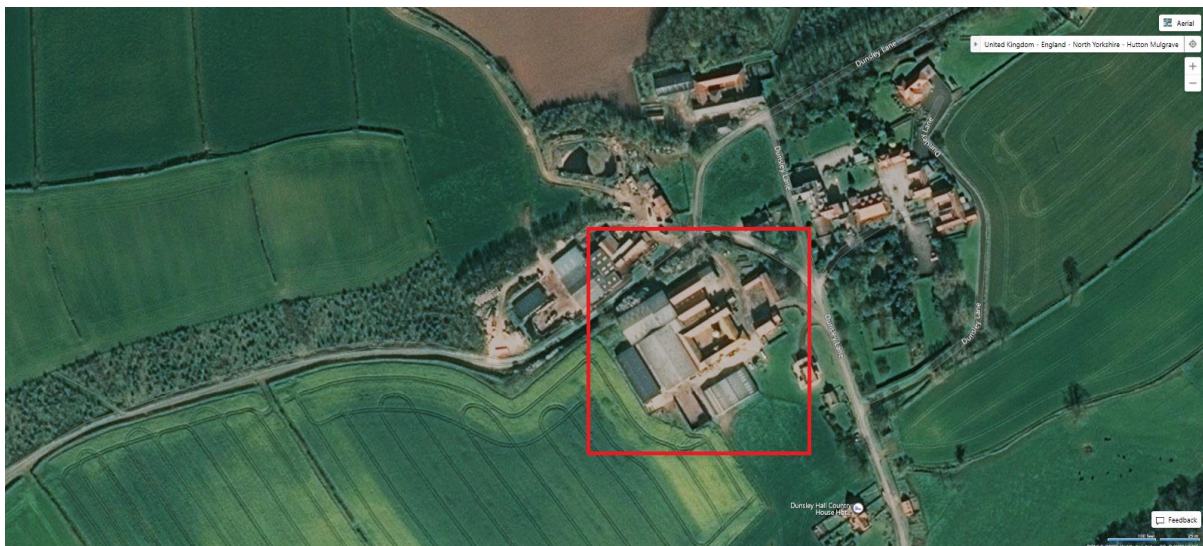


Diagram 2 showing an aerial view of the site, located with the red box (image from Bing Maps)

## **1.4 Bat conservation and legal protection**

All bat species and bat roosts are under legal protection in the UK, and all bats are designated as European Protected Species by the EU. In England there are several pieces of legislation protecting bats, starting with the Wildlife and Countryside Act 1981 and subsequent amendments to this act including those made in the Countryside and Rights of Way Act 2000. European protection started in 1992 with the European Union's Habitat Directive, which has been implemented in England most recently as the Conservation of Habitats and Species Regulations 2010 (the original version was implemented in 1994, with amendments in 2007 and 2008/09).

In England, you will commit a criminal offence if you do any of the following:

- Deliberately capture, injure or kill a bat;
- Deliberately disturb a bat, in particular in a way that would affect its ability to survive, breed or rear young, hibernate or migrate, or significantly affect the local distribution or abundance of the species;
- Damage or destroy a bat roosting place (even if bats are not occupying the roost at the time);
- Possess, control, transport, sell, exchange or offer for sale/exchange any live or dead bat or any part of a bat;
- Intentionally or recklessly disturb a bat at a roost;
- Intentionally or recklessly obstruct access to a roost.

The UK Biodiversity Action Plan (UKBAP) (Anon, 1995), organised to fulfil the Convention on Biological Diversity in 1992, to which the UK is a signatory, has produced a national priority species list. All species included have specific action plans defining the measures required to ensure their conservation. Regional and local BAPs have also been organised to develop plans for species of nature conservation importance at regional and local levels.

The UKBAP, as updated in 2007, lists seven bat species as conservation priorities:

- Barbastelle                    *Barbastella barbastellus*
- Bechstein's                    *Myotis bechsteinii*
- Noctule                        *Nyctalus noctula*
- Soprano pipistrelle        *Pipistrellus pygmaeus*
- Brown long-eared        *Plecotus auritus*
- Greater horseshoe        *Rhinolophus ferrumequinum*
- Lesser horseshoe        *Rhinolophus hipposideros*

## **1.5 Bird Protection Legislation**

All wild bird species, their eggs and nests are protected by law. You must always try to avoid harming birds or to use measures which do not kill or injure them before considering taking harmful action.

In most cases you should be able to avoid harming wild birds by:

- timing your work to avoid the breeding season
- using a range of methods that deter but don't harm them

In exceptional cases the law allows certain exemptions to permit legal activities (such as a development with planning permission) and where avoiding harm isn't possible.

It is illegal for you to:

- intentionally kill, injure or take wild birds
- intentionally take, damage or destroy a wild bird's nest while it's being used or built
- intentionally take or destroy a wild bird's egg
- possess, control or transport live or dead wild birds, or parts of them, or their eggs
- sell wild birds or put them on display for sale
- use prohibited methods to kill or take wild birds

Schedule 1 bird (for example barn owls), have extra legal protection. For these bird species it's also an offence to do the following, either intentionally or by not taking enough care:

- disturb them while they're nesting, building a nest, in or near a nest that contains their young
- disturb their dependent young

You could get an unlimited fine and up to 6 months in prison for each offence if you're found guilty.

*Activities that can harm birds, particularly during breeding season include:*

- trimming or cutting trees, bushes, hedges and rough vegetation
- renovating, converting or demolishing a building
- creating disturbance, EG noise, lighting and vibration
- taking actions to prevent problems, EG shooting birds or removing nests

## **1.6 Barn Owl conservations and legal protection**

Barn Owls are covered by the basic legal protection afforded to most wild birds and also extra legal protection against disturbance when nesting.

The Wildlife & Countryside Act 1981 provides protection for Barn Owls and most other wild bird species in England, Scotland and Wales. The eggs and nests of most bird species are also protected. Specifically, under Part 1, Section 1 (1), it is an offence to intentionally:

1. Kill, injure or take\*\* any\* wild bird.
2. Take, damage or destroy the nest\*\*\* of any\* wild bird while that nest is in use or being built.
3. Take or destroy an egg of any\* wild bird.

*\*a small number of species are excluded under Schedule 2 of the Act.*

*\*\*The word 'take' means catch, capture or have in one's possession. It is however perfectly legal to pick up a sick or disabled wild owl, provided the sole intention is to release it as soon as it is deemed capable of survival.*

*\*\*\*Barn Owls do not intentionally 'build' a nest. However, their nest-places are characterized by a compacted layer of nest debris that is considered to be their nest. Removing whatever supports, surrounds or shelters the nest should be considered as nest damage or destruction.*

Because Barn Owls are included in Schedule 1 of the Wildlife & Countryside Act 1981, under Part 1 Section 21 (1) the penalty for an offence involving a Barn Owl, its nest, or egg, includes a fine of up to £5,000, or up to six months imprisonment, or both, per bird, nest or egg.

## 1.7 Brief overview of key legislation

### **Bern Convention**

The *Convention on the Conservation of European Wildlife and Natural Habitats* (the *Bern Convention*) was adopted in Bern, Switzerland in 1979, and was ratified in 1982. encourages to protect wild plants and animals and their habitats listed in Appendices 1 and 2 of the Convention, and regulate the exploitation of species listed in Appendix 3. The regulation imposes legal obligations on participating countries to protect over 500 plant species and more than 1000 animals. To meet its obligations imposed by the Convention, the European Community adopted the *EC Birds Directive* (1979) and the *EC Habitats Directive* (1992 – see below). Since the Lisbon Treaty, in force since 1<sup>st</sup> December 2009, European legislation has been adopted by the European Union.

### **Bonn Convention**

The Convention on the Conservation of Migratory Species of Wild Animals or 'Bonn Convention' was adopted in Bonn, Germany in 1979 and came into force in 1985. Participating states agree to work together to preserve migratory species and their habitats by providing strict protection to species listed in Appendix I of the Convention. It also establishes agreements for the conservation and management of migratory species listed in Appendix II.

In the UK, the requirements of the convention are implemented via the Wildlife & Countryside Act 1981 (as amended), Wildlife (Northern Ireland) Order 1985 (as amended), Nature Conservation and Amenity Lands (Northern Ireland) Order 1985 and the Countryside and Rights of Way Act 2000 (CROW).

### **Habitats Directive**

The Council Directive 92/43/EEC on the Conservation of Natural Habitats and of Wild Fauna and Flora, or the 'Habitats Directive', is a European Union directive adopted in 1992 in response to the Bern Convention. Its aims are to protect approximately 220 habitats and 1,000 species listed in its several Annexes.

In the UK, the Habitats Directive is transposed into national law via the Conservation of Habitats and Species Regulations 2017 (as amended) in England and Wales, and via the Conservation (Natural Habitats, etc.) Regulations (Northern Ireland) 1995 (as amended) in Northern Ireland.

### **Conservation of Habitats and Species Regulations 2017**

Regulations place a duty on the Secretary of State to propose a list of sites which are important for either habitats or species (listed in Annexes I or II of the Habitats Directive respectively) to the European Commission. These sites, if ratified by the European Commission, are then designated as Special Protection Areas (SPAs) within six years.

Public bodies must also help preserve, maintain and re-establish habitats for wild birds. The Regulations also make it an offence to deliberately capture, kill, disturb or trade in the animals listed in Schedule 2, or pick, uproot, destroy, or trade in the plants listed in Schedule 5 - see below:

### **Schedule 2 – European Protected Species of Animals**

- Horseshoe bats *Rhinolophidae* - all species

- Common bats *Vespertilionidae* - all species
- Large Blue Butterfly *Maculinea arion*
- Wild cat *Felis silvestris*
- Dolphins, porpoises and whales *Cetacea* – all species
- Dormouse *Muscardinus avellanarius*
- Pool frog *Rana lessonae*
- Sand lizard *Lacerta agilis*
- Fisher’s estuarine moth *Gortyna borelii lunata*
- Great crested newt *Triturus cristatus*
- Otter *Lutra lutra*
- Lesser whirlpool ram’s-horn snail *Anisus vorticulus*
- Smooth snake *Coronella austriaca*
- Sturgeon *Acipenser sturio*
- Natterjack toad *Epidalea calamita*
- Marine turtles *Caretta caretta*, *Chelonia mydas*,  
*Lepidochelys kempii*, *Eretmochelys imbricata*,
- *Dermochelys coriacea*

#### **Schedule 5 – European Protected Species of Plants**

- Shore dock *Rumex rupestris*
- Killarney fern *Trichomanes speciosum*
- Early gentian *Gentianella anglica*
- Lady’s-slipper *Cypripedium calceolus*
- Creeping marshwort *Apium repens*
- Slender naiad *Najas flexilis*
- Fen orchid *Liparis loeselii*
- Floating-leaved water plantain *Luronium natans*
- Yellow marsh saxifrage *Saxifraga hirculus*

#### **Wildlife & Countryside Act 1981 (as amended)**

This is the principal mechanism for the legislative protection of wildlife in the UK. This legislation is the chief means by which the ‘Bern Convention’ and the Birds Directive are implemented in the UK. Since it was first introduced, the Act has been amended several times.

The Act makes it an offence to (with exception to species listed in Schedule 2) intentionally:

- kill, injure, or take any wild bird;
- take, damage or destroy the nest of any wild bird while that nest is in use; or
- take or destroy an egg of any wild bird.

Or to intentionally do the following to a wild bird listed in Schedule 1:

- disturbs any wild bird while it is building a nest or is in, on or near a nest containing eggs or
- young; or
- disturbs dependent young of such a bird.

In addition, the Act makes it an offence (subject to exceptions) to:

- intentionally or recklessly kill, injure or take any wild animal listed on Schedule 5;
- interfere with places used for shelter or protection, or intentionally disturbing animals occupying such places; and



The Act also prohibits certain methods of killing, injuring, or taking wild animals.

Finally, the Act also makes it an offence (subject to exceptions) to:

- intentionally pick, uproot or destroy any wild plant listed in Schedule 8, or any seed or spore
- attached to any such wild plant;
- unless an authorised person, intentionally uproot any wild plant not included in Schedule 8;

or

- sell, offer or expose for sale, or possess (for the purposes of trade), any live or dead wild plant included in Schedule 8, or any part of, or anything derived from, such a plant.

Following all amendments to the Act, Schedule 5 'Animals which are Protected' contains a total of 154 species of animal, including several mammals, reptiles, amphibians, fish and invertebrates.

Schedule 8 'Plants which are Protected' of the Act, contains 185 species, including higher plants, bryophytes and fungi and lichens. A comprehensive and up-to-date list of these species can be obtained from the JNCC website.

Part 14 of the Act makes unlawful to plant or otherwise cause to grow in the wild any plant which is listed in Part II of Schedule 9. It is recommended that plant material of these species is disposed of as bio-hazardous waste, and these plants should not be used in planting schemes.

### **Natural Environment and Rural Communities Act 2006**

Section 41 (S41) of this Act requires the Secretary of State to publish a list (in consultation with Natural England) of Habitats and Species which are of Principal Importance for the conservation of biodiversity in England. The S41 list is used to guide decision-makers such as public bodies including local and regional authorities, in implementing their duty under Section 40 of the Natural Environment and Rural Communities (NERC) Act 2006, to have regard to the conservation of biodiversity in England, when carrying out their normal (e.g. planning) functions. The S41 list includes 65 Habitats of Principal Importance and 1,150 Species of Principal Importance.

### **Wild Mammals (Protection) Act 1996**

This Act offers protection to all wild species of mammals, irrespective of other legislation, and focussed on animal welfare, rather than conservation. Unless covered by one of the exceptions, a person is guilty of an offence if he mutilates, kicks, beats, nails or otherwise impales, stabs, burns, stones, crushes, drowns, drags or asphyxiates any wild mammal with intent to inflict unnecessary suffering. Its application is typically restricted to preventing deliberate harm to wildlife (in general) during construction works etc.

## **2.0 Survey Methods**

### **2.1 Desk study**

#### *2.1.1 Record search*

A protected species data search was commissioned from the North & East Yorkshire Ecological Data Centre to supply information within a 2km radius of the site.

#### *2.1.2 Designated sites*

The Multi-Agency Geographic Information for the Countryside (MAGIC) website was carried out to identify any areas designated for nature conservation within a 2km radius of the site.

### **2.2 Inspection**

A site visit was carried out on the 7<sup>th</sup> June 2020 by ecologist Jonathan Pounder. This daytime assessment was undertaken to obtain a general overview of the site and identify any potential impacts the proposed work will have on the natural environment and any protected species/ habitats.

The weather conditions during the site visit was overcast with light rain with a temperature of 10°C with a fresh breeze NNW 22mph. There had been some rainfall in the days leading up to the survey.

### **2.3 Limitations**

The survey represents only a snap shot in time and although every effort was made to identify the correct information the daylight inspection only represents a true record at the time the survey was carried out.

### **2.4 Quality Assurance**

JP Environmental Solutions staff are experienced, well qualified bat workers and members of the Chartered Institute of Ecology and Environmental Management (CIEEM). All field work is carried out according to the Bat Conservation Trust's 'Bat Surveys: Good Practice Guidelines, 3<sup>rd</sup> edition', Collins, J. 2016 and the Barn Owl Conservation Handbook, Barn Owl Trust, 2012.

## **3.0 Results**

### **3.1 Desk study**

#### *3.1.1 Designated sites*

The search of the MAGIC databases revealed the work site is not within a SSSI site with the closest SSSI site being the Whitby – Saltwick SSSI at 4507m and the North York Moors SSSI (which is also part of the North York Special Area of Conservation and North York Special Protection Area) at 5161m. The site is outside of the SSSI Impact Zone.

#### *3.1.2 Data search NEYEDC*

The data search from NEYEDC provided 2029 unfiltered records provided, with 261 records from protected/ designated species. From the records Barn Owls are recorded in the area as well as Noctule, Common pipistrelle, Daubenton's Brown Long Eared and a number of Unidentified Bat Spp.

No biological records are recorded on the site grid reference NZ857110.

### *3.1.2 Data search North Yorkshire Bat Group*

The data search from North Yorkshire Bat Group provided 45 records including two records within the Dunsley Village for Common Pipistrelle and Myotis Species Day Roosts.

Species listed include Common pipistrelle, Noctule, Brown Long Eared, Myotis, Daubenton's, Serotine and Unidentified Bat Spp.

Conversations with the home owner during the site visit indicated the presence and activity of bats within the wider farm area and the identification of a historic bat roosts within the village. The landowner was honest and open about this information but didn't know of any bat activity within the survey area.

### **3.2 Habitat assessment**

The site is located within the Home Farm complex set within the village of Dunsley. The village is a series of farmsteads together surrounded by planted woodland and arable fields. Further afield the site is bordered by Mulgrave Woods to the north (recorded as Ancient & Semi ancient woodland and Ancient replanted woodland), the town of Whitby to the south east, the Sandsend sea front to the east and the North Yorkshire Moors to the west.

The fields are bordered by hedgerows with a network of minor roads and small watercourses including Waingate Beck (to the south) and East Row Beck (to the north) providing good connectivity within the wider environment.

The work area is covered by:

- National Habitat Network – Network Enhancement
- Priority species for CS Targeting – Lapwing
- Farm Wildlife Package Area
- Surrounding land designated Woodland Water Quality – Lower Spatial Priority
- Surrounding land designated Woodland Flood Risk – Lower Spatial Priority
- Former Catchment Sensitive Farming – Priority Catchment
- Keeping Rivers Cool
- Climate Change Vulnerability Buffer – Low
- Outside the SSSI Impact Zone
- Below the Moorland Line
- Objective 2 Area
- Grassland Bird Assemblage – 3 species
- CS Target species – Curlew, Lapwing, Snipe
- North York Moors HLS Target Area
- Groundwater Vulnerability Map – Medium
- National Historic Landscape Designation – Settlement
- Landscape Character Area – Settlement

### **3.3 Work area inspection**

A visual inspection of the work area was undertaken during the site visit, with the table of results presented in Table 1.

### **3.4 Building inspection - Bats**

A building inspection was undertaken following the guidelines set out in Mitchell-Jones, A.J. & McLeish, A.P. [Eds.] (2012) *The Bat Workers Manual* (3<sup>rd</sup> edition). Joint Nature Conservancy Council, Peterborough.

Photographs from the survey can be found in Appendix 2 and plans for the site are in Appendix 3. Bat roost potential assessment based on the following table:

Bat Roost Suitability	Description
Negligible	The structure lacks any features suitable for roosting bats (such as well sealed modern buildings with no access points or suitable exterior features) and is located away from suitable foraging or connecting habitat.
Low	The structure has one or more potential roosting sites that could be used by individual bats sporadically. However, these potential roost sites are not suitable to be used on a regular basis or by a large number of bats. A tree of sufficient size and age to contain potential roost features, but with none seen from the ground or features seen with only very limited roosting potential. Surrounding habitat may be suitable for foraging and commuting bats but is isolated.
Moderate	A structure or tree with one or more potential roost sites that could be used by bats but are unlikely to support roosts of high conservation status. Habitat is connected to the wider landscape and could be used by foraging and commuting bats.
High	A structure or tree with one or more potential roost sites that are obviously suitable for use by larger numbers of bats on a more regular basis. Surrounded by high quality habitat that is well connected to the wider landscape and is likely to be used regularly by foraging and commuting bats.
Confirmed roost	Positive signs of bats are recorded within the structure (internally or externally), such as individual bats or bat droppings.

**Table 1:** Criteria for Bat Roost Potential Assessment of a Structure (Based on Table 4.1 from Collins, 2016)

#### *External*

The buildings are coursed sandstone brickwork with red clay pantile roof tiles. The gable ends of the buildings have stone copings with the doorways having stone archways/ lintels (south western elevation) and timber lintels on the south eastern elevation. The pointing in general is in good condition across the building with:

- shallow erosion noticed on the south western gable end (possibly due to ivy growth)
- damage on the gable of the south eastern elevation where it appears to have been stuck on either side dislodging the stone work. This also extends onto the north eastern elevation.
- erosion damage higher on the north western elevation about the lean too

The doorways are open in the archways with metal gates (leaving the doorways open) on the south eastern and north western elevations, a full timber door on the log store (south western elevation) and one has been bricked up on the north eastern elevation.

The roof of the property is in various states of repair with missing ridge tiles on the south western elevation, damaged on the south eastern elevation and damage evident on the south eastern, north western and south western elevations.

Windows on the south eastern elevation are wooden framed with the glass intact (or boarded up with wood panels).

See Diagram 4 for full results and Photographs 1 to 15 in Appendix 2.

#### *Internal*

The roof is supported by a timber framework (generally in good condition) with an under layer of felt and an additional wooden backing in the log store and cart sheds and storage. The external damage to the roof is visible internally with daylight being visible in some places.

The timber support frames show signs of pigeon droppings on them and sit on a stone lip internally. This lip is sometimes used for nesting, with a mixture of nest types evident throughout the building (pigeon, swallow, corvid, blackbird and wren).

In the corners of the gable ends holes are often found into the stone work, but no evidence of bat activity was found when endoscoped, but often the voids were deep and still hold potential (this was evident in the 3 small storage rooms and the log store). A large void was also identified on the gable ed of the cart shed which backs onto the semi derelict lean too.

The internal floor is largely concrete and paving stones, with the fence post store also having a rotten timber ceiling leading to a first-floor room that was disused. A doorway was present in the adjacent store room and a large hole (where the floor boards had rotted out) allowed for visual inspection.

A mouse dropping was found on one of the barrels in the cart shed, with a rat burrow evident on the north eastern elevation. A farm cat was seen during the visit and is active within the barns – which may explain why the bird's nests were unoccupied.

The log store had a large pile of logs against the back wall and scaffold shelving that restricted the view of the internal wall

The three small storage buildings were used for storing materials providing a good canvas to inspect for field evidence, but no field evidence was identified. However all buildings are open to the elements with dust and debris present.

See Diagram 5 for full results and Photographs 16 to 30 in Appendix 2.

### ***3.5 Building inspection – Barn Owl***

A building inspection was undertaken following the guidelines established in Barn Owl Trust (2012) Barn Owl Conservation Handbook. Pelagic Publishing using the bottom up survey approach.

#### *External Inspection*

No Owl boxes are mounted on the exterior of the building and no features constructed into the fabric of the building specifically for Barn Owls.

#### *Internal Inspection*

The internal wooden beams of the cart sheds and the internal lips of the stone work would be suitable for Barn Owls, no field evidence of their activity was found within the survey area.

Barn Owl presence within 2Km of the survey area was reported in the data search.

Results diagram – External

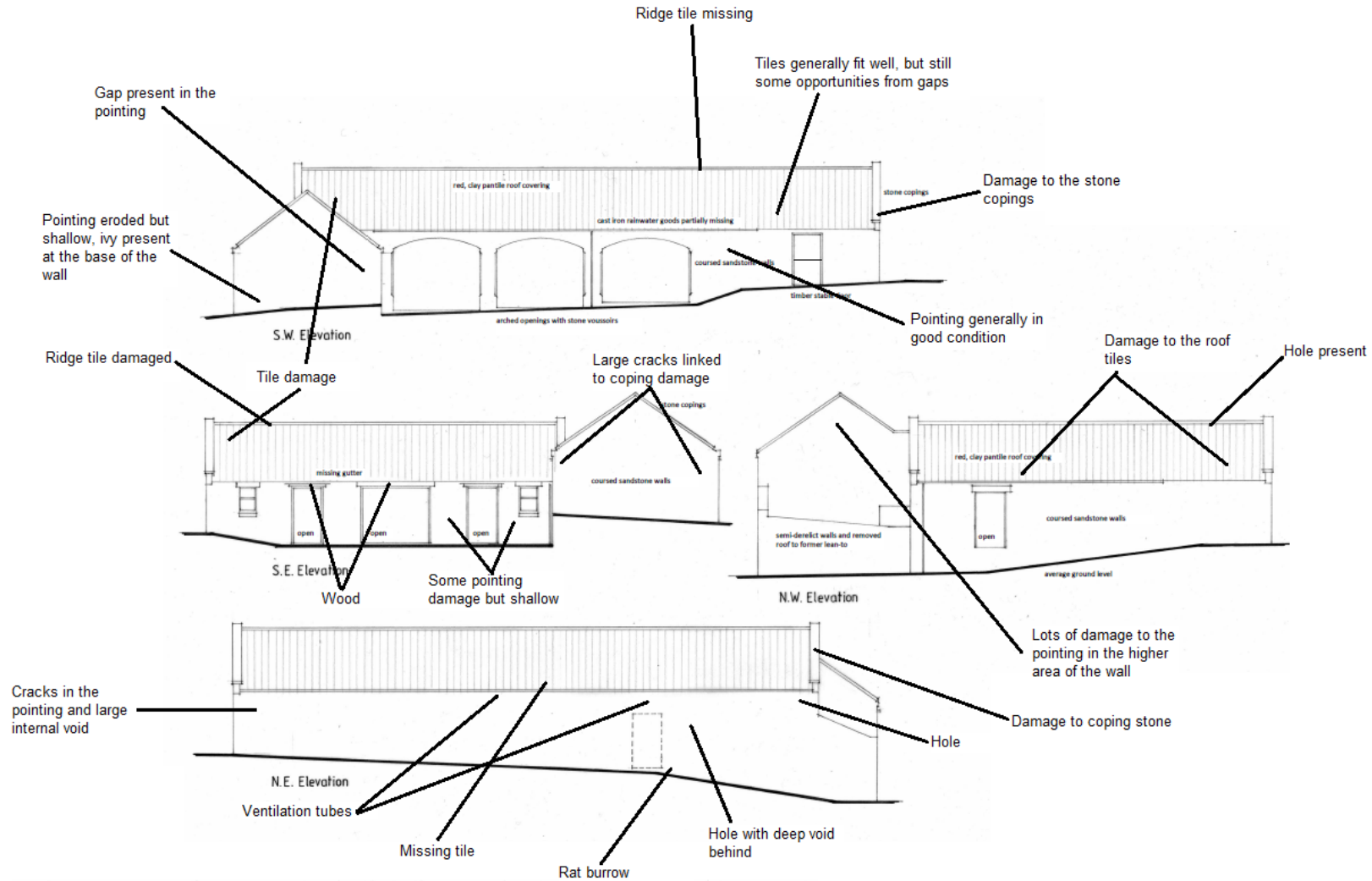


Diagram 4 showing the results of the survey for the external of the building

**Results diagram – Internal**

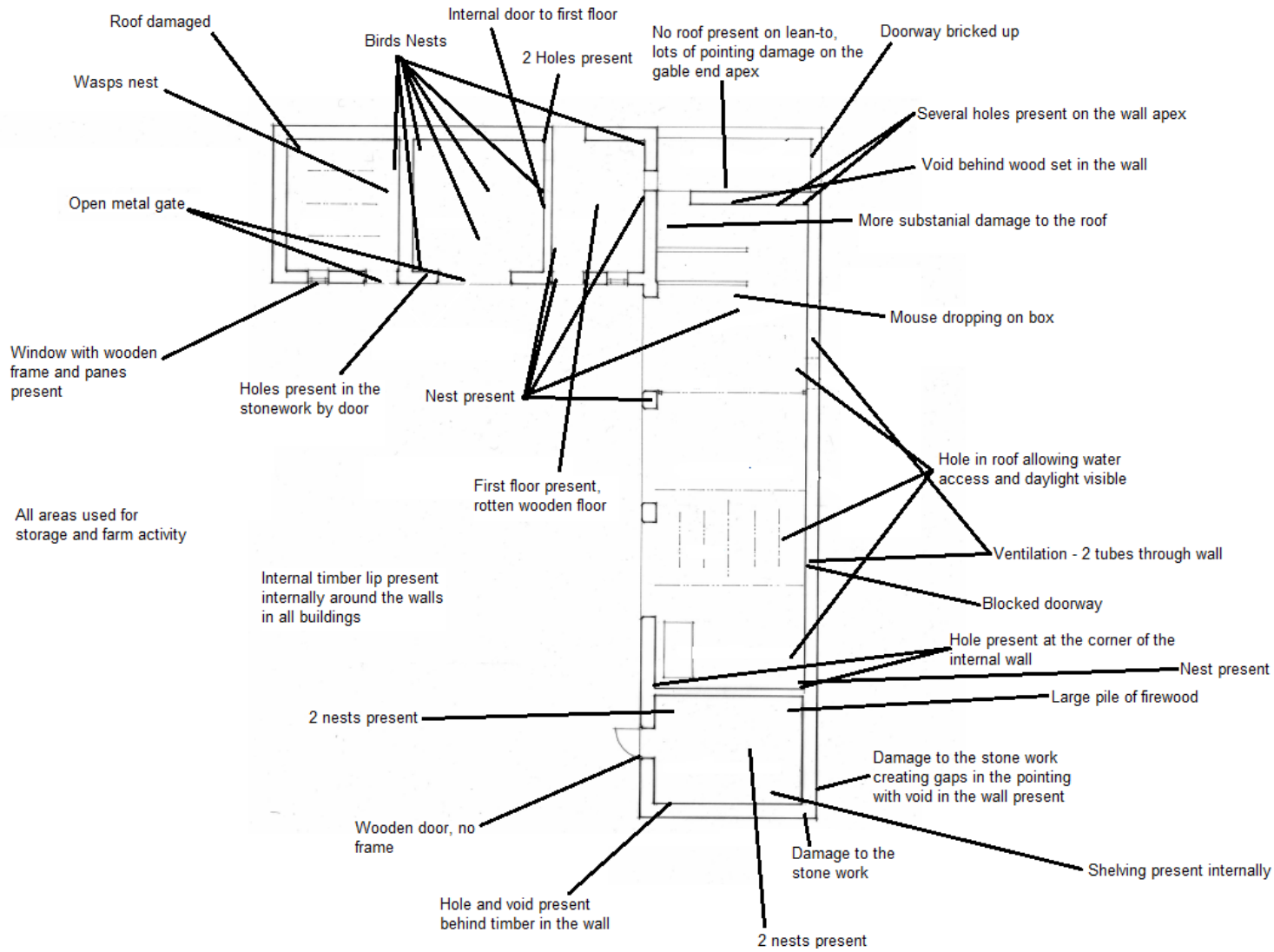


Diagram 5 showing the results of the survey for the internal of the building

**Table 2 - Preliminary Ecological Appraisal of the work site**

<b>Species</b>	<b>Brief feature description</b>	<b>Potential Impacts</b>	<b>Recommendations</b>
Notable vegetation	The surrounding land is largely grassland associated with the farmyard. The greatest part on the North East elevation being part of the chicken coup.	<b>No Impact</b>	
Invasive plant species	No invasive species were noted during the visit,	<b>Negligible Impact</b>	Ensure contractors have cleaned equipment before entering the work area to reduce the chance of them bringing in any invasive plant species
Bird	No active nests were identified during the visual inspection, but a variety of nests were identified in all of the internal rooms. The presence of two farmyard cats may discourage further nesting attempts.	<b>Low Impact</b> If active nests are present at the time of the work starting	A visual check (ideally by an ecologist) prior to redevelopment work being started to ensure no nesting activity is being undertaken in the work area. No work can start until active nests are vacated. Implement work in the Autumn/ Winter period to avoid the main nesting season
Otter	There are no watercourses on the site and as a result the local Otter population will not be able to utilise the site	<b>No Impact</b>	
Dormouse	No records of dormouse in the area. Habitat is unsuitable for them within the work area	<b>No Impact</b>	
Bat	Bats are known to be present in the wider area, but with the lack of buildings or suitable trees on site there are no opportunities for roosting. The proximity of the railway line and the wider greenspaces may make the area a foraging habitat.	<b>Low Impact</b>	Detailed visual inspection undertaken during field visit. Further ecological surveys to be undertaken to investigate any use of the site by bats, and to identify any conflicts between the roosting activity and the project.
Great Crested Newt	Present in the wider area (Cowpen Bewley at 2505m), but habitat less suitable for them within the work area. Work will not impact on them	<b>No Impact</b>	
Natterjack Toads	Area unsuitable, no nearby records	<b>No Impact</b>	
Sand Lizards	Area unsuitable, no nearby records	<b>No Impact</b>	
Smooth snakes	Area unsuitable, no nearby records	<b>No Impact</b>	
Badger	Badgers are active in the wider area, but the	<b>No Impact</b>	



Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

	urbanised surroundings of the site restrict any potential use of the site by badgers.		
Red Squirrel	Area unsuitable, no nearby records	<b>No Impact</b>	
Water Vole	No watercourses on site, closest records 1440m (Cowbridge Beck).	<b>No Impact</b>	
Freshwater Pearl Mussel	No watercourses on site.	<b>No Impact</b>	
White-clawed Crayfish	No watercourses on site	<b>No Impact</b>	
Other reptile	No records in the wider area	<b>No Impact</b>	
Terrestrial Invertebrates	Insect activity during the winter period will be at a minimal. Possible some disturbance of insects overwintering during the clearance work	<b><i>Negligible Impact</i></b>	
Aquatic Invertebrates	No watercourses on site	<b>No Impact</b>	
Salmonid Fish	No watercourses on site	<b>No Impact</b>	
Others	Anti-social activity eg dumping or tipping	<b><i>Low Impact</i></b>	Surrounding properties offer a degree of active policing, however securing the site will reduce the potential of anything from happening
<b>OVERALL</b>		<b><i>Low Impact</i></b>	

**Table 3** showing an overview of the survey results

Room	Information	Rating - Bats	Rating - Birds	Rating – Barn Owl
Log Store	Internal corner voids, damage to the stonework internally and externally with large voids visible when endoscoped Space in roof between wooden backing and tiles Damage to the coping stones	Low potential	2x Nests present	No evidence of Barn Owl activity in the barns.
			Confirmed nest but unoccupied	
Cart sheds and storage	Missing ridge tile Space in roof between wooden backing and tiles Corner holes and large internal void on the north western elevation External gaps on north eastern elevation Roof damage	Low potential	2x Nests present	
			Confirmed nest but unoccupied	
Fence material store	Internal 1 <sup>st</sup> floor - debris Internal corner voids	Low potential	4x Nests present	
			Confirmed nest but unoccupied	
Store	Internal corner voids, damage to the stonework internally and externally Gap under the door lintel	Low potential	5x Nests present	
			Confirmed nest but unoccupied	
Store/ Office	Internal corner voids, damage to the stonework internally and externally Damage to the coping stones Roof damage	Low potential	1x Nest present	
			Confirmed nest but unoccupied	
Semi derelict lean too	High level pointing damage	Low potential	No nests	

## **4.0 Conclusion and recommendations**

### **4.1 *The importance of the site for bats***

The buildings surveyed are considered to have Low Potential for roosting bats, but opportunities occur internally and externally of the building.

Bats are known to be active in the wider area from the data search (within 2Km). The site is located within an area of good quality habitat and connectivity to the wider areas; with numerous other roosting opportunities away from disturbance.

#### *4.1.1 Roost*

No bats or evidence where found during the ground-based assessment.

#### *4.1.2 Foraging and commuting*

The surround habitats, agricultural land and urban gardens that provide good habitat for foraging and commuting bats and good connectivity to other surrounding areas.

#### *4.1.3 Potential Impacts*

Should a bat roost be present on site in the buildings, there would be the risk of both destroying a roost and killing or injuring bats. Both these actions would constitute a criminal offense

### **4.2 *The importance of the site for Barn Owls***

The buildings surveyed are considered not to currently be in use by Barn Owls at the time of the survey, with no field evidence of their presence being found during the survey. However due to the open nature of both buildings there is potential for their use at some point in the future.

Barn Owls are recorded within the area in 2016.

#### *4.2.1 Nests/ field evidence*

No Barn Owls where found during the ground-based assessment, no field evidence or nests.

#### *4.1.2 Foraging*

The surround habitats provide good foraging habitat for Barn Owl and good connectivity to other surrounding areas.

#### *4.1.3 Potential Impacts*

Should a Barn Owl be nesting in the buildings, there would be the risk of injuring/ killing the Barn Owl or damaging/ disturbing the nest. These actions would constitute a criminal offense.

### **4.3 *The importance of the site for birds (general)***

#### *4.3.1 Nests/ field evidence*

The surveyed buildings contained a number of unoccupied nests (at the time of the survey) throughout. Further evidence of bird activity was noted during the survey including droppings and carcasses.

#### 4.3.2 Potential Impacts

Should an active nest be in use at the time of the start of the development work then there would be a risk of injuring/ killing the bird or damaging/ disturbing the nest. These actions would constitute a criminal offense.

#### 4.4 Recommendations

The following recommendations are made:

##### **Bats**

- A bat roost assessment survey should be carried out to confirm if the building is being used by bats. The survey should follow the Collins, J (ed.) (2016). Bat surveys: good practice guidelines. 3<sup>rd</sup> edition. Bat Conservation Trust, London and include:
  - 5 surveyors for a Dusk Emergence Survey
  - 3 surveyors for a Dawn Return Survey
  - Surveys to be carried out in the correct survey season (May to September)
- This information will then be used to determine if a European Protected Species License is required, and if so a suitable mitigation plan.

##### **Barn Owl**

The building is currently not being used by Barn Owls. Due to its open nature there is potential for it to be used at some point in the future.

- A site inspection prior to the start of any demolition work by an ecologist to confirm no barn owl present

##### **General birds**

- A site inspection prior to the start of any construction work by an ecologist to confirm no active nesting present in the buildings. If the nest is in use then building work cannot start until the birds have fledged and the nest is no longer in use.

##### **Invasive Plant Species**

- No invasive species are currently found on the site and every effort (through correct biosecurity) should be made to prevent any invasive species being brought onto the site.

##### **If a protected species is discovered**

If a protected species is discovered during the work, work must immediately stop in that area and the ecologist contacted (if not on site then contacted on 07980 581437). The ecologist will then need to visit the site, assess the situation and potentially apply for the necessary consents **BEFORE** any further work can recommence.

##### **Wildlife Enhancement**

Where possible include wildlife friendly features (planting, nest boxes etc) in the new development to support and encourage local wildlife. Further information can be provided upon request.

## 5.0 References

- Anon (1995) Guidelines for Baseline Ecological Assessment. Institute of Environmental Assessment. Chapman & Hall.
- Anon (1995) The UK Biodiversity Action Plan. Joint Nature Conservation Committee, Peterborough.
- Collins, J (ed.) (2016). Bat surveys: good practice guidelines. 3<sup>rd</sup> edition. Bat Conservation Trust, London.
- Mitchell-Jones, A.J. (2004) Bat Mitigation Guidelines. English Nature, Peterborough.
- Mitchell-Jones, A.J. & McLeish, A.P. [Eds.] (2004) The Bat Workers Manual (3<sup>rd</sup> edition). Joint Nature Conservancy Council, Peterborough.
- Barn Owl Trust (2012) Barn Owl Conservation Handbook. Pelagic Publishing

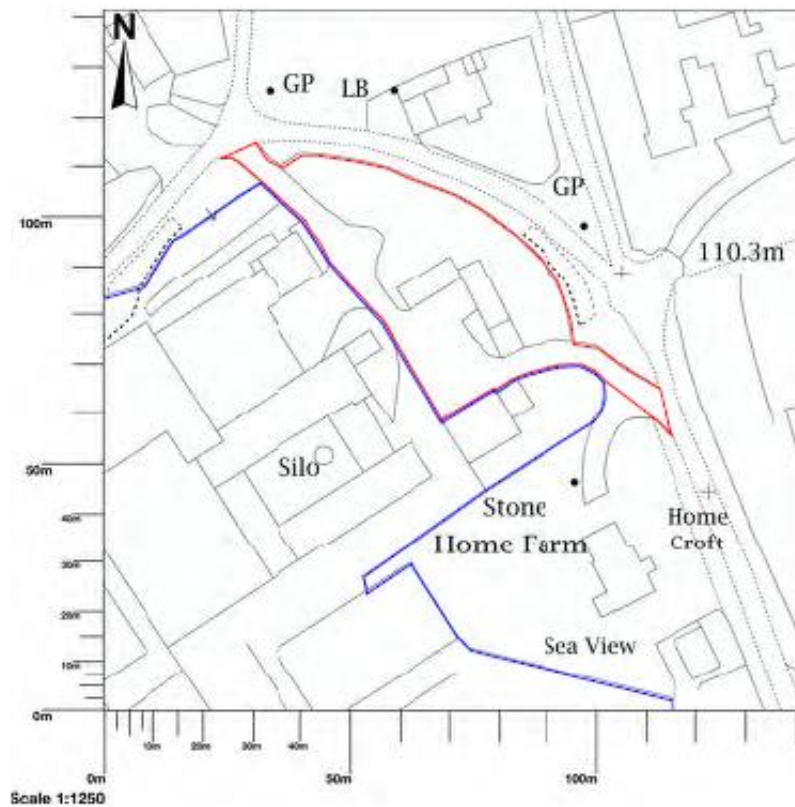
### *UK legislation and policy web address:*

- Conservation of Habitats and Species Regulations 2010:  
[http://www.opsi.gov.uk/si/si2010/uksi\\_20100490\\_en\\_1](http://www.opsi.gov.uk/si/si2010/uksi_20100490_en_1)
- Habitats Directive:  
[www.europa.eu.int/eur-lex/en/lif/dat/1992/en\\_392L0043](http://www.europa.eu.int/eur-lex/en/lif/dat/1992/en_392L0043)
- Wildlife and Countryside Act 1981:  
[www.opsi.gov.uk/RevisedStatutes/Acts/ukpga/1981/cukpga\\_19810069\\_en\\_1](http://www.opsi.gov.uk/RevisedStatutes/Acts/ukpga/1981/cukpga_19810069_en_1)
- National Parks and Access to the Countryside Act 1949:  
[http://www.opsi.gov.uk/RevisedStatutes/Acts/ukpga/1949/cukpga\\_19490097\\_en\\_1](http://www.opsi.gov.uk/RevisedStatutes/Acts/ukpga/1949/cukpga_19490097_en_1)
- National Planning Policy Framework:  
<http://www.communities.gov.uk/documents/planningandbuilding/pdf/2116950.pdf>

**Appendix 1: Site location map**



**Home Farm, Dunsley, Whitby, YO21 3TL**



Map area bounded by: 485654,510996 485796,511138. Produced on 30 April 2020 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2020. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p2buk/452259/613254

Diagram 3 showing the site location

**Appendix 2: Photographs of the buildings**



Photograph 1. Showing the external view of the south eastern elevation, including the metal gates, windows present and the damaged roof tiles on the adjoining elevation (on the far right of the picture).



Photograph 2. Showing the external view of the south western elevation used for storage.



Photograph 3. Showing the external view of the south western elevation and the wooden doored wood store.



Photograph 4. Showing the external view of the south eastern elevation adjacent to the entrance road, with damage to both sides and coping stones





Photograph 5. Showing the coping damage on the south eastern elevation, left hand side.



Photograph 6. Showing the coping damage on the south eastern elevation, right hand side with the large running split in the pointing and stone work.



Photograph 7. Showing the damage on the other corner and north eastern elevation, leading into a large void behind.



Photograph 8. Showing the north eastern elevation inside the chicken coup.



Photograph 9. Showing the tiles on the north eastern elevation with gaps under the tiles present.



Photograph 10. Showing the other side of the north eastern elevation with the blocked up door and the hole with the deep void visible centre right edge of the picture.



Photograph 11. Showing the north western elevation with the lean too that has been partly demolished. Note the damage to the stone work and pointing at high levels.



Photograph 12. Showing the another section of the north western elevation.



Photograph 13. Showing the end of the north western elevation with damage to the coping stones and roof tiles to the right of the picture.



Photograph 14. Showing the gable end of the south western elevation with other side of the damage to the coping stones with shallow erosion to the stone work and ivy creeping up (possibly cut back at an earlier point in time).



Photograph 15. Showing of the wider view of the farmyard the buildings are set in.



Photograph 16. Showing an inside view of the former stable/ log store.



Photograph 17. Showing the roof inside the former stable with the white washed walls, timber framework and backing to the tiles.



Photograph 18. Showing the gable end of the storage area (which joins to the stables) with the timber framework and wooden backing to the tiles. Gaps present where the timbers join the wall and in each corner of the bottom of the apex.



Photograph 19. Showing the storage area.



Photograph 20. Showing a view of the timber framework and tile backing of the storage area.  
Some daylight visible through the roof indicating the damage present





Photograph 21. Showing the gable wall at the other end of the storage area with some holes with bat potential to the left of the bricked up wall.



Photograph 22. Showing the roof damage at the gable wall and some more detail of the roof structure (felt present).



Photograph 23. Showing the small room used to store fencing materials, with a timber ceiling leading to the floor above.



Photograph 24. Showing the first floor room with lots of debris and damage to the roof (daylight visible). Floor boards are rotten, door access from the adjacent room.



Photograph 25. Showing the felted roof and timber framework of the middle store room.



Photograph 26. Showing the gap present in the doorway below the wooden lintel.



Photograph 27. Showing the doorway of the storage room/ office, with the gap in the corner of the wooden lintel and damage to the roof.



Photograph 28. Showing the storage room/ office with roof damage. Materials in this room provided excellent surfaces to detect droppings, but none were found



Photograph 29. Showing the voids in the corner of the room.



Photograph 30. Showing the internal view of the lean too with no roof

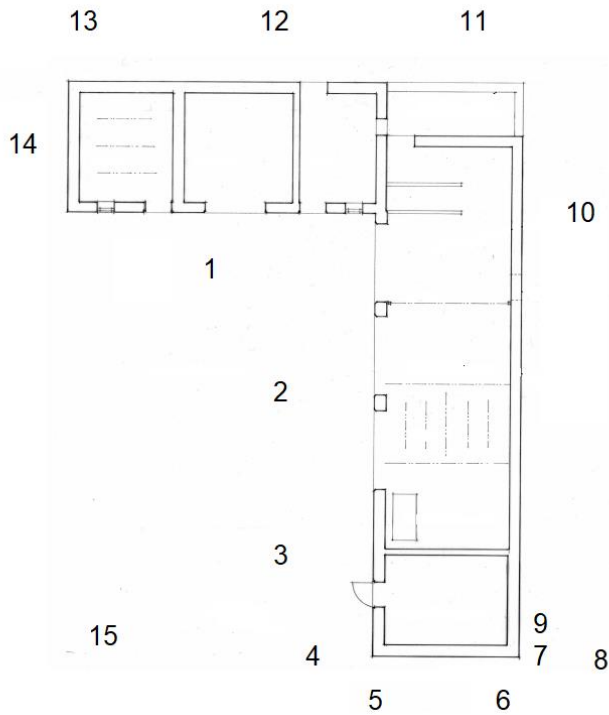


Diagram 6 showing the location of the photographs taken - external

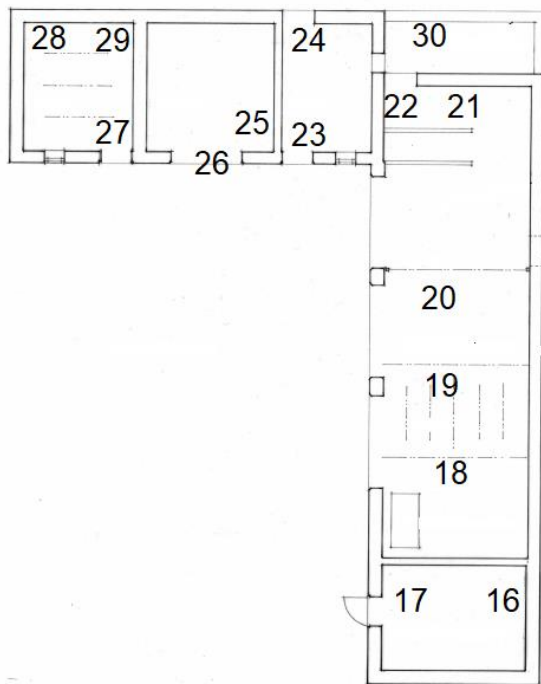
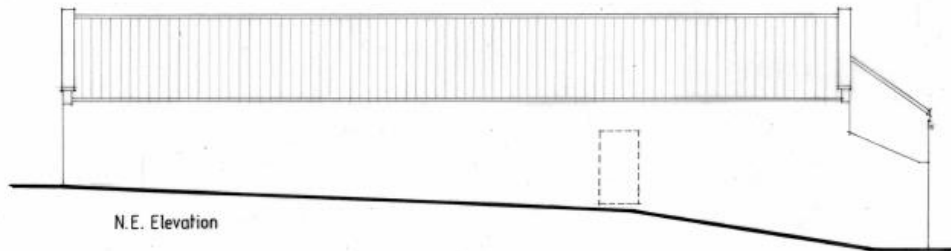
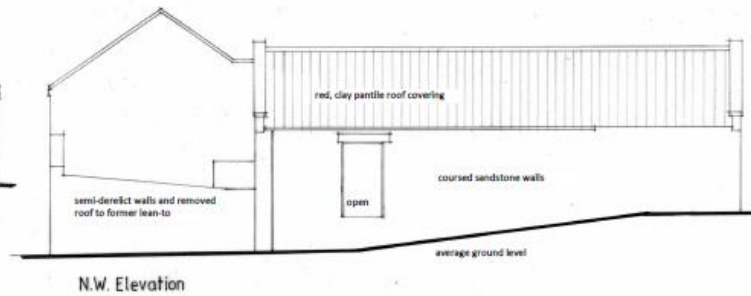
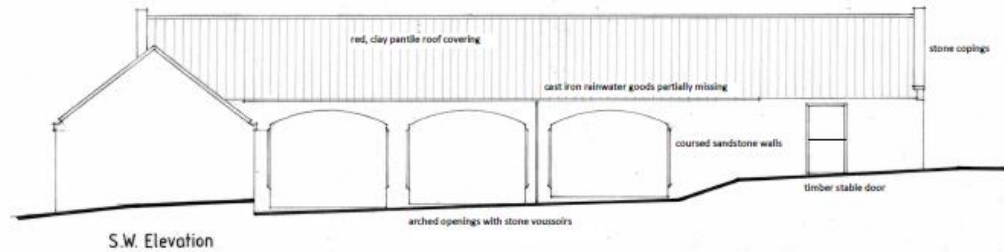


Diagram 7 showing the location of the photographs taken - internal

**Appendix 3a: Plans of existing building layout – External**

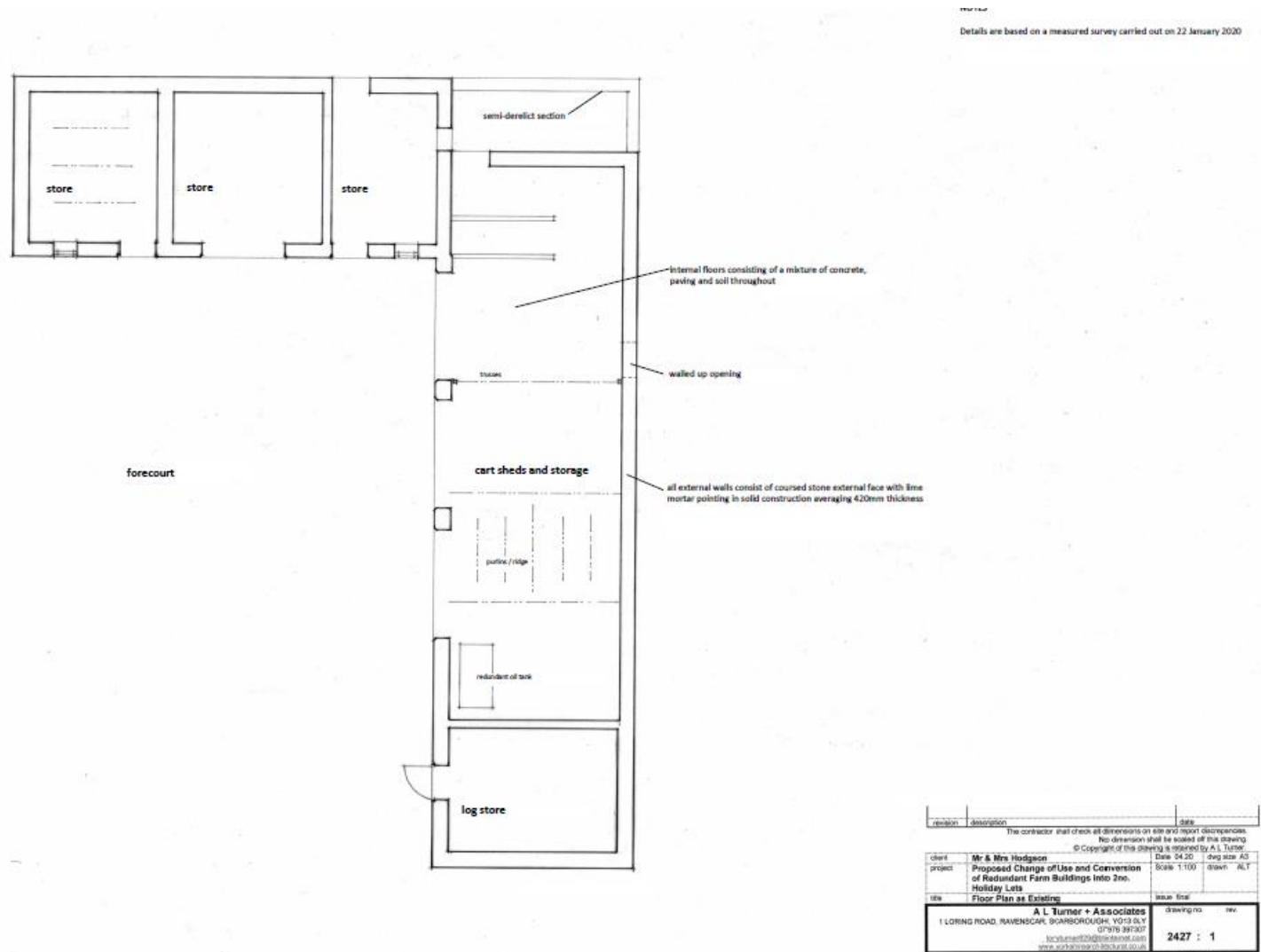
**NOTES**

Details are based on a measured survey carried out on 22 January 2020



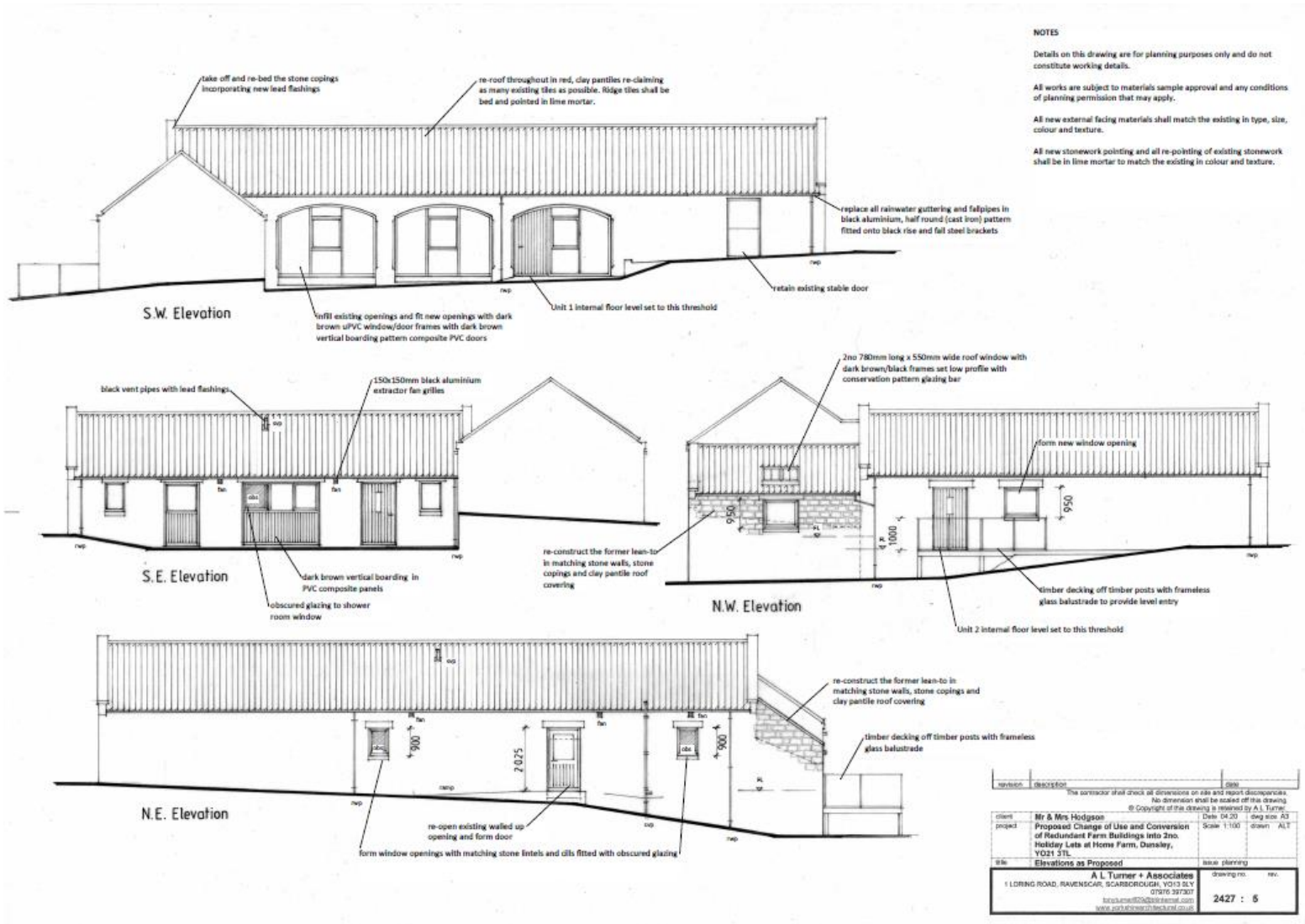
revision	description	date
The contractor shall check all dimensions on site and report discrepancies. No dimension shall be scaled off this drawing. © Copyright of this drawing is retained by A.L. Turner		
client	Mr & Mrs Hodgson	Date 04/20
project	Proposed Change of Use and Conversion of Redundant Farm Buildings into 2no. Holiday Lets	drawing no. 2427 : 2
scale	Scale 1:100	drawn ALT
title	Elevations as Existing	issue final
A.L. Turner + Associates 1 LORING ROAD, HAVENSCAR, SCARBOROUGH, YO13 0LY 01752 361307 a.l.turner@aturner.co.uk www.a.l.turner.co.uk		sheet no. rev.

**Appendix 3b: Plans of existing building layout – Internal**

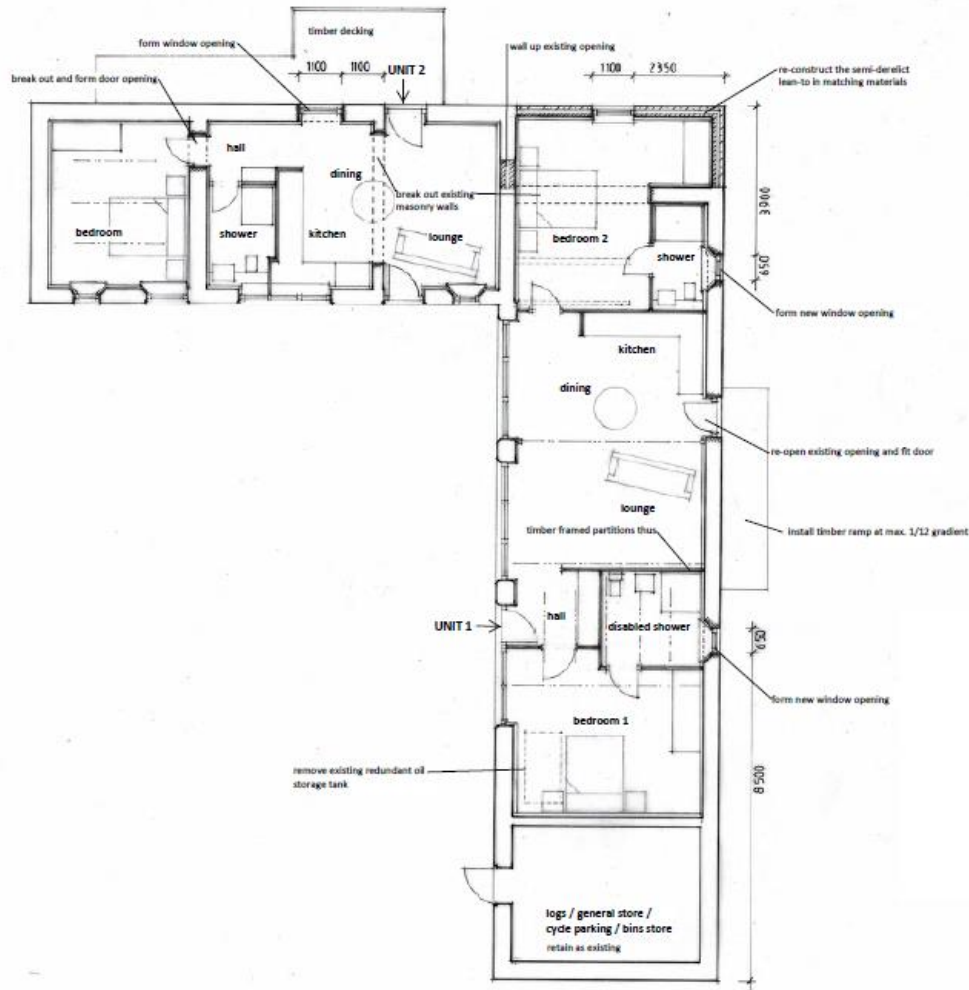




**Appendix 3c: Plans of planned building layout – External**



**Appendix 3d: Plans of planned building layout – Internal**



**NOTES**

The details on this drawing are for planning purposes only and do not constitute working details.

All works shall be subject to materials sample approval by the local planning authority and any condition of planning permission that may apply.

External door and window openings shall be retained and fitted with new door/window frames as appropriate.

External walls shall be retained and made good where required in matching materials. Any re-pointing of stonework shall be carried out in lime mortar to match the existing in texture and colour.

Insulated dry lining shall be fixed to the inside face of external walls.

Internal floors shall be replaced with insulated concrete floors with integral underfloor heating coils set level with the existing threshold at the new entrance doors to each unit.

Ceilings shall be vaulted following the roof pitch and fitted with insulated proprietary linings.

client	Mr & Mrs Hodgkins	date	18/09/20
project	Proposed Change of Use and Conversion of Reducast Farm Buildings into two Holiday Lets at Home Farm, Dunsley, YO21 3TL	scale	1:150 drawn ALB
site	Floor Plans Proposed	issue	planning
A L Turner + Associates 11 CORNWALL ROAD, HANESBURG, SCARBOROUGH, YO11 1L7 0196 367307 info@alturner.co.uk www.alturner.co.uk		drawing no.	2427 : 4

### **Appendix 4: Protected species records from NEYEDC**

2029 unfiltered records provided, with 261 records from protected/ designated/ notable species

<b>Common Name</b>	<b>Location</b>	<b>Grid Reference</b>	<b>Date(s)</b>
Common Cottongrass	North-east Yorkshire	NZ80P	1992
Common Cottongrass	North-east Yorkshire	NZ80P	1986 - 1991
Japanese Knotweed	North-east Yorkshire	NZ80P	2016
Japanese Knotweed	North-east Yorkshire	NZ80P	1992
Japanese Knotweed	North-east Yorkshire	NZ80P	1986 - 1991
Bluebell	North-east Yorkshire	NZ80P	2016
Bluebell	North-east Yorkshire	NZ80P	1992
Bluebell	North-east Yorkshire	NZ80P	1986 - 1991
Lousewort	North-east Yorkshire	NZ80P	1992
Lousewort	North-east Yorkshire	NZ80P	1986 - 1991
Lesser Spearwort	North-east Yorkshire	NZ80P	1992
Rhododendron ponticum	North-east Yorkshire	NZ80P	1992
Japanese Rose	North-east Yorkshire	NZ80P	2016
Corn Spurrey	North-east Yorkshire	NZ80P	2016
Corn Spurrey	North-east Yorkshire	NZ80P	1992
Moonwort	North-east Yorkshire	NZ80U	1992
Moonwort	North-east Yorkshire	NZ80U	1986 - 1991
Japanese Knotweed	North-east Yorkshire	NZ80U	03/09/2012
Japanese Knotweed	North-east Yorkshire	NZ80U	1992
Japanese Knotweed	North-east Yorkshire	NZ80U	1986 - 1991
Bluebell	North-east Yorkshire	NZ80U	2016
Bluebell	North-east Yorkshire	NZ80U	2007
Bluebell	North-east Yorkshire	NZ80U	1992
Bluebell	North-east Yorkshire	NZ80U	1986 - 1991
Indian Balsam	North-east Yorkshire	NZ80U	1992
Indian Balsam	North-east Yorkshire	NZ80U	1986 - 1991
Lousewort	North-east Yorkshire	NZ80U	1992
Lousewort	North-east Yorkshire	NZ80U	1986 - 1991

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Bluebell	North-east Yorkshire	NZ81F	2016
Bluebell	North-east Yorkshire	NZ81F	1992
Bluebell	North-east Yorkshire	NZ81F	1986 - 1991
Rhododendron ponticum	North-east Yorkshire	NZ81F	1992
Corn Spurrey	North-east Yorkshire	NZ81F	1992
Bluebell	North-east Yorkshire	NZ81G	1992
Bluebell	North-east Yorkshire	NZ81G	1986 - 1991
Corn Spurrey	North-east Yorkshire	NZ81G	1992
Bluebell	North-east Yorkshire	NZ81K	2016
Bluebell	North-east Yorkshire	NZ81K	1992
Bluebell	North-east Yorkshire	NZ81K	1986 - 1991
Rhododendron ponticum	North-east Yorkshire	NZ81K	2016
Rhododendron ponticum	North-east Yorkshire	NZ81K	2009
Rhododendron ponticum	North-east Yorkshire	NZ81K	1992
Chicory	North-east Yorkshire	NZ81L	06/09/2012
Chicory	North-east Yorkshire	NZ81L	09/08/2010
Common Cottongrass	North-east Yorkshire	NZ81L	1992
Common Cottongrass	North-east Yorkshire	NZ81L	1986 - 1991
Japanese Knotweed	North-east Yorkshire	NZ81L	09/08/2010
Japanese Knotweed	North-east Yorkshire	NZ81L	1992
Japanese Knotweed	North-east Yorkshire	NZ81L	1986 - 1991
Bluebell	North-east Yorkshire	NZ81L	2007
Bluebell	North-east Yorkshire	NZ81L	1992
Bluebell	North-east Yorkshire	NZ81L	1986 - 1991
Grass-of-Parnassus	North-east Yorkshire	NZ81L	1992
Grass-of-Parnassus	North-east Yorkshire	NZ81L	1986 - 1991
Lesser Spearwort	North-east Yorkshire	NZ81L	1992
Rhododendron ponticum	North-east Yorkshire	NZ81L	2009
Rhododendron ponticum	North-east Yorkshire	NZ81L	1992
Japanese Rose	North-east Yorkshire	NZ81L	09/08/2010
Japanese Rose	North-east Yorkshire	NZ81L	20/06/2008
Knotted Pearlwort	North-east Yorkshire	NZ81L	09/08/2010
Corn Spurrey	North-east Yorkshire	NZ81L	09/08/2010
Corn Spurrey	North-east Yorkshire	NZ81L	20/06/2008
Corn Spurrey	North-east Yorkshire	NZ81L	1992
Bithynian Vetch	North-east Yorkshire	NZ81L	1992
Japanese Knotweed	North-east Yorkshire	NZ81Q	1992

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Japanese Knotweed	North-east Yorkshire	NZ81Q	1986 - 1991
Dyer's Greenweed	North-east Yorkshire	NZ81Q	1992
Dyer's Greenweed	North-east Yorkshire	NZ81Q	1986 - 1991
Bluebell	North-east Yorkshire	NZ81Q	20/06/2013
Bluebell	North-east Yorkshire	NZ81Q	1992
Bluebell	North-east Yorkshire	NZ81Q	1986 - 1991
Rhododendron ponticum	North-east Yorkshire	NZ81Q	20/06/2013
Rhododendron ponticum	North-east Yorkshire	NZ81Q	1992
Corn Spurrey	North-east Yorkshire	NZ81Q	1992
Bithynian Vetch	North-east Yorkshire	NZ81Q	1992
Common Cottongrass	North-east Yorkshire	NZ81R	1992
Common Cottongrass	North-east Yorkshire	NZ81R	1986 - 1991
Eyebright	North-east Yorkshire	NZ81R	06/09/2018
Dyer's Greenweed	North-east Yorkshire	NZ81R	1992
Dyer's Greenweed	North-east Yorkshire	NZ81R	1986 - 1991
Corn Marigold	North-east Yorkshire	NZ81R	1992
Corn Marigold	North-east Yorkshire	NZ81R	1986 - 1991
Bluebell	North-east Yorkshire	NZ81R	1992
Bluebell	North-east Yorkshire	NZ81R	1986 - 1991
Grass-of-Parnassus	North-east Yorkshire	NZ81R	1992
Grass-of-Parnassus	North-east Yorkshire	NZ81R	1986 - 1991
Rhododendron ponticum	North-east Yorkshire	NZ81R	1992
Japanese Rose	North-east Yorkshire	NZ81R	06/09/2018
Japanese Rose	North-east Yorkshire	NZ81R	20/06/2008
Corn Spurrey	North-east Yorkshire	NZ81R	1992
Bithynian Vetch	North-east Yorkshire	NZ81R	1992
Killarney Fern	North-east Yorkshire	NZ8311	Jun-95
Scots Pine	North York Moors	NZ8410	1993
Crosswort	North York Moors	NZ8410	1993
Wild Strawberry	North York Moors	NZ8410	1993
Bluebell	North York Moors	NZ8410	1993
Bitter-vetch	North York Moors	NZ8410	1993
Mat-grass	North York Moors	NZ8410	1993
Wood-sorrel	North York Moors	NZ8410	1993
Rhododendron ponticum	North York Moors	NZ8410	1993
Sanicle	North York Moors	NZ8410	1993
Ragged-Robin	North York Moors	NZ8410	1993

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Common Valerian	North York Moors	NZ8410	1993
Killarney Fern	North-east Yorkshire	NZ8411	Jun-95
Scots Pine	North York Moors	NZ8412	1993
Quaking-grass	North York Moors	NZ8412	1993
Heather	North York Moors	NZ8412	1993
Harebell	North York Moors	NZ8412	1993
Carlina Thistle	North York Moors	NZ8412	1993
Crosswort	North York Moors	NZ8412	1993
Bell Heather	North York Moors	NZ8412	1993
Cross-leaved Heath	North York Moors	NZ8412	1993
Common Cottongrass	North York Moors	NZ8412	1993
Japanese Knotweed	North York Moors	NZ8412	1993
Wild Strawberry	North York Moors	NZ8412	1993
Bluebell	North York Moors	NZ8412	1993
Marsh Pennywort	North York Moors	NZ8412	1993
Field Scabious	North York Moors	NZ8412	1993
Bitter-vetch	North York Moors	NZ8412	1993
Welsh Poppy	North York Moors	NZ8412	1993
Common Cow-wheat	North York Moors	NZ8412	1993
Bog-myrtle	North York Moors	NZ8412	1993
Mat-grass	North York Moors	NZ8412	1993
Wood-sorrel	North York Moors	NZ8412	1993
Grass-of-Parnassus	North York Moors	NZ8412	1993
Hoary Plantain	North York Moors	NZ8412	1993
Heath Milkwort	North York Moors	NZ8412	1993
Tormentil	North York Moors	NZ8412	1993
Lesser Spearwort	North York Moors	NZ8412	1993
Rhododendron ponticum	North York Moors	NZ8412	1993
Sanicle	North York Moors	NZ8412	1993
Ragged-Robin	North York Moors	NZ8412	1993
Goldenrod	North York Moors	NZ8412	1993
Corn Spurrey	North York Moors	NZ8412	1993
Devil's-bit Scabious	North York Moors	NZ8412	1993
Common Valerian	North York Moors	NZ8412	1993
Heath Speedwell	North York Moors	NZ8412	1993
Bithynian Vetch	North York Moors	NZ8412	1993
Wild Pansy	North York Moors	NZ8412	1993

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

European Eel	Sandsend Sawmill	NZ850123	04/07/2000
Brown/Sea Trout	Sandsend Sawmill	NZ850123	04/07/2000
Killarney Fern	North-east Yorkshire	NZ8511	Jan-97
European Eel	Sandsend	NZ858126	30/08/2011
Brown/Sea Trout	Sandsend	NZ858126	30/08/2011
European Eel	Sandsend	NZ858127	06/06/2006
Brown/Sea Trout	Sandsend	NZ858127	06/06/2006
Bluebell	North-east Yorkshire	NZ859129	2012
Fulmar	Sandsend, Hardcliffe - 07/07/1998	NZ859130	07/07/1998
Crosswort	Sandsend, Hardcliffe - 07/07/1998	NZ859130	07/07/1998
Bell Heather	Sandsend, Hardcliffe - 07/07/1998	NZ859130	07/07/1998
Mat-grass	Sandsend, Hardcliffe - 07/07/1998	NZ859130	07/07/1998
Japanese Rose	Sandsend, Hardcliffe - 07/07/1998	NZ859130	07/07/1998
Good-King-Henry	North-east Yorkshire	NZ86011242	20/06/2008
Scots Pine	North York Moors	NZ8610	1993
Harebell	North York Moors	NZ8610	1993
Crosswort	North York Moors	NZ8610	1993
Japanese Knotweed	North York Moors	NZ8610	1993
Dyer's Greenweed	North York Moors	NZ8610	1993
Bluebell	North York Moors	NZ8610	1993
Bitter-vetch	North York Moors	NZ8610	1993
Wood-sorrel	North York Moors	NZ8610	1993
Hoary Plantain	North York Moors	NZ8610	1993
Tormentil	North York Moors	NZ8610	1993
Rhododendron ponticum	North York Moors	NZ8610	1993
Sanicle	North York Moors	NZ8610	1993
Ragged-Robin	North York Moors	NZ8610	1993
Corn Spurrey	North York Moors	NZ8610	1993
Marsh Arrowgrass	North York Moors	NZ8610	1993
Bithynian Vetch	North York Moors	NZ8610	1993
Killarney Fern	North-east Yorkshire	NZ8611	Nov-96
Scots Pine	East Row Beck and Woodlands - Sandsend - 14/08/1998	NZ861124	14/08/1998
Bluebell	East Row Beck and Woodlands - Sandsend - 14/08/1998	NZ861124	14/08/1998
Wood-sorrel	East Row Beck and Woodlands - Sandsend - 14/08/1998	NZ861124	14/08/1998
Sanicle	East Row Beck and Woodlands - Sandsend - 14/08/1998	NZ861124	14/08/1998
Canadian Goldenrod	East Row Beck and Woodlands - Sandsend - 14/08/1998	NZ861124	14/08/1998
Eurasian Badger	East Row Beck and Woodlands - Sandsend - 14/08/1998	NZ861124	14/08/1998

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

European Water Vole	Sandsend Bridge	NZ861128	01/04/1999
European Water Vole	Sandsend Bridge	NZ861128	15/03/1998
Scots Pine	North York Moors	NZ8612	1993
Quaking-grass	North York Moors	NZ8612	1993
Heather	North York Moors	NZ8612	1993
Harebell	North York Moors	NZ8612	1993
Carline Thistle	North York Moors	NZ8612	1993
Field Mouse-ear	North York Moors	NZ8612	1993
Crosswort	North York Moors	NZ8612	1993
Bell Heather	North York Moors	NZ8612	1993
Common Cottongrass	North York Moors	NZ8612	1993
Treacle-mustard	North York Moors	NZ8612	1993
Dyer's Greenweed	North York Moors	NZ8612	1993
Corn Marigold	North York Moors	NZ8612	1993
Bluebell	North York Moors	NZ8612	1993
Field Scabious	North York Moors	NZ8612	1993
Bitter-vetch	North York Moors	NZ8612	1993
Welsh Poppy	North York Moors	NZ8612	1993
Spiny Restharrow	North York Moors	NZ8612	1993
Bee Orchid	North York Moors	NZ8612	1993
Wood-sorrel	North York Moors	NZ8612	1993
Grass-of-Parnassus	North York Moors	NZ8612	1993
Hoary Plantain	North York Moors	NZ8612	1993
Tormentil	North York Moors	NZ8612	1993
Rhododendron ponticum	North York Moors	NZ8612	1993
Ragged-Robin	North York Moors	NZ8612	1993
Goldenrod	North York Moors	NZ8612	1993
Corn Spurrey	North York Moors	NZ8612	1993
Devil's-bit Scabious	North York Moors	NZ8612	1993
Marsh Arrowgrass	North York Moors	NZ8612	1993
Marsh Valerian	North York Moors	NZ8612	1993
Bithynian Vetch	North York Moors	NZ8612	1993
Unidentified Bat	Whitby	NZ8668111434	29/09/2016
Noctule Bat	Whitby	NZ8668111434	29/09/2016
Noctule Bat	Whitby	NZ8668111434	18/08/2016
Common Pipistrelle	Whitby	NZ8668111434	29/09/2016
Common Pipistrelle	Whitby	NZ8668111434	16/09/2016



Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Common Pipistrelle	Whitby	NZ8668111434	18/08/2016
Scots Pine	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Crosswort	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Autumn Gentian	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Bluebell	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Welsh Poppy	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Wood-sorrel	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Tormentil	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Rhododendron ponticum	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Ragged-Robin	Raithwaite Gill / Dunsley Beck - 19/07/1999	NZ868120	19/07/1999
Carlina Thistle	Uppang Beck to Sandsend Cliffs - 07/07/1998	NZ870121	07/07/1998
Eyebright	Uppang Beck to Sandsend Cliffs - 20/07/2012	NZ870121	20/07/2012
Bee Orchid	Uppang Beck to Sandsend Cliffs - 20/07/2012	NZ870121	20/07/2012
Bee Orchid	Uppang Beck to Sandsend Cliffs - 07/07/1998	NZ870121	07/07/1998
Hoary Plantain	Uppang Beck to Sandsend Cliffs - 07/07/1998	NZ870121	07/07/1998
Japanese Rose	Uppang Beck to Sandsend Cliffs - 07/07/1998	NZ870121	07/07/1998
Devil's-bit Scabious	Uppang Beck to Sandsend Cliffs - 20/07/2012	NZ870121	20/07/2012
Bithynian Vetch	Uppang Beck to Sandsend Cliffs - 07/07/1998	NZ870121	07/07/1998
Slow-worm	Whitby	NZ8703512003	11/08/2016
Unidentified Bat	Whitby	NZ8703512003	23/09/2016
Unidentified Bat	Whitby	NZ8703512003	01/09/2016
Noctule Bat	Whitby	NZ8703512003	01/09/2016
Noctule Bat	Whitby	NZ8703512003	11/08/2016
Common Pipistrelle	Whitby	NZ8703512003	23/09/2016
Common Pipistrelle	Whitby	NZ8703512003	01/09/2016
Common Pipistrelle	Whitby	NZ8703512003	11/08/2016
Tawny Owl	Whitby	NZ871120	02/08/2016
Tawny Owl	Whitby	NZ871120	29/06/2016
Barn Owl	Whitby	NZ871120	22/09/2016
Serotine	Whitby	NZ871120	22/09/2016
West European Hedgehog	Whitby	NZ871120	02/08/2016
Unidentified Bat	Whitby	NZ871120	14/10/2016
Unidentified Bat	Whitby	NZ871120	02/08/2016
Daubenton's Bat	Whitby	NZ871120	22/09/2016
Daubenton's Bat	Whitby	NZ871120	14/07/2016
Daubenton's Bat	Whitby	NZ871120	29/06/2016
Noctule Bat	Whitby	NZ871120	22/09/2016

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Noctule Bat	Whitby	NZ871120	02/08/2016
Noctule Bat	Whitby	NZ871120	14/07/2016
Noctule Bat	Whitby	NZ871120	29/06/2016
Common Pipistrelle	Whitby	NZ871120	14/10/2016
Common Pipistrelle	Whitby	NZ871120	22/09/2016
Common Pipistrelle	Whitby	NZ871120	02/08/2016
Common Pipistrelle	Whitby	NZ871120	14/07/2016
Common Pipistrelle	Whitby	NZ871120	29/06/2016
Brown Long-eared Bat	Whitby	NZ871120	14/10/2016
Brown Long-eared Bat	Whitby	NZ871120	22/09/2016
Brown Long-eared Bat	Whitby	NZ871120	14/07/2016

**Appendix 5: Protected species records from North Yorkshire Bat Group**

45 records provided

Species	Site	Grid ref.	Quantity	Date	Comment
Common Pipistrelle	Fairfax Farm, Dunsley	NZ857112	1	28-Aug-18	Day roost
Myotis bat sp.	Fairfax Farm, Dunsley	NZ857112	1	28-Aug-18	Day roost
Unknown	The Woodlands Hotel, Sandsend	NZ857126		01-Jul-03	Roost
Noctule Bat	The Old Smithy, Dunsley	NZ858109	1	21-Sep-07	In flight
Common Pipistrelle	The Old Smithy, Dunsley	NZ858109	1	21-Sep-07	Feeding
Myotis bat sp.	The Old Smithy, Dunsley	NZ858109	1	21-Sep-07	Feeding
Noctule Bat	Bungalow Hotel, Sandsend, Whitby	NZ858127		02-Jun-09	In flight
Noctule Bat	Bungalow Hotel, Sandsend, Whitby	NZ858127		13-May-09	In flight
Common Pipistrelle	Bungalow Hotel, Sandsend, Whitby	NZ858127	1	02-Jun-09	Roost
Common Pipistrelle	Bungalow Hotel, Sandsend, Whitby	NZ858127	3	13-May-09	Roost
Brown Long-eared Bat	Bungalow Hotel, Sandsend, Whitby	NZ858127		02-Jun-09	Foraging
Pipistrelle species	Bungalow Hotel, Sandsend, Whitby	NZ858127	2	28-Jul-02	Roost
Unknown	Meadowfields, Sandsend	NZ863124		Jul-08	In flight
Noctule Bat	Raithwaite Estate, Whitby	NZ8668111434		29-Sep-16	
Common Pipistrelle	Raithwaite Estate, Whitby	NZ8668111434	6	29-Sep-16	Roost
Myotis bat sp.	Raithwaite Estate, Whitby	NZ8668111434		29-Sep-16	
Common Pipistrelle	The Granary, Bannial Flat Farm	NZ868101	2	12-Jun-12	Roost
Common Pipistrelle	Raithwaite Estate, Whitby	NZ8703512003	2	23-Sep-16	Roost
Myotis bat sp.	Raithwaite Estate, Whitby	NZ8703512003		23-Sep-16	
Serotine	Raithwaite Estate, Whitby	NZ871120		22-Sep-16	In flight
Daubenton's Bat	Raithwaite Estate, Whitby	NZ871120		29-Jun-16	In flight
Daubenton's Bat	Raithwaite Estate, Whitby	NZ871120		14-Jul-16	In flight

Preliminary Ecological Appraisal – Barn conversion at Home Farm, Dunsley, Whitby, YO213TL

Daubenton's Bat	Raithwaite Estate, Whitby	NZ871120		22-Sep-16	In flight
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		29-Jun-16	In flight
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		14-Jul-16	In flight
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		02-Aug-16	In flight
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		22-Sep-16	In flight
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		11-Aug-16	
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		01-Sep-16	
Noctule Bat	Raithwaite Estate, Whitby	NZ871120		18-Aug-16	
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120		29-Jun-16	In flight
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120		14-Jul-16	In flight
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120		22-Sep-16	In flight
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120		14-Oct-16	In flight
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120	40	11-Aug-16	Roost
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120	22	01-Sep-16	Roost
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120	45	18-Aug-16	Roost
Common Pipistrelle	Raithwaite Estate, Whitby	NZ871120	5	16-Sep-16	Roost
Brown Long-eared Bat	Raithwaite Estate, Whitby	NZ871120		14-Jul-16	In flight
Brown Long-eared Bat	Raithwaite Estate, Whitby	NZ871120		22-Sep-16	In flight
Brown Long-eared Bat	Raithwaite Estate, Whitby	NZ871120		14-Oct-16	In flight
Myotis bat sp.	Raithwaite Estate, Whitby	NZ871120		02-Aug-16	In flight
Myotis bat sp.	Raithwaite Estate, Whitby	NZ871120		14-Oct-16	In flight
Myotis bat sp.	Raithwaite Estate, Whitby	NZ871120		01-Sep-16	
Common Pipistrelle	Raithwaite Estate, Whitby	NZ8715112014	20	02-Aug-16	Roost

NYMNP

08/07/2020

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# Structural Assessment

Proposed conversion of existing  
redundant farm buildings into holiday  
letting accommodation at:

Home Farm,  
Dunsley,  
YO21 3TL  
for  
Mr & Mrs Hodgson

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**A L Turner + Associates**  
1 Loring Road  
Ravenscar  
Scarborough  
YO13 0LY

June 2020

## **THE ASSESSMENT**

The purpose of this assessment is to provide supporting information in connection with planning application NYM/2020/0360/NEW and to justify the conversion of a small group of redundant farm buildings. The information contained in this assessment will enable an informed decision to be made by the local planning authority in terms of the suitability of the current structures for conversion into use as dwellings.

The assessment is not intended for use as a full structural report but more of a general appraisal. Comments are based on a walk over of the site on 22 January 2020 with no intrusive investigation work having taken place.

## **PROPOSAL**

The proposal is for the restoration and conversion of a small range of single storey buildings within the curtilage of Home Farm for use as two holiday letting cottages.

## **BACKGROUND**

The proposal follows the cessation of use of the range of buildings several years ago following the erection of modern replacement structures on the farm. The buildings were originally built primarily to accommodate small livestock and feed storage together with space for the parking of carts.

Over time various modernisation programmes on the farm have led to the buildings becoming redundant in terms of efficiency, capacity and siting. The decision has been taken to make better use of the buildings by including them in a farm diversification proposal to convert them into habitable accommodation for the holiday tourist trade.

## **DESCRIPTION OF THE BUILDINGS**

The buildings are located north of and close to the existing farmhouse separated by the main access into the farm.

The buildings are arranged in an L-shape on plan in single storey structures averaging 2.50m height to eaves and 5.0m to ridge. Each leg was built separately but both at or around the early twentieth century using local materials. The northern leg of the range is probably the older of the two arranged in three rooms designed principally to accommodate small livestock. The eastern leg is a later addition of three spaces which would have contained general feed and equipment storage plus space for three carts.

The area immediately to the south-west would have originally been used as a farm yard but has latterly been used for general car parking. There are areas of open grass to the east and north of the range forming a buffer up to the public highway.

All buildings are constructed in solid, coursed stone walls approximately 430mm thick with internal lateral, masonry walls of thickness varying from 220mm to 450mm. External walls are finished with stone copings.

Roof structures are made up of traditional timber queen post trusses and purlins covered externally in clay pantiles on timber sarking boards and laths.

Original internal floors have been replaced with broken stone and concrete. Original timber windows and doors have, in part, been replaced with metal gates.

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## **GENERAL APPEARANCE**

In general terms the external walls are true and plumb and the roof lines are level subject to local wear and tear. Window and door openings remain square and well defined. Internal finished floor levels vary between rooms and bays sloping to follow the natural, external ground levels.

There is a small lean-to structure in the north-east corner of the range which has been partially demolished and is currently without a roof.

### **Walls**

Trial holes have not been excavated to determine the nature of any foundations beneath walls. However, given the age and nature of the buildings it is assumed that masonry walls have been built directly off the underlying, natural sandstone possibly with a widening of the wall width to provide increased spread.

There is little evidence of movement having occurred in the walls with courses running true and well defined. Localised settlement is apparent in the north-east gable where the lean-to building has been reduced and where the remains of a mature tree can be seen growing immediately adjacent to the wall. The settlement is minor and can be attributed to ground movement associated with tree roots.

The tree was removed several years ago, except for the base of the trunk which is now dead and can be safely removed. Any further movement is not anticipated. Repairs and re-pointing can be successfully carried out in this area.

Photograph A in Appendix 1 illustrates the settlement referred to.

The north-west corner of the northern leg shows displacement of the stone coping and top section of wall where low impact from a vehicle has occurred. This can be successfully repaired.

Photograph B in Appendix 1 illustrates this.

There is a general loosening of the stone copings in several places as a result of general wear and tear but the coping stones themselves are intact and can be successfully taken off and re-bedded incorporating new leadwork.

Photograph C in Appendix 1 illustrates loose copings to the southern wall of the eastern leg with the bottom coping having been pushed off by vehicle impact.

Otherwise, the condition of the external stonework is plumb and good showing no indication of cracking, bulging or settlement. Lintels and cills are properly seated with no cracking. The stone voussoirs and associated columns at the three large openings in the eastern leg are in good condition with no evidence of movement having occurred.

Stonework pointing is generally in poor condition due to wear and tear and can be successfully raked out and re-pointed using lime mortar to maintain consistency with the original pointing. In those areas where the pointing remains sound it is recommended that it be left alone.

Internally, all walls are in exposed stonework with patches of brickwork where repairs have been made. The stonework is generally in good condition showing no evidence of cracking, bulging or subsidence. Areas have been re-pointed at differing times with patchy results but the pointing is effective and sound. Bearings beneath lintels and roof trusses are sound with no evidence of slippage.

### **Roofs**

The external covering of clay pantiles is generally even showing no undulations with generally level ridges. Each roof slope is regular with no indication of sagging or dipping. The clay tiles are of mixed condition with some being acceptable and others flaking slightly and showing signs of weathering. Ridge tiles are loose on bed but generally level with no splitting or cracking.

Bearing in mind that insulation is to be inserted into the proposed roof build up it will be necessary to take off and re-fit all roof tiles. It is recommended that all tiles of good quality be set aside for re-use.

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Internally, the roof timbers are exposed and appear to be generally in good condition. Joints in the trusses are good showing no indication of spread or deflection. Inspection from floor level did not reveal widespread insect infestation but most of the timbers are covered in dust and dirt and require cleaning prior to further, closer inspection. In any case it recommended that all timbers be cleaned, exposed and treated with preservative prior to the insulation and roof build up taking place.

Photograph D illustrates a roof truss and purlin arrangement within the eastern leg.

#### **Floors**

Most of the internal floors are ad-hoc replacements in loose stone, paving or concrete. Finished levels are uneven. However, there are no indications within the floors of subsidence or heave with each area being in basic sound condition. The proposed works will require taking up and replacement of all internal floors and sub-structures.

#### **CONCLUSION**

This brief, visual inspection of the main elements revealed a good, sound structure with no underlying or long term problems that may lead to failure in the future. Subject to repairs works where impact damage has occurred and to a programme of general maintenance the condition of the structure is likely to remain good with no on-going problems.

The general conclusion is that the buildings are suitable for conversion into habitable accommodation.



**APPENDIX 1**

subsidence cracks

remains of tree



**Photograph A**  
north-east gable to eastern leg.

loose stones and coping



**Photograph B**  
impact damage

loose copings

impact damage



**Photograph C**  
loose copings and impact damage



**Photograph D**  
roof truss and purlins arrangement

END

