

NYMNPA

07/09/2020

From:
Sent: 07 September 2020 12:42
To: Ailsa Teasdale
Cc: Planning; Chris France
Subject: Land at Ainthorpe Yard, Ainthorpe - NYM/2020/0054/FL

Dear Ailsa –

We are pleased to present the final plans for your consideration in connection with the above application which has been fully re-designed at the request of Officers and Members. The plans are supported by a short updated DAS which is also appended to this email.

We are hopeful that the application is now able to be considered favourable by yourselves and due to the level of engagement had with Officers of recent we would query whether in fact the application is able to be determined under special delegated powers with immediate effect (following a short consultation exercise). To save time and a significant amount of resources if we can ask that the application be simply reported to Members at the October meeting as being approved given that Members have delegated the application back to Officers to secure and approve the new design which has now been achieved.

We look forward to your feedback in due course.

Kind regards

Cheryl Ward

Cheryl Ward Planning
MSc MRTPI



Planning and Design Statement Update

Background

This statement provides supporting details of revised plans in respect of the above application. The application, submitted in January this year for a single local occupancy dwelling with attached garage, has been considered by the NPA planning committee on two occasions, the second following a site visit by members. At the second meeting in July, members accepted the applicants' local needs justification and also considered that the site was a suitable one for a dwelling within the main body of Ainthorpe, subject to satisfactory design. The committee, however, had concerns regarding the design as proposed, which showed a traditionally-styled, two-storey house with a new access off Easton Lane. Consequently, it was agreed that a decision on the application should be deferred to allow officers to negotiate a revised design with the applicants.

Discussions have now taken place, including an officer site meeting and further written feedback, and the present revised plans flow from these. These amendments should be considered alongside the justifying circumstances for a dwelling on the site, which have been comprehensively set out in the supporting material already submitted.

Design and access

The dwelling would occupy a broadly similar position as that originally proposed but with a slightly revised footprint. The scheme would provide a four-bedroomed, one-and-a half storey family home with first floor accommodation within the roofspace. The main element would be parallel with Easton Lane, presenting a linear, coursed stone-fronted and clay-pantiled roof structure with stone watertabling. This would be reflective of local traditional agricultural outbuildings, presenting a solid façade with minimal openings and vernacular design elements. The gables would be similarly stone clad. Ground floor doors and windows would have hinged wooden 'stable' doors capable of closing off these apertures when not in use, augmenting its agricultural feel.

A rear leg of the dwelling would be clad in high quality profiled composite sheeting under a similar roof. This would link to the main section of the house below ridge height to create a subservient element to the main structure. The external walling material would be dark coloured to emphasise its visually recessive appearance. This rear section would have an unashamedly contemporary, modern feel, with larger amounts of glazing to benefit from its southerly aspect and which at ground floor level would provide natural light to the open plan living/ kitchen area. The southerly elevation, facing onto rising agricultural land attached to the application site, would not be visible from public vantage points.

The location of the dwelling has been chosen to respect the building line established by the existing bungalow, No. 8 Easton Lane, to the east and the residentially-converted outbuildings at Ainthorpe Court to the west, whilst minimising the amount of levelling ground works necessary in respect of the sloping site.

Unlike the original scheme, which would have been served by a new vehicular access from Easton Lane, the proposal would be accessed via the existing farmyard to the east, which is within the application site. Therefore, no new access and associated ground works would be required to the front of the property. This will assist in maintaining the setting of the dwelling, which would be enhanced by the planting of orchard trees to its eastern side. An existing field gate fronting Easton Lane would be removed and the stone wall along the roadside extended. Stone walling would provide screening for the associated parking area for vehicles adjacent to the property.

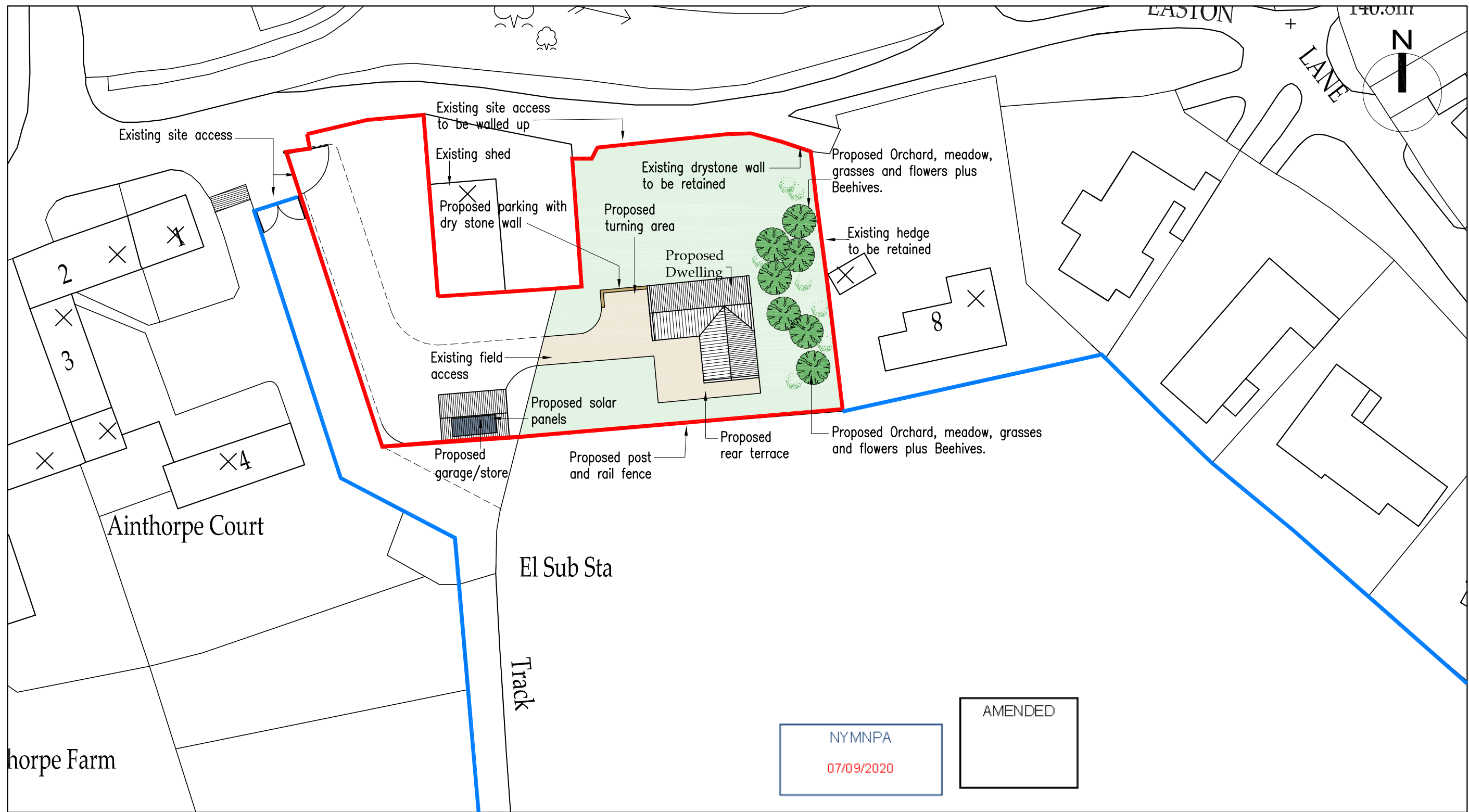
The positioning of the dwelling would require the removal of a currently unsightly electricity pole and the undergrounding of present cables, thereby providing an element of visual gain.

A freestanding double garage is proposed within the part of the existing farmyard which has been used latterly for open agricultural storage. The garage would be a simple pitched pantiled roof structure. It would be partially screened from Easton Lane by the large existing metal clad barn to the front (which is not within the application site). Nevertheless, it is proposed that the garage would be stone-fronted with two separate arched doorways, reflective of traditional stone outbuildings and sympathetic to both the proposed dwelling and the neighbouring buildings to the west. The less publicly-visible side and rear elevations would be clad in dark coloured profiled composite sheeting.

As with the original proposal, the dwelling would include sustainable energy provision from renewable resources. Solar panels would be affixed to the south-facing roof slope of the separate garage and would not be visible from public vantage points. An air source heat pump would be incorporated to provide for heating needs, and high levels of thermal insulation would be provided to meet strict Building Regulation requirements.

Policy

By reason of the dwelling's modified design and changed access arrangements, together with the acceptance of an established local needs justification and that this is a suitable small site within the built-up part of the settlement, the proposal would be compliant with Policy CO8 of the recently adopted Local Plan. It would respect the form and character of Ainthorpe and would be well related to the form and grain of surrounding residential development. Similarly, it would be compliant with Strategic Policy C of the Local Plan: it incorporates good quality construction materials and design details reflective of the local vernacular; its siting, orientation and layout respect the form of the settlement and would still allow glimpsed distant views from Easton Lane across the site; its scale, height, massing and form would be compatible with surrounding buildings; it would not have an adverse impact on the amenity of adjoining occupiers; and the scheme incorporates sustainable design and construction techniques including energy use from renewable sources. It would therefore be wholly policy-compliant.



NYMNPA
07/09/2020

AMENDED

Block Plan
Scale 1:500

Ordnance Survey Licence No. 10002562

b h d partnership

- DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
- The Contractor must verify all dimensions on site before commencing any work or shop drawings.
- The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
- Work within The Construction (Design and Management) Regulations 2015 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

REV	DATE	BY	AMENDMENT	CHKD	APVD
F	20/08/20	CE	Issued for approval	TRH	
E	28.02.20	MK	New access to site	TH	TH
D	27.01.20	MK	Title block revised	TH	TH
C	20.01.20	GC	Minor ammendments		
H	04.09.20	MK	Solar panels revised		TH
G	21/08/20	CE	Amended to suit client	TH	

CLIENT:
Mr. R. and Mrs. E. Asquith

PROJECT:
Land at Easton Lane, Danby

SCALE: As shown @ A3 | ISSUE: Preliminary

DRAWING TITLE:
Proposed Block Plan

DRAWING NR:
D11655-04

REV:
H

Do not scale from this drawing, only figured dimensions are to be taken from this drawing.
 The contractor must verify all dimensions on site before commencing any work or shop drawings.
 The contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the technician is to be informed before work is initiated.
 Work within the construction (design and management) regulations 2015 is not to start until a health & safety plan has been produced. This drawing is copyright and must not be reproduced without consent of BHD Partnership Ltd.
CDM Regulations
 Contractor must not start without 'Pre Construction Information' from Principle Designer. If unsure contact BHD.
 Contractor must agree the 'Principle Contractor' roll with the client prior to commencement of the works.
 Ensure if required under CDM2015 regulations that the project is notified to the HSE.

NYMNP
 07/09/2020

AMENDED

A	30.08.20	MK	First Issue
REV	DATE	BY	AMENDMENT



CLIENT: Mr R. and Mrs. E. Asquith

PROJECT: Land at Easton Lane, Danby.

Drawing: Proposed Floor Plans

DRAWING STATUS: Preliminary

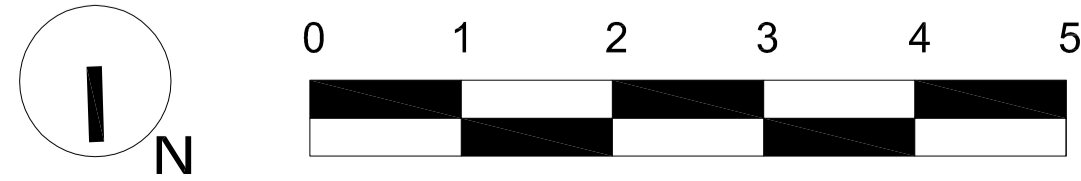
DRAWN: M.Kay
 CHECKED: T.R.Harrison

SCALE @ SIZE: 1:50 @ A1
 DATE: 30.08.2020

DRAWING No: D11655-17
 REV: A

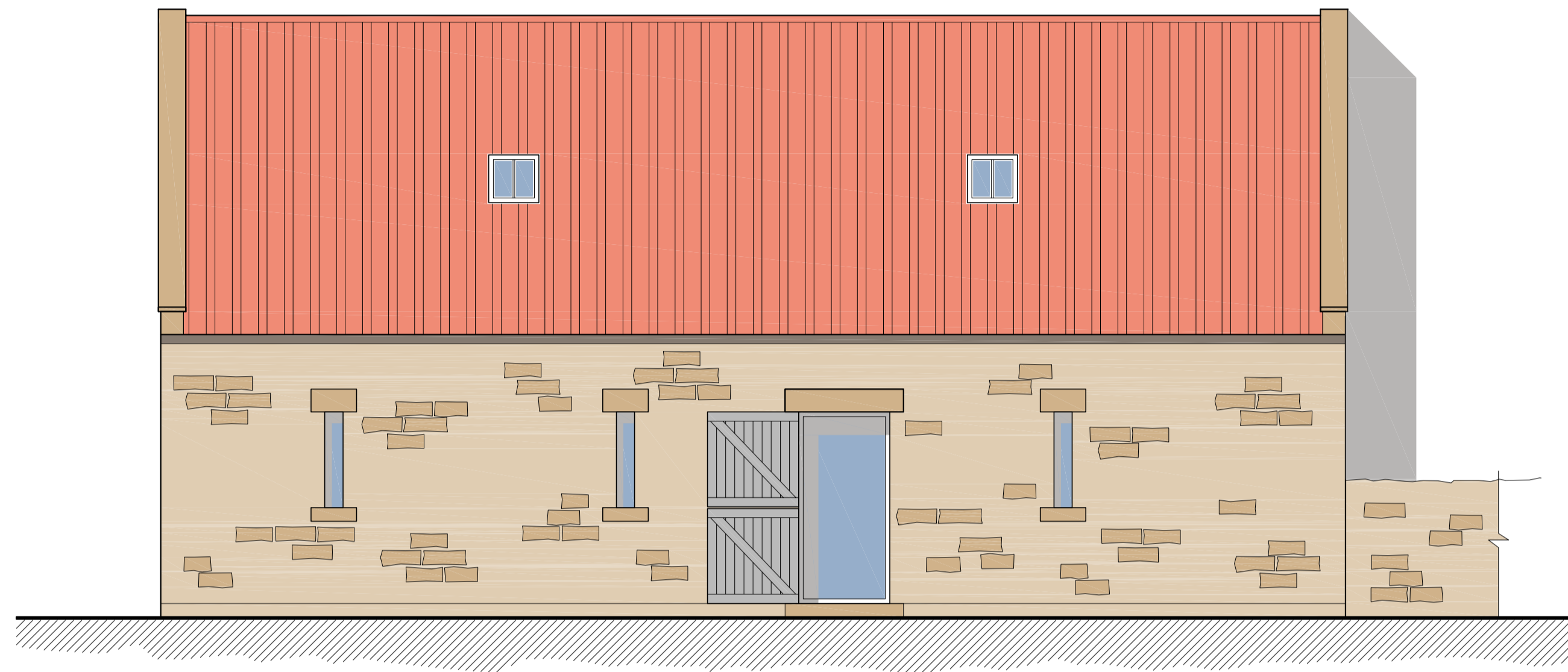


Ground Floor Plan
 Scale 1:100

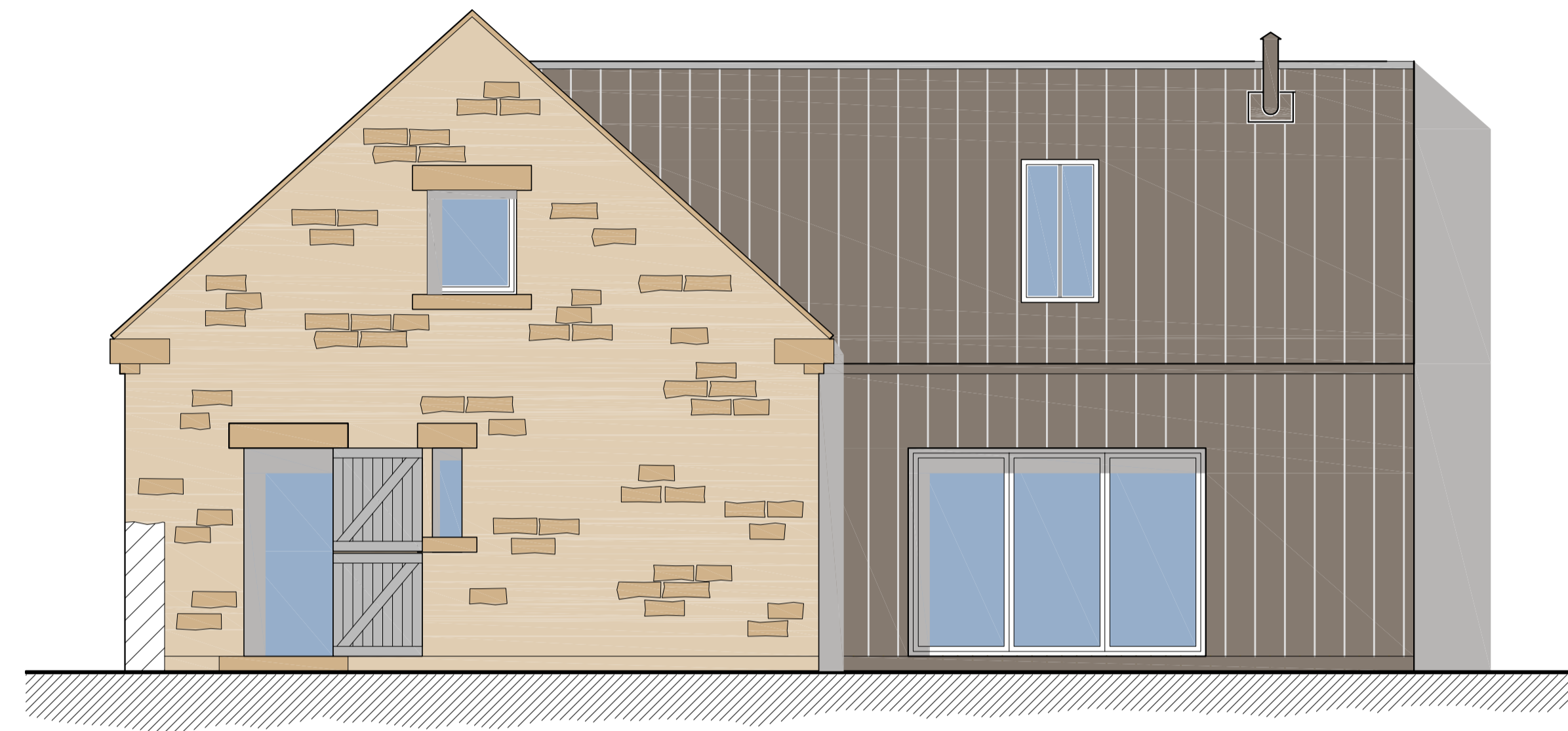


First Floor Plan
 Scale 1:100

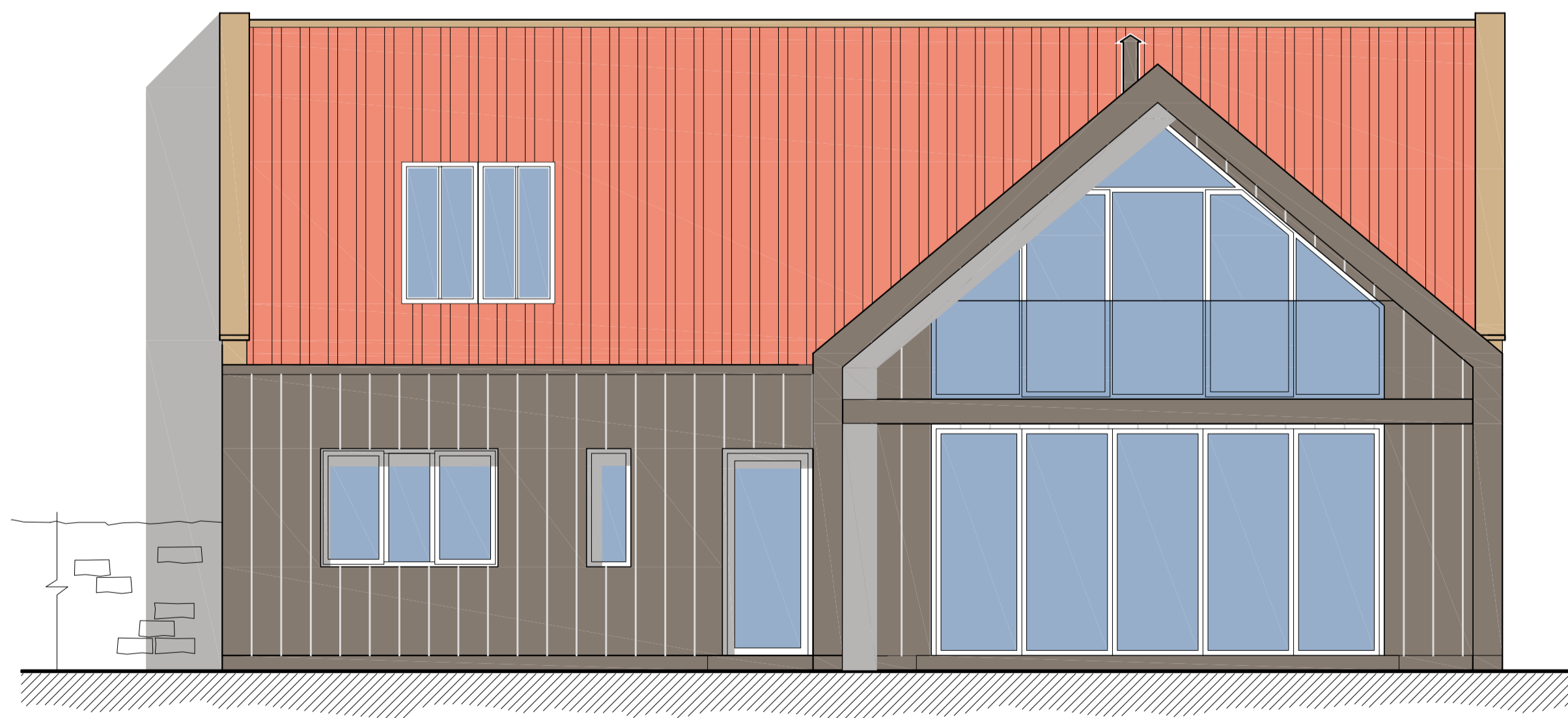
Do not scale from this drawing, only figured dimensions are to be taken from this drawing.
 The contractor must verify all dimensions on site before commencing any work or shop drawings.
 The contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the technician is to be informed before work is initiated.
 Work within the construction (design and management) regulations 2015 is not to start until a health & safety plan has been produced. This drawing is copyright and must not be reproduced without consent of BHD Partnership Ltd.
CDM Regulations
 Contractor must not start without 'Pre Construction Information' from Principle Designer. If unsure contact BHD.
 Contractor must agree the 'Principle Contractor' roll with the client prior to commencement of the works.
 Ensure if required under CDM2015 regulations that the project is notified to the HSE.



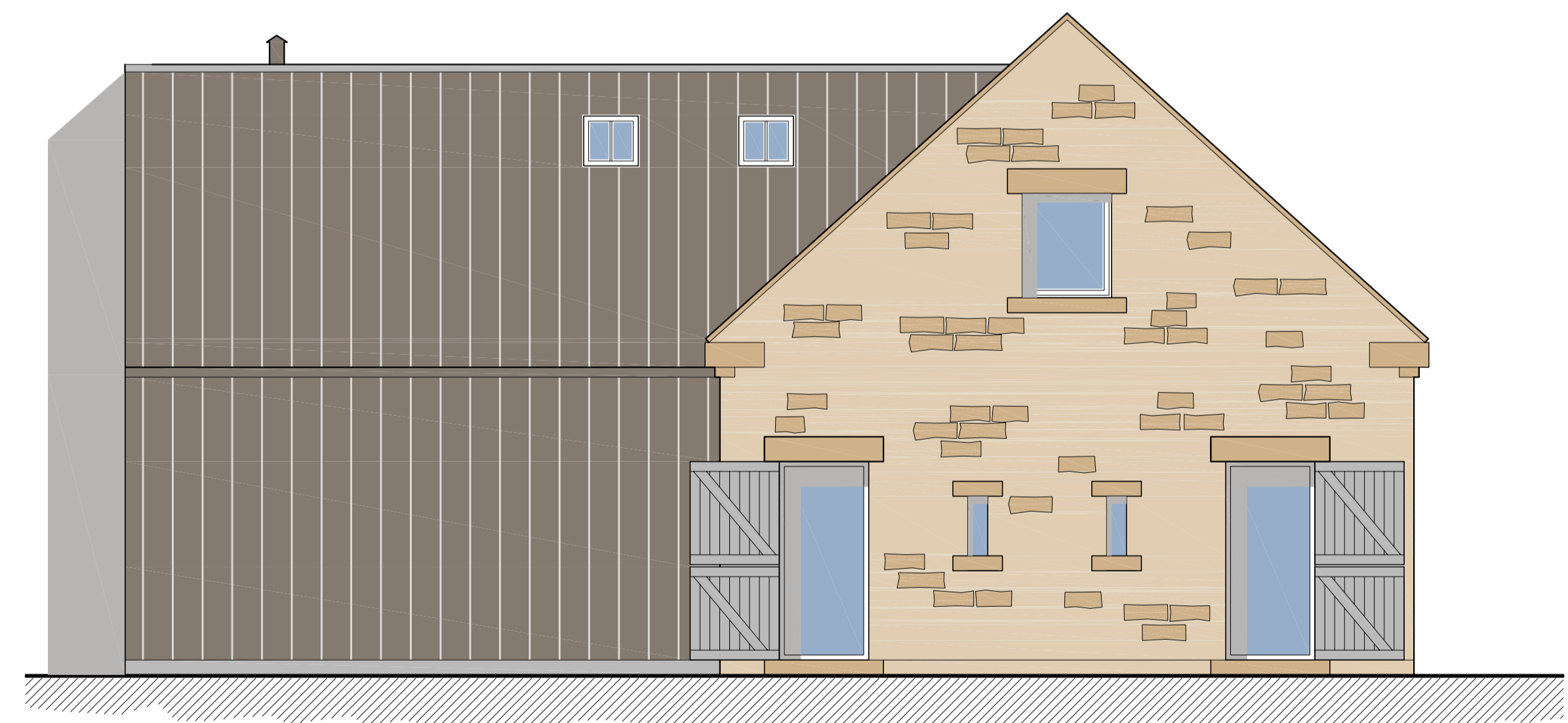
Front Elevation North
 Scale 1:50



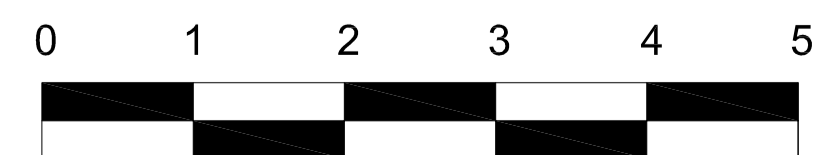
Side Elevation West
 Scale 1:50



Rear Elevation South
 Scale 1:50



Side Elevation East
 Scale 1:50



NYMNPA
 07/09/2020

AMENDED

A	30.08.20	MK	First Issue
REV	DATE	BY	AMENDMENT



CLIENT: Mr R. and Mrs. E. Asquith

PROJECT: Land at Easton Lane, Danby.

Drawing: Proposed Elevations

DRAWING STATUS: Preliminary

DRAWN: M.Kay	CHECKED: T.R.Harrison
--------------	-----------------------

SCALE @ SIZE: 1:50 @ A1	DATE: 30.08.2020
-------------------------	------------------

DRAWING No: D11655-18	REV: A
-----------------------	--------