

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mr Ian Sinclair at 4 Grant Close, Osmotherley, North Yorkshire, DL6 3BD  
**Date:** 06 September 2020 20:09:53

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Unless the new build is within the existing footprint we are still objecting as our light will still be blocked.

Comments made by Mr Ian Sinclair of 4 Grant Close, Osmotherley, North Yorkshire, DL6 3BD

Preferred Method of Contact is Email

Comment Type is Object with comments

From:  
To: [Planning](#)  
Subject: NYM/2020/0268/FL  
Date: 01 September 2020 21:04:23

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Your Ref: NYM/2020/0268/FL

For the Attention of: : Mrs H Saunders

Dear Sir/Madam

**Application for demolition of existing dwelling and construction of replacement open market dwelling at Hannah's Garth, 1 Grant Close, Osmotherley,**

*This is a supplement to my previous objections which still stand.*

### **New Window Overlooking Garden of No. 2**

The latest plans show a first floor window in the Northern wall above the garage. This is a new addition that did not exist in earlier plans. The sole view from this window will be into the garden of No. 2. This is a much used garden in which we spend much time and value our privacy. A window in any of the other aspects of this part of the building would not impact anyone's privacy. We object to the placement of this window.

### **Distance to No.2**

The latest letter from the architect states "*This as shown on the plans increases the distance between the single storey blank wall to the west of no.2 to the proposed garage to be in excess of 14m*". This may be true, but is misleading. The distance to the non-blank wall containing our front room window being less than this, the 'blank wall' being set back from the main body of the house. This can be seen in the plans.

### **Need to Demolish?**

I've not previously commented on whether it is appropriate to demolish Hannah's Garth, believing this is a matter for the planning committee. However, what I cannot agree with is the applicant's view during the site visit that this was 1950's architecture with no architectural value. 1950's architecture might not be fashionable at this time, but the fact that Hannah's Garth is a good, largely untouched, example of such architecture should be considered a merit, not a reason to demolish. I hope the planning committee members have a more enlightened view than expressed by the applicant on conserving architecture when

weighing up whether demolition is appropriate to make way for a new development.

### **Green Credentials?**

The applicant has promoted the development as eco friendly, but has not provided evidence to support this assertion. I feel it highly unlikely that demolishing Hannah's Garth and building a larger property will be in any way eco friendly. The carbon footprint to demolish and rebuild will likely take very many years to recoup, if it ever is. There will inevitably be many other non-carbon environmental impacts. If the green credentials of the proposal are to be considered in the planning decision then I believe they should be backed by fact, not aspiration.

### **Appropriate?**

In the past few months I've had the opportunity to cycle many hundreds of miles through the villages of the North Yorkshire Moors National Park. Given the circumstances, I've been paying attention to the new developments I see. I have found the vast majority sympathetic to their environment. This is not what I'm seeing in this proposal. This inappropriateness is certainly my main concern and appears to be that of many I have spoken to. Had the proposal been more sympathetic to its setting then I believe there would be far fewer objections. Grant Close will be best served if the current proposal is withdrawn in its current form pending a proposal appropriate to its environment.

Regards,

Richard Gough,  
2 Grant Close,  
Osmotherley,  
DL6 3BD

**Hugh Thompson**  
**75 South End, Osmotherley, Northallerton, N. Yorks, DL6 3BP**

To: North York Moors Planning Authority, fao relevant officer [by email]  
28 August 2020

**Application NYM/2020/0268/FL – Hannah's Garth, 1 Grant Close, Osmotherley**  
**Objection**

1 We wish to object to the revised proposal submitted this week. Whilst changes have been made that are an improvement, they are an improvement to a fundamentally flawed proposal, and our objections remain.

**2 Director of Planning's Recommendation**

We would draw the planning committee's attention to the recommendation document by the Director of Planning; this appears to support statements [in italics below] by the applicant's agent, comments that we believe to be inaccurate and very misleading:

**2.1 *The applicant wishes to create a dwelling that has sustainability and low energy use as the fundamental principle.***

This statement seems to imply that the proposal is environmentally desirable; this is extremely misleading; it is massively undesirable.

- The applicant has not provided any carbon balance calculations to justify the statement ie comparing carbon emissions of the proposal with simply improving the present house.
- Rarely if ever is it justifiable on carbon emission grounds to demolish and rebuild; the emissions from demolition/rebuild are nearly always higher.
- This is even more the case when you consider that the proposal means demolishing a good size family home and replacing it with one probably 3 times the size! [Interesting that, despite criticism of the massive size of the proposed house, the applicant has never volunteered the comparative floor areas of the new/existing houses?].

**2.2 *This could not be achieved through the existing dwelling due to it being poorly insulated.***

- Misleading. there are many ways in which the existing house could have its insulation, and whole environmental performance, improved. The park will have many examples of this, including some in the village.

**2.3 *The existing dwelling it is not a heritage asset and the arrangement of the dwelling within its site is contrary geometrically to the surrounding dwellings and the grain of the wider village.***

- Yes, but it exists. It may not be a heritage asset, but it is "of its age", an example of what was being built at the time. Are we losing something by demolishing it? Yes, a decent house, appropriate to the plot, a good family home. Not built to 2020 standards, but there is no suggestion that it is defective and requires demolition. It's a home that most families would give their eye teeth to own.
- Nor would the proposed replacement be a heritage asset.

This proposal cannot possibly be dressed up as an environmentally desirable proposal.

Hugh Thompson

**Hugh Veda Thompson**  
**75 South End, Osmotherley, Northallerton, N. Yorks, DL6 3BP**

To; North York Moors Planning Authority, fao relevant officer [by email]

14 August 2020

**Application NYM/2020/0268/FL – Hannah's Garth, 1 Grant Close, Osmotherley**

**1 Objection to revised proposal**  
**2 Abuse of process**

**1 objection**

1.1 We wish to object to the revised proposal submitted this week. Whilst it might be argued that the revisions would be an improvement, they would be an improvement to a fundamentally flawed design, and our objections remain.

1.2 Aesthetically, the multiple rooflines look to us untidy; they have been introduced not to improve the design in themselves, but to address another problem, ie the mass of the roof/walls. The large blank walls are also an unpleasant feature.

1.3 our earlier objections remain. The wrong house in the wrong place.

**2 abuse of process**

2.1 We have tried to address these multiple design changes with an open mind, but it is difficult when the developer is introducing one change after another, at a time when people are on holiday, and with little time for the public to consider them. It appears that the developer is engaging in a war of confusion and attrition, and that this must surely constitute abuse of process. One can't help feeling that the developers are using the age old ploy of starting with an outrageous design, then resubmitting and resubmitting slightly less outrageous designs until what in the end is passed would never have got through the process had it been the original application.

2.2 We find it unhelpful that the developers are introducing these plans without, as far as we are aware, making any effort to discuss them with the people who will be neighbours of their clients when [if?] they move into their home. I cannot myself conceive of wanting to live in a house that I'd built that had angered so many of my new neighbors, and [whilst they have now abandoned this particular element] in particular built a massive blank brick wall towering over and shading my closest neighbour.

A lot of people are getting rather cross at this approach, and it is not conducive to a sensible debate. This has proved to be a very controversial application and it seems to us it would be sensible for the developers and future occupiers to recognise this and to try and engage with the village rather than being perceived as ignoring them and souring relations.

2.3 We suggest that to address both these points, the Park advises the developer to take a step back, discuss with their clients the objections, and register a new planning application with a new, more appropriate design [including all the necessary supporting detail].

Hugh and Veda Thompson

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Dr Jon Lovett at 58 North End, Osmotherley, Northallerton, DL6 3BH  
**Date:** 13 August 2020 12:02:50

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The revised application does not meet the concerns of my initial response. All the points I made then are still valid. The revised application also raises additional concerns in that the original planning application appears to have been a cynical attempt by the architect to put forward a clearly unacceptable plan, and then revise to make it appear more acceptable, when in fact it does not meet the concerns raised.

Comments made by Dr Jon Lovett of 58 North End, Osmotherley, Northallerton, DL6 3BH

Comment Type is Adverse Comments

**From:**  
**To:** [Planning](#)  
**Subject:** RE: Hannah's Garth, 1 Grant Close, Osmotherley, - NYM/2020/0268/FL  
**Date:** 22 June 2020 20:43:16  
**Attachments:**

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For the Attention of: : Mrs H Saunders

Dear Sir/Madam

**Application for demolition of existing dwelling and construction of replacement open market dwelling at Hannah's Garth, 1 Grant Close, Osmotherley.**

*This is an updated version of my previous objection, reflecting the revised plans that have been submitted. I find these revisions have done little to address my concerns on the impact on Grant Close, but have updated to reflect the revised plans.*

The Western end of Grant Close is currently characterised by two stone barns and an attractive terrace of three original cottages. The 1950's development at 1 Grant Close may have detracted somewhat from this, but at least the property was set well back from the close, allowing much of the original character of the close to have been conserved. This is not the case with the proposed development, which with its proposed size and placement would come to characterise Grant Close, dominating the original features. This would detract from what is a popular public footpath, used by both Osmotherley residents and visitors to the village. (Grant Close is a public footpath within the Conservation Area not a public highway.) More specifically I object to:

1. The **excessive size**. The proposed property has approximately twice the footprint of any existing property on Grant Close and is significantly larger than the combined size of the (much extended) original terrace opposite in its entirety. I suggest a property no larger than the property to be demolished is more appropriate, or at least in the size range of previously permitted developments on Grant Close.
2. The **proximity to Grant Close**. The original plans had the two-story component of the building approximately a quarter of the distance of the existing building. The revised plan has increased this to approximately a third that of the existing building. This proximity of such a large property to Grant Close will dominate the existing cottages, reducing natural light from the South and their privacy. I suggest that any two-story component of the property be set back at least as far as that on the existing property, ideally further. (The nearest component of the existing property to Grant Close is single story and flat roofed so has limited impact on neighbouring properties.)
3. The **impact of building height**. The current building has a high roofline and



the proposed development has an even higher roofline. The most recent and neighbouring development in Grant Close (No. 7) was required to be 'sunk' into hillside using the natural slope of the land. I suggest this is also appropriate for the redevelopment of No. 1 to lessen the impact. The plot has a natural slope giving the opportunity for the building to be both set back from and lower than Grant Close. Whereas the proposed design has the property built at the highest point in the plot closest to Grant Close.

4. The **style of the design**. The proposed design is not in keeping with what has been previously permitted in Grant Close - there are currently no glass fronted stairwells in Grant Close. A more traditional design such as has previously been permitted on Grant Close would be more appropriate.

5. The **overall placement within the site**. Though I object to the excessive size, if such a size were to be permitted then it could be positioned within the site to better conserve the character of Grant Close and reduce impact on neighbours. The site has room, with a revised design, to build back from the position of the existing property footprint to increase size, rather than forward towards Grants Close with all the associated negative impacts.

Regards,

Richard Gough,  
2 Grant Close,  
Osmotherley,  
DL6 3BD

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**From:**

**Sent:** 03 June 2020 15:19

**To:**

Close, Osmotherley, - NYM/2020/0268/FL

You have received this email from North York Moors National Park Authority (Planning Service) in relation to a planning matter at Hannah's Garth, 1 Grant Close, Osmotherley, .

The attached correspondence contains important information; please retain it for your records.

If this is a consultation/re-consultation and you are set up with a log-in username and password, please click the link <http://tinyurl.com/z5qmn4j>

In any correspondence, please quote the Council reference number, which is included in the attached letter.

If you are a statutory consultee and would like to use electronic correspondence via our e-consultation site please contact the Planning Dept via email at [planning@northyorkmoors.org.uk](mailto:planning@northyorkmoors.org.uk) who will be happy to set you up with a log-in username and password..

If you cannot open the attachment you can download the following software free of charge:

- Microsoft Word Viewer for Word attachments.
- Adobe Reader for PDF attachments.

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[www.northyorkmoors.org.uk](http://www.northyorkmoors.org.uk)

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**From:**  
**To:** [Planning](#)  
**Subject:** 1 Grant Close, Osmotherley. NYM/2020/0268/FL  
**Date:** 17 June 2020 17:04:48

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Dear Sir or Madam,

After reading the amended plans for the above property I still think the proposed house to be far too large. It will be intrusive to the immediate neighbours, the rest of Grant Close and the village as a whole.

It is not in keeping with the area.

I stand by my previous comments dated May 13th 2020 and Object to this amended planning application.

Cathy Watson.  
Sent from my iPad

**Hugh and Veda Thompson**  
**75 South End, Osmotherley, Northallerton, N. Yorks, DL6 3BP**

Fao Ms H Saunders  
NYMNP Headquarters  
Via email to:

14 June 2020

**Dear Ms Saunders**

**Application Hannah's Garth NYM/2020/0268/FL – comments/objection.**

**Revised application.**

**Project: Proposed Detached Two Story Dwelling at Hannah's Garth, 1 Grant Close, Osmotherley, NORTHALLERTON, North Yorkshire. DL6 3BD. Date: 28 May 2020**

1. We wish to object to this planning application.
2. We note the changes made to the earlier application, and welcome these; however, they do not go far enough.
3. We have no objection on architectural grounds to the site being re-developed. However, we believe that instead of demolishing the current, sound and usable house, it should be refurbished. The carbon footprint of demolition/rebuild will be massively higher than refurbish.

4. Our material objections are:

4.1	Size	<p>This proposal is for what is clearly a very large house, apparently approx. 460 sq m / 5000 sq ft. For the village, a floor area of 2000 sq ft would be considered "a big house", and the proposal would probably be larger than any in the village.</p> <ul style="list-style-type: none"><li>• This is simply the wrong location for the mansion-size house described in the application.</li><li>• It appears to be more than twice the floor area of the house to east, itself a very large house.</li><li>• The plot is a generous size, but this proposal nearly fills it.</li><li>• It will inevitably dominate the quiet backwater of Grant Close, including the small traditional cottages with their quirky features and the adjacent public footpath. [Not, incidentally, shown on the drawings].</li></ul>
4.2	Height and position on plot	<p>We note and welcome the changes to the height and plot position of the revised application. However, we feel they do not go far enough to mitigate the concerns in 4.1 above</p>
4.3	Character of West end of Grant Close	<p>The west end of grant Close is a quiet country cul-de-sac, with a well-used public footpath passing through.. This mansion will change the character of the Close.</p>

5 We believe the application should be rejected. However, should the application be approved, the following changes/conditions should be applied.	
5.1	<ul style="list-style-type: none"> <li>• Conditions should be imposed to ensure that the building is built to the plans approved by the authority.</li> <li>• A height datum point should be constructed, to remain until completion.</li> <li>• Roof ridge heights should be defined, and the heights of floor levels [to identify early if construction has drifted from the agreed plans.</li> <li>• Main wall-to-wall dimensions should be defined.</li> <li>• Distances house to each boundary should be defined.</li> </ul>
5.2	The size of the house should be reduced.
5.3	The house should be set to the south side of the plot, at the same distance from Grant Close as the present house.
5.4	The height of the house should be reduced. It should “nestle” into the ground [as is typical of the old stone houses in the village], rather than be built up above the ground.
5.5	The width of the elements of the building should be reduced, to bring down the height of the ridges.

Thank you

Hugh Thompson

*end*

**From:**  
**To:** [Planning](#)  
**Subject:** Hannah"s Garth, 1 Grant Close, Osmotherley, - NYM/2020/0268/FL  
**Date:** 10 June 2020 21:51:55

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Dear Sir / Madam

After reviewing the amended set of plans submitted we still want to raise the following objections:

We still believe that this is an overdevelopment of the site.

Looking at all the houses on Grant close the sheer size of this property is not in keeping with the lane.

We are still being overlooked by the large windows so invading privacy.

The style of the property is not in keeping with the rest of the village properties due to the amount of windows.

The proposed new build is still not on the existing footprint.

Shadowing and restriction of light still compromises properties 2,3 and 4.

There should be a 106 agreement put in place to reinstate Grant Close to highways standard once any work has been completed.

We therefore still object to the planning application.

Regards

Ian Sinclair

Sent from my iPhone

**From:**  
**To:** [Planning](#)  
**Subject:** Hannah's Garth , Osmotherley - NYM/2020/0268/FL  
**Date:** 11 June 2020 15:49:47

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Dear Sir /Madam

Thank you for you email regarding the proposed application for the above site on Grant Close, Osmotherley. I have previously objected to this due to a number of concerns , none of which have been addressed by the slight changes made .

1. The proposed new house is far larger than the existing property
2. The position of the new house would be far closer to Grant Close which would overshadow existing properties especially numbers 2 , 3 and 4.
3. The position would effect natural light , privacy and views from numbers 2, 3 and 4.
4. The proposed new house would be out of place on Grant close
5. Grant close itself is a narrow , rough track unsuitable for heavy machinery required for the proposed plans .

Therefore I still object to the application.

Many thanks,  
Yours ,

Dr Laura Wilson  
5 Grant Close  
Osmotherley  
DL63BD

Sent from my iPad

**From:**  
**To:** [Planning](#)  
**Subject:** NYM/2020/0268/FL  
**Date:** 11 June 2020 13:58:03

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Planning. Grants Close. Osmotherley.

NYM/2020/0268/FL

Having looked at the revised plans I still uphold everything that I said on my previous comment dated 9th May and wish these still to be taken into consideration

Regards  
Joanna Terry

35 North End, Osmotherley



**From:** Planning  
**To:** [Hilary Saunders](#)  
**Subject:** New application post - NYM/2020/0268/FL - Hannah's Garth, 1 Grant Close, Osmotherley - Third Party  
**Date:** 29 May 2020 09:20:44

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-----Original Message-----

**From:**  
**Sent:** 28 May 2020 15:49  
**To:** Planning  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Dr Stephen Rogers at Glen Isla, 5 Back Lane, Osmotherley, Northallerton, North Yorkshire, DL6 3BJ

I wish to object strongly to the proposal to demolish 1 Grant Close, Osmotherley and to build a much larger, taller building which differs substantially from the existing house's footprint.

The design of the proposed house is not in keeping with the character of Osmotherley. The footprint will be moved closer to existing properties which, combined with the proposed higher roof line, will cause overshadowing and loss of privacy for other residents of Grant Close. It would completely dominate the cul-de-sac.

The access road is narrow and unadopted so totally unsuitable as access for construction vehicles for a project of this scale.

The property lies within the Village Conservation Area and this development would in no way meet the guidelines developed in the Osmotherley Village Plan.

Comments made by Dr Stephen Rogers of Glen Isla, 5 Back Lane, Osmotherley, Northallerton, North Yorkshire, DL6 3BJ

Preferred Method of Contact is Email

Comment Type is Comment

**From:**

**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Dr Jon Lovett at 58 North End, Osmotherley, DL6 3BH

**Date:** 18 May 2020 18:38:17

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The proposed development is much larger than the existing building, which is already substantial. The increased size of the redevelopment is not in keeping with the character of the village, and completely out of scale with other adjacent properties. The access road, Grant Close, is narrow, poorly made up, and serves many other properties. When oil delivery lorries access Grant Close they have to reverse up the close and I am often asked to move my car. This illustrates how difficult it will be, and at times impossible, for builders lorries to access the site. I do not object to the current building being refurbished, retaining the current footprint, but I do object to the proposal of demolishing the existing building and creating a much larger structure that destroys the scale and balance of the area.

Comments made by Dr Jon Lovett of 58 North End, Osmotherley, DL6 3BH

Preferred Method of Contact is Email

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mrs Gill Davison at 8 South End, Osmotherley, Northallerton, DL6 3BL  
**Date:** 15 May 2020 15:03:34

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This proposed replacement is a lot larger than the existing house and will reduce light, views and privacy to the other houses on Grant Close. The narrow lane is unsuitable for the heavy machinery that will have to negotiate its way down there. In our opinion this proposed development will not be in keeping with the rest of the village.

From Mark and Gill Davison

Comments made by Mrs Gill Davison of 8 South End, Osmotherley, Northallerton, DL6 3BL

Comment Type is Comment

**From:**

**To:** [Planning](#)

**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mr Michael Brown at 15a north end, Osmotherley, D163ba

**Date:** 16 May 2020 20:08:48

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My objection is that the proposal fails to incorporate your planning advice ,which states (NYM Planning Advice Note 5..."the village design statement is a management tool ensuring that the new development fits into the village and makes a positive contribution to it".Our v.d.s. Par.4.2.2 recommends "new development should avoid dominating the landscape with its unbroken mass".

A .By doubling the footprint and moving it northwards The proposal will create a " unbroken mass" of shade to the detriment of the cottages opposite.

B. Dominating the village landscape.

The proposal will be visible from every aspect of the village, and dominate it.In addition its style will be jarringly dissonant to the local vernacular.The southern elevation's 11 window frames and 31 panes of glass could hardly be more at odds with the local architectural style.

3. A sustainable development?

The argument in the proposal that demolition will enhance sustainability is spurious, and a pretext to double the footprint. Most buildings in the village require sustainability improvements far more difficult to achieve than in the existing building. Very many people in the village would aspire to this family accommodation and make suitable sustainability improvements.

Comments made by Mr Michael Brown of 15a north end, Osmotherley, D163ba

Preferred Method of Contact is Post

Comment Type is Comment

**From:**

**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mrs jill soper at 72 North End, Osmotherley, DL6 3BH

**Date:** 15 May 2020 13:06:54

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having seen the plans for proposed building it looks like it would dominate what is a small close with little regard for neighbouring property's privacy , I also think that the narrow track which leads to the property which also has a right of way for walkers with very difficult access off the north end road with very little turning point for large vehicles which would cause problems on already busy road if building work was to begin

Comments made by Mrs jill soper of 72 North End, Osmotherley, DL6 3BH

Email

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mrs Joanna Terry at 35 North End, Osmotherley, DL6 3 BE  
**Date:** 14 May 2020 18:15:14

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In principle we do not object to work being carried out on this house but to demolish and rebuild with something that it totally not in keeping with the village and with out due consideration to the nearby cottages is not acceptable.

Obviously it would over shadow the three cottages, depriving them of light and privacy.

The access up a small single track lane is unsuitable for heavy vehicles during demolition and construction. We presume the road which is unadopted would be made good after any work? Has this been mentioned.

Our concern as is no33 is that our houses are old and with out foundations and not likely to tolerate any heavy vehicles if they were able to manage the tight turn in.

A large house would be highly visable from views around the village. As it is, the current house is noticed from up above the village. But this would stand out like a sore thumb.

We would also like to point out that we recently put in to replace our front porch like for like, ( it has been on the house for 30yrs ) but were told by your planning officer that we couldn't and to replace with a smaller open fronted porch to be more in keeping with the house. HOW then, can you possibly allow this oversized, Morden looking house to go ahead.

Comments made by Mrs Joanna Terry of 35 North End, Osmotherley, DL6 3 BE

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mr Richard Gough at 2 Grant Close, Osmotherley, Northallerton, North Yorkshire, DL6 3BD  
**Date:** 14 May 2020 19:07:41

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The Western end of Grant Close is currently characterised by two stone barns and an attractive terrace of three original cottages. The 1950's development at 1 Grant Close may have detracted somewhat from this, but at least the property was set well back from the close, allowing much of the original character of the close to have been conserved. This is not the case with the proposed development, which with its proposed size and placement would come to characterise Grant Close, dominating the original features. This would detract from what is a popular public footpath, used by both Osmotherley residents and visitors to the village. (Grant Close is a public footpath within the Conservation Area not a public highway.) More specifically I object to:

1. The excessive size. The proposed property has approximately twice the footprint of any existing property on Grant Close and is significantly larger than the combined size of the (much extended) original terrace opposite in its entirety. I suggest a property no larger than the property to be demolished is more appropriate, or at least in the size range of previously permitted developments on Grant Close.

2. The proximity to Grant Close. The gable of the proposed building is less than a quarter the distance from Grant Close than that of the property to be demolished and will loom over the original terrace, reducing natural light from the South and reducing their privacy. I suggest that any development be set back at least as far as the existing gable end, ideally further.

3. The impact of building height. The current building has a high roofline and the proposed development has an even higher roofline. The most recent and neighbouring development in Grant Close (No. 7) was required to be 'sunk' into hillside using the natural slope of the land. I suggest this is also appropriate for the redevelopment of No. 1 to lessen the impact. The plot has a natural slope giving the opportunity for the building to be both set back from and lower than Grant Close. Whereas the proposed design has the property built at the highest point in the plot closest to Grant Close.

4. The style of the design. The proposed design is not in keeping with what has been previously permitted in Grant Close - there are currently no glass fronted stairwells in Grant Close. A more traditional design such as has previously been permitted on Grant Close would be more appropriate.

Comments made by Mr Richard Gough of 2 Grant Close, Osmotherley, Northallerton, North Yorkshire, DL6 3BD

Comment Type is Comment

**From:**

**To:** [Planning](#)

**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Simon Foster at 47 north end, Osmotherley, northallerton, DL6 3BE

**Date:** 14 May 2020 10:52:10

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The proposed dwelling will be considerably larger than the footprint of the existing property, and the plans show the new house very close to Grant close. I believe that a two storey building of these dimensions will over shadow the cottages along Grant close. Could the applicant please consider moving the proposed dwelling further away from Grant close and reducing the height.

Regards



S Foster

Comments made by Simon Foster of 47 north end, Osmotherley, northallerton, DL6 3BE

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mrs Christine Cleminson at 3 Back Lane, Osmotherley, NORTHALLERTON, DL6 3BJ  
**Date:** 14 May 2020 09:40:31

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1 Grant Close, Osmotherley

I wish to make the following comments regarding this application, regarding harm to the character of the Osmotherley conservation area for the following reasons:

Scale: footprint, massing and scale of house is at odds with the scale of buildings within the village generally, and especially with the row of cottages opposite and the backland character of Grant Close. The roof for such a large building, especially when sited in an elevated position is likely to harm the fine grain of the conservation area's roofscape.

The conservation area appraisal states "ostentatious buildings are not particularly characteristic of Osmotherley, new development should seek to reference the more modest vernacular properties". The scale of the proposals is not modest or vernacular in size.

Architecture: The arrangement, size and detailing of the windows are not in keeping with the historic character of the village. The roof mounted solar panels will harm the roofscape character of the village and could be visible in long distance views when the sun shines on them.

Comments made by Mrs Christine Cleminson of 3 Back Lane, Osmotherley, NORTHALLERTON, DL6 3BJ

k  
Preferred Method of Contact is Email

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** 1 Grant Close, Osmotherley. Application NYM/2020/0268/FL  
**Date:** 13 May 2020 16:38:36

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I would like to express my concerns and object to the proposed planning application for the above property.

- 1) The proposed house is excessively large. It is even large in relation to its own site and as a whole, it is also excessively tall and much nearer the road than at present.
- 2) Grant Close is a quiet, narrow single lane cul de sac.  
The proposed build, in its size and height, will be both unsympathetic and incongruous to its immediate area and that of the village.
- 3) It is opposite a terrace of three old existing cottages, all cared for and well looked after. The proposed build will adversely impact on them visually and also it will be physically very intrusive. It's unfair on them.
- 4) Osmotherley is well known for its traffic and parking problems. The roads are usually congested and most villagers have to park outside their homes, this is the case at the end of Grant Close.  
  
Therefore access and the turning area needed for heavy vehicles will be very difficult if not impossible (at the moment oil tankers can't reach the top of the lane).  
The pavements and kerb outside my house are newly reinstated and I cannot see how continual heavy plant or large vehicles can swing into Grant Close without causing damage.
- 5) Both houses (33 and 35 North End) are old and have no foundations. I'm concerned that heavy plant over a prolonged period will cause issues especially as they'll have to be very near the corner and side of my house.
- 6) Grant Close has a fragile surface now, it will be very badly affected by the proposed demolition and building work. Especially the volumes of material required for such a large house.
- 7) I object to the size and height of the proposed property and feel that any rebuild should be within the existing footprint. If this were the case, the house would be more in keeping with the Close and village and reduce the need for heavy plant, materials etc as much as possible.

Provision should also be made for the road surface to be reinstated.

I have attached photographs taken outside my house demonstrating the vehicular access/ tight turning point into Grant Close from North End. This is the only way in and out and it will cause massive disruption especially with the scale of this proposal.

Cathy Watson  
33 North End.  
Osmotherley.







Sent from my iPad

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mr hugh thompson at 75 South End, Osmotherley, Osmotherley, DL6 3BP  
**Date:** 12 May 2020 22:36:30

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It is apparent that few people in the village are aware of this application. This is because the application notice is posted at the curtilage of the house itself. As the house is situated at the end of a private cul-de-sac it will be seen only by visitors to the cottage opposite and walkers using the public footpath; ie very few in the present lockdown circumstances.

Can we please have:

- 1 A notice posted on North End at the junction with Grant Close where it can be seen by the general public?
- 2 Given the short time remaining, can we have an extension to the consultee response period?

Comments made by Mr hugh thompson of 75 South End, Osmotherley, Osmotherley, DL6 3BP

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mrs John and Elaine Shepherd at 6 grant close, Osmotherley, Northallerton, dl63bd  
**Date:** 11 May 2020 12:39:24

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1. This house has always been admired as an elegant house, previous owners have always loved and enjoyed living in this house. I have also admired this house in the 60 plus years that I have lived in the village.
2. When building our house which was my mothers garden No.6 National Parks insisted that the roof be kept low as to not to stand out from various view points around the village and must be in a "traditional" manner which would be sympathetic to the village and surrounds.
3. . When my neighbour Mrs. M Bainbridge built her house it was to be positioned to follow a "building line" that was based on the position of "Hannahs Garth".  
be kept as low as possible again as to not protrude in height therefore has steps down to the front door.
- 4.This is a single lane road , demolition of this house and then a complete rebuild will cause HUGE problems and inconvenience plus excessive wear to the lane.
- 5.The Size and complete relocation of this property is unacceptable and totally goes against all advice given for previous applications on the lane and the whole village.
- 6.Not only is this proposed build unfitting in the Lane , It is insulting the Pretty cottages opposite which it will tower over .
- 6.We ask that any alterations should be sympathetically made and remain in the same position as the property is now, and as advised previously be kept to the same height and not protrude the landscape.

Comments made by Mrs John and Elaine Shepherd of 6 grant close, Osmotherley, Northallerton, dl63bd

Preferred Method of Contact is Email

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** NYM/2020/0268/FL 1 Grant Close Planning application  
**Date:** 09 May 2020 10:50:03

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I would like to file my Objections for the planning application NYM/2020/0268/FL for the reasons outlined below.

1. Number 1 Grant close as the current property stands is 22 meters or more away from the 3 white cottages numbers 2,3 and 4 Grant close, and angled away, under the new proposal puts them within 4 meters! This will result in a block of natural light casting all these property in a shadow. These cottages are south facing and the sun falls on these all day. The proposed position and relocation from its original foot print will restrict our natural daylight and outlook.
2. The current orientation and distance from the properties means we are not overlooked or overwhelmed by the current property. Under the new proposal increasing the footprint of the property by I can see is about double! Would overwhelm and be out of character for Grant close. This property will tower over the cottages be visible and in view changing the character of Grant close and Osmotherley as a village.
3. The new proposed site would appear to add a second floor over the garage area ( currently flat roof ) and this would be by its orientation block out natural light cast shadows, onto the cottages and a loss of privacy.
4. The Lane or the road of Grant close will not withstand the heavy traffic required, the heavy machinery and the access to the property. What has been discussed about the increase in traffic, noise and the condition the lane will be kept in and left in.
5. The proposed plans are not sympathetic to the area and due to its size is not in keeping with the national park conservation area and the other properties and houses on Grant close.

I am not against a rebuild or refurb , but the current proposal will result in lack of daylight, the simple increase in size of the footprint and its orientation will dominate any privacy had and it is not in keeping with the local character of the area. The roof height of the building should not be increased from its current measure and it should be built into the land not on the land as number 7 Grant close was.

The rebuild should be carried on its original footprint and orientation and be sympathetic to be in keeping with the other properties on Grant Close.

Roger Gardner  
3 Grant Close, Osmotherley

Sent from [Mail](#) for Windows 10



**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Mr Ian Sinclair at soccer sensations teesside ltd, 4 Grant Close, Osmotherley, North Yorkshire, DL6 3BD  
**Date:** 07 May 2020 20:40:02

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We wish to object to this planning permission as follows:

1. Loss of light and overshadowing of our property. This will severely restrict our natural daylight. Currently the site is 22m from Grant Close and moving the site of the property to 4m off Grant Close is too overpowering on such a small lane.
2. We will be overlooked and will suffer loss off privacy.
3. Visual amenity (Not loss of view) - It is not in keeping with the National Park and houses on Grant Close.
4. It is not in keeping with the conservation area due to the size.
5. What provision has been made to reinstate the road surface on Grant Close as heavy machinery will destroy the current fabric of the lane?

We are sympathetic to a rebuild however the roof height is not to be increased and the rebuild to be done within the current footprint of the existing property. The property should be built into the land as Number 7 was and not on top.

The size of the development will have a detrimental effect to the character of the local area.

Comments made by Mr Ian Sinclair of soccer sensations teesside ltd, 4 Grant Close, Osmotherley, North Yorkshire, DL6 3BD

Preferred Method of Contact is Email

Comment Type is Comment

**From:**  
**To:** [Planning](#)  
**Subject:** Ref Application NYM/2020/0268/FL  
**Date:** 11 May 2020 21:58:18

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To whom it may concern

We are writing to express our concerns with regards to the proposed development at 1 Grant Close, Osmotherley.

The proposed development appears to completely encompass a large majority of the site, encroaching on the existing light and views of surrounding properties. It also appears to dwarf the existing property and would prove to be a vast, overpowering addition to the village from various vantage points.

In addition to this, access to the site will be difficult and disruptive to those in close vicinity as the road is not suitable for heavy machinery.

Andrew & Vicki Morton  
Anvil House  
31a North End  
Osmotherley

**From:**  
**To:** [Planning](#)  
**Subject:** Planning proposal, Hannah"s Garth, Grant Close, Osmotherley  
**Date:** 07 May 2020 17:10:13

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Dear Ms Saunders

We would like to make an objection to application NYNPA 16/04/2020

Our main concerns are:

- the scale of the proposal which appears to be considerably larger than the present building and very disproportionate to existing buildings in the Grant Close / North End area.
- the character of the windows shown in drawings on page 5 & 6 of document 1, 2020-04-24 public plans pdf. They do not match styles found in Osmotherley.
- the possibility of large volumes of rainwater running off the property and causing flooding elsewhere.

Yours sincerely,  
Janet and Trevor Mitchell,  
29 North End, Osmotherley, DL6 3BA

It's akin to some houses built recently on Clack Bank, and as such it is out of place in Grant Close.

Trevor and Janet



Virus-free. [www.avg.com](http://www.avg.com)

Dear Sir,  
I am writing to you regarding the application for the removal of the existing fence and the installation of a new fence. I am writing to you regarding the application for the removal of the existing fence and the installation of a new fence. I am writing to you regarding the application for the removal of the existing fence and the installation of a new fence.

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Photo by [unreadable]

***Hugh Thompson***  
***75 South End, Osmotherley, Northallerton, N. Yorks, DL6 3BP***

Fao Ms H Saunders  
NYMNP Headquarters

5 May 2020

**Dear Ms Saunders**

**Application NYNPA16/04/2020 – comments/objection**

**Project: Proposed Detached Two Storey Dwelling at Hannah's Garth, 1 Grant Close, Osmotherley, NORTHALLERTON, North Yorkshire. DL6 3BD. Date: April 2020**

Further to my earlier email objecting to this application.

Using the recently provided dimensions, and scaling from the plans, I have prepared a rather crude [but I believe adequate] graphic [see below] illustrating the concern that the proposed building would dominate the terrace of 3 cottages to the North of the site. I hope it is self-explanatory; on the left are the 3 cottages; on the right is the present house in its current location [17.6 m away from the lane/public footpath]; in the middle is the proposed house. [4.1 m away] The heights and the 17.6 m dimension I have had to scale.

Given that the proposed house occupies a large site with adequate space for a design that avoids the problem, [even for a house of the huge plan area proposed] it seems grossly unreasonable to propose this design.

I must emphasise that I've prepared this graphic in good faith, to the best of my abilities using the limited data available; I apologise if it is in error to any significant degree.. Almost certainly it will have inaccuracies, but I believe the overall thrust of my criticism is accurate. Should the developer believe it is significantly inaccurate or misleading, they will have the means to provide a corrected version.

For this, and other reasons, the application should be rejected.  
[see graphic below].

On a separate issue, can I point out that the elevations of the current house is to a 1:50 scale, whilst those of the proposed house are to a 1:100 scale; this can give a misleading impression of the relevant sizes of current and proposed houses.

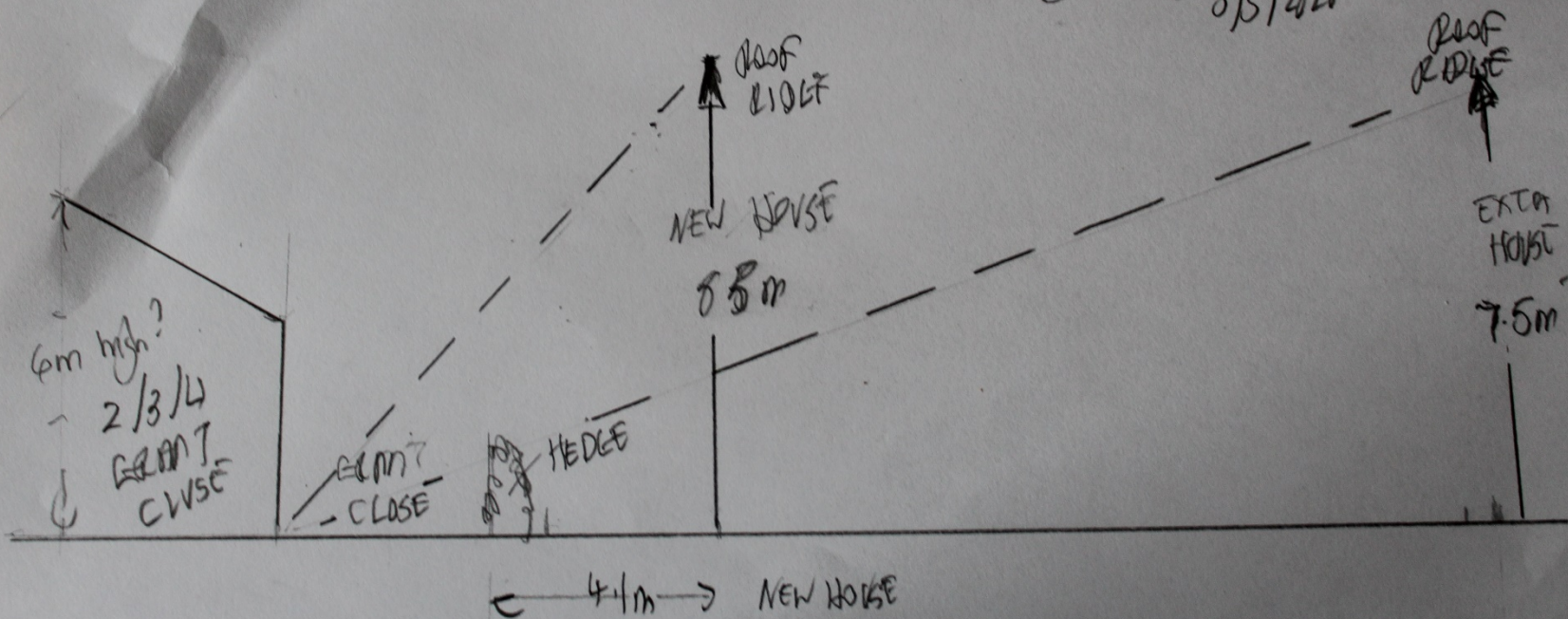


PROPOSED DEVELOPMENT | GRANT CLOSE, OSWATHAM

IMPACT ON LOT 213/4 GRANT CLOSE

(MOST DIMENSIONS SCALED OFF PLAN)

Hyd Clarke  
5/5/2020





**Hugh and Veda Thompson**  
**75 South End, Osmotherley, Northallerton, N. Yorks, DL6 3BP**

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Fao Ms H Saunders  
NYMNP Headquarters

4 May 2020

**Dear Ms Saunders**

**Application NYNPA16/04/2020 – comments/objection**

**Project: Proposed Detached Two Storey Dwelling at Hannah's Garth, 1 Grant Close, Osmotherley, NORTHALLERTON, North Yorkshire. DL6 3BD. Date: April 2020**

1. We wish to object to this planning application.
2. We have no objection on architectural grounds to the site being re-developed. However, we believe that instead of demolishing the current, sound and usable house, it should be refurbished. The carbon footprint of demolition/rebuild will be massively higher than refurbish.

3. Our material objections are:

3.1	Size	This proposal is for what is clearly a very large house, apparently approx. 460 sq m / 5000 sq ft. For the village, a floor area of 2000 sq ft would be considered "a big house", and the proposal would probably be larger than any in the village. The mass of the house will dominate the cottages immediately to the north.
3.2	Height and position on plot	The proposed house is much higher than the existing house [the application does not define the heights, but it would appear to be about 1m higher]. Furthermore, whilst the old house was approx. 22m from the lane in front of cottages, the new house would be much closer, approx. 4 m. It will tower over the cottages
3.3	Character of West end of Grant Close	The west end of grant Close is a quiet country cul-de-sac. This mansion will change the character of the close.
3.4	Impact on adjacent public footpath	The house will tower over the public footpath, and change the character of the path.

4 We believe the application should be rejected. However, should the application be approved, the following changes/conditions should be applied.

4.1	Conditions should be imposed to ensure that the building is built to the plans approved by the authority. A height datum point should be constructed, to remain until completion. Roof ridge heights should be defined, and the heights of floor levels [to identify early if construction has drifted from the agreed plans.
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	Main wall-to-wall dimensions should be defined. Distances house to each boundary should be defined.
4.2	The size and height of the house should be reduced.
4.3	The house should be set to the south side of the plot, at the same distance from Grant Close as the present house.
4.4	It should “nestle” into the ground [as is typical for the old stone houses in the village], rather than built up above the ground.
4.5	The width of the elements of the building should be reduced, to bring down the height of the ridges.

Thank you

Hugh Thompson

**Hugh Veda Thompson**  
**75 South End, Osmotherley, Northallerton, N. Yorks, DL6 3BP**

To: North York Moors Planning Authority, fao relevant officer [by email]

28 April 2020

**Request that this application be withdrawn as not “duly made”**

Re: Application NYM/2020/0268/FL – Hannah's Garth, 1 Grant Close, Osmotherley  
Project: Proposed Detached Two Storey Dwelling at Hannah's Garth, 1 Grant Close,  
Osmotherley, NORTHALLERTON, North Yorkshire. DL6 3BD. Date: April 2020

I understand the purpose of public consultation is to allow public consideration and comment..

This proposal is for what is clearly a very large house, possibly larger than any in the village. As such, concerns are likely to be raised on its size. Despite this, absolutely no dimensions, final or indicative, are given. The only reference is to the size of paper used for the plans, and the scales used; and the plans include the usual “do not scale” comment.

It is difficult therefore for any sensible public consideration to take place.

**I ask that the plans be withdrawn, as there is incomplete data to allow proper consideration. It should be replaced by ones with key dimensions, all of which will already exist in the designer's file [or should do]. These to include:**

**Heights:**

- 1 definition of a fixed height datum point [to remain]**
- 2 measurement of existing ground heights [east, south, north, west] at proposed house walls, referred to datum**
- 3 measurement of existing ground heights [east, south, north, west] at plot boundaries, referred to datum**
- 4 roof heights above datum**
- 5 heights of floor levels above datum**
- 6 height of existing house, referred to datum**

**size**

- 7 main wall-to-wall dimensions**

**position on site**

- 8 distances house to each boundary**

Please acknowledge receipt and indicate a response date and the Officer responsible.  
Please phone if you wish to discuss any of this.

Thank you

Hugh Thompson

**From:**  
**To:** [Planning](#)  
**Subject:** Comments on NYM/2020/0268/FL - Case Officer Mrs H Saunders - Received from Dr Laura Wilson at 5 Grant close, Osmotherley, DL63BD  
**Date:** 01 May 2020 21:59:31

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The proposed replacement house looks a lot larger than the existing house . It is likely to reduce light and views to existing dwellings on Grant Close , particularly numbers 2,3 ,4.

Grant close is a narrow rough track , unsuitable for large heavy machinery required for proposed extensive work.

Comments made by Dr Laura Wilson of 5 Grant close, Osmotherley, DL63BD

Preferred Method of Contact is Email

Comment Type is Comment