



Fig.1: Google Maps Image of The Pond House, Aislaby

**Design and Access Statement
Incorporating
Heritage Statement**
relating to:

The Pond House, Aislaby, Whitby, YO21 1SW

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1.0 Introduction

- 1.1 Rogerson Limited has been appointed to submit a planning and listed building application in relation to the area outlined in red on the attached location plan at The Pond House, Aislaby, Whitby, YO21 1SW.
- 1.2 The application site falls within the Aislaby Conservation Area and the property is a Grade II* listed building, while the stone bridge and pond to the front of the property are Grade II Listed in their own right. As such Listed building consent is sought under the Planning (Listed Buildings and Conservation Areas) Act 1990 and this application is a combined application seeking both planning and listed building consent. There is also a requirement to submit a heritage assessment and flood risk assessment (FRA).



Fig.2: The Pond House viewed from the south

- 1.3 This statement and assessment in this case provides an explanation how the proposed development is a suitable response to the site and its setting and describes the likely impacts of the proposal on the significance of the identified heritage asset.
- 1.4 The proposal seeks consent to:
- minor internal alterations
 - partial demolition of subsequent extensions and outbuildings to the rear of the property erection of a new, single storey extension
 - a replacement garden store to the rear of the garden
 - fell one tree to the front garden
 - carry out repairs to the stone bridge over the pond

Minimal intervention is proposed to the host dwelling; moreover a number of improvements are proposed as part of the development works.

2.0 Purpose of Statement

- 2.1 The statement is to be read and fully considered as a supporting document in conjunction with the accompanying combined applications. Its aim is to assist those assessing the application to understand the rationale behind the proposal. In summary, it provides a structured way of describing the development proposals
- 2.2 With the application there is also a requirement to submit a Heritage Statement where a statutory designated heritage asset is affected. In this case, the application site falls within the Aislaby Conservation Area and the property known as The Pond House is a Grade II* listed building, while the stone bridge and pond to the front of the property are Grade II Listed in their own right. The Conservation Area and listed buildings are the 'heritage assets' and have therefore been assessed. The Statement is incorporated within the report.
- 2.3 This Statement is jointly prepared with Cheryl Ward Planning, who holds an MSc in Town Planning and is a Chartered Member of the Royal Town Planning Institute (RTPI) and associated ICN and PERN networks

3.0 Planning History

A check of the North York Moors National Park's online planning explorer has revealed the site has a lengthy planning history and/or listed building consents associated with the property and curtilage/listed features associated with Pond House, Aislaby. As such only the most relevant site history is set out below with the remaining history captured in the table below:

NYM4/036/0033/PA – Listed building consent to renew main roof and insertion of 2 roof lights to rear at Pond House, Aislaby – Approve.

Planning Application Search Results				
Records 1 to 7 of 7				
Application Number contains 40360033				
Application Number	Site Address	Development Description	Status	Decision
40360033	POND HOUSE, AISLABY, WHITBY	LISTED BUILDING CONSENT - RENEW MAIN ROOF AND INSERTION OF 2 ROOF LIGHTS TO REAR	FINAL DECISION	Approved with Conditions
40360033E	Pond House, Aislaby	listed building consent for retention of iron railings around pond	FINAL DECISION	Refused
40360033B	Pond House, Aislaby	listed building consent for re-alignment of existing drive and garden walls	FINAL DECISION	Approved with Conditions
40360033A	Pond House, Aislaby	re-alignment of existing drive and garden walls	FINAL DECISION	Refused
40360033D	Pond House, Aislaby	listed building consent for alterations to existing access, drive and adjacent garden area	APPEAL DECIDED	Refused
40360033C	Pond House, Aislaby	alterations to existing access, drive and adjacent garden area	APPEAL DECIDED	Refused
40360033F	Pond House, Aislaby	listed building consent for replacement of iron railings around pond	FINAL DECISION	Approved with Conditions

Table 1. Full site planning history.

4.0 Pre-Application Advice

4.1 The applicants sought pre-application advice from the NYM National Park Authority, seeking the Officer's informal views on the proposal.

4.2 In a response dated 22nd August 2019, Clair Shields advised:

“As the property remains relatively unaltered internally, it is considered that the best option to create a larger kitchen would be through a sympathetic extension to the rear of building, rather than internal remodelling, possibly through the demolition of the garage building and rebuilding with something more sympathetic. Certainly, the garage appears to be a more modern addition however the rear entrance porch and the utility area are likely to be original to the building, or built soon after, and therefore elements of these structures may need retaining.”

In terms of parameters, there is historic evidence of a linear structure running along this rear elevation and therefore it is likely that we could support something of a similar size, possibly encompassing the drawing room window which could be replaced with patio doors given the evidence of its remodeling/alteration. Also, in terms of design we do think that a clean modern structure would help to maintain the distinction between the historic property and any new kitchen/dining area (providing the original wall of the property is left exposed).”

You also mention creating an internal door from the drawing room to provide internal access to the side storage room (formerly the stable). However, I feel that this would be harmful to the form and layout of the building and also the formal character of the room itself and is therefore unlikely to be supported. Given that we would have no objections to the replacement of the rear window with patio doors, it is hoped that this would provide a more usable use of the building so that the drawing room and end storage room could be maintained in their current form.”

4.3 The advice of officers has been taken on board in the proposals now submitted, specifically:

- The existing rear porch and utility room have been retained and incorporated in to the proposed plan, while the garage, greenhouse and outbuilding have been removed.
- A new kitchen / family room is proposed, located as an “infill” between the retained porch and utility to the east and the existing boundary wall (currently the back wall to the outbuilding) to the west.
- A new utility room will occupy the footprint of the existing outbuilding on the western boundary.
- The living room has remained unaltered, save for the removal of the incongruous rear window, which is enlarged to the floor level to provide a pair of traditionally detailed bifold doors out in to the proposed extension.
- The roof structure of the proposed extension will be minimal in construction, with a linear, patent glazed rooflight abutting the north wall of the host house, allowing clear views of the existing rear wall from within. Internally, the existing rear wall would remain fairfaced stone.
- The existing games room to the west (former stables) will become a snug, accessed via the infill extension and retaining its existing form and roof.

5.0 Site and Context

5.1 The application site falls within the village of Aislaby.

5.2 Aislaby lies within in the north east of the North York Moors in the parish of Aislaby and approximately 3 miles west of the seaside town of Whitby. It is a characterful settlement severed into two parts to the east and west. The village sits partway up the northern slope of the Esk Valley, with far reaching vies across towards Sleights and Grosmont. The local landscape is farmland predominantly grass for cropping and grazing of livestock (mainly sheep).

5.3 Aislaby is within easy reach of the rural road network through the north of the Moors and to the A171, running from Whitby to Guisborough. A series of public footpaths and bridleways can be found north of the site, with the closest footpath approximately 100m to the east. The east coast is within easy reach as are the open moors to the south.

5.4 The Pond House lies in the centre of the eastern limb of the village, on the north side of Aislaby Lane, and is well set back from the general settlement pattern of the village (see Fig. 1 and “Schedule of Photographs” document, Photo 1). The house occupies an elevated position and is a very prominent and grandiose house, highlighted by the formal gate posts and Grade II Listed stone footbridge across the pond (Photos 2, 3 & 4). The house is bordered to the east by a three storey, terrace of stone houses and the Forge Inn, and to the west by a terrace of mostly white washed, two storey stone cottages. The house shares an access driveway with a cluster of smaller stone properties that lie behind the road fronting terrace and Inn (Photo 5).

5.5 It is a detached, three storey property, with formal ashlar detailing to the front elevation, which is dominated by the main, host dwelling with front parapet, central pediment and oculus, molded bands and pilasters, five tall vertical sliding sash windows and water tabled gables to east and west. To either side of the central body of the house, single storey wings project east and west with parapet fronts, concealing mono-pitched slate roofs behind.

5.6 To the front of the house there is a stream fed, formal pond, crossed by a stone foot bridge with single arch and wavy parapets (Photo 4). Historically a pair of stone gate posts separated the bridge from the front garden of the house, though these have now been relocated to the front of the bridge, bordering the highway (see Figure 3 & Photo 3).

5.7 The house is dated 18th Century, while the pond and bridge are early 19th Century.

5.8 All in all, it is an outstanding and attractive property, with many of its original external and internal features preserved and well maintained. The property has a significant “group” contribution to the quality and setting of the Conservation Area.



Fig. 3: Historic photograph of the The Pond House (note original gate post position)

6.0 Heritage Assessment

6.1 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that when considering applications for planning permission special regard should be had to the desirability of preserving the Listed Building or its setting or any features of special architectural or historic interest which it possesses. Section 72 of this Act states that local planning authorities have a duty to pay special attention to the desirability of preserving or enhancing the character and appearance of Conservation Areas.

6.2 Paragraph 189 of the NPPF states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.

6.3 NPPF 192 states in determining planning applications, Local Planning Authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation, the positive contribution that conservation of heritage assets can make to sustainable communities, and the desirability of new development making a positive contribution to local character and distinctiveness.

6.4 NPPF 193 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be.

6.5 NPPF 196 states that where a development proposal will lead to less than substantial harm to the significance of designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

6.6 NPPF 200 states that local planning authorities should look for opportunities for new development within Conservation Areas and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

6.7 The NYM Local Plan was adopted in July 2020 and within its Strategic Policy I deals with the Historic Environment is the most relevant to the application.

6.8 Emerging **Strategic Policy I (The Historic Environment)** confirms that all developments affecting the historic environment should make a positive contribution to the cultural heritage and local distinctiveness of the National Park through the conservation and, where appropriate, enhancement of the historic environment.

Development should conserve heritage assets and their setting in a manner appropriate to their significance, especially those assets which contribute most to the distinctive character of the area, including (amongst others):

- The vernacular building styles, materials and the form and layout of the historic built environment including Conservation Areas, Listed Buildings and regionally or locally important non-designated structures and buildings.

The supporting text to the policy confirms that proposals that would lead to substantial harm or total loss of significance of a designated heritage asset (or to an asset of equivalent significance) will be required to present clear and compelling justification for accepting any loss or harm, in line with the requirements of the National Planning Policy Framework as set out in Paragraph 195.

Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimal viable use (as described below).

Buildings are classified in grades to reflect their relative architectural and historic interest. Buildings of historic interest may justify a higher grading than would otherwise be appropriate.

As confirmed in more detail below, Pond Farm, Aislaby is Grade II* listed – deemed particularly important of more than special interest.

6.9 **Policy ENV11** (Historic Settlements and Built Heritage) includes reference to Conservation Areas and listed buildings specifically stating ‘whilst it is the quality and interest of an area as a whole which is recognised through designation, it is often the cumulative impact of small changes over time which erode the special qualities and significance of a place.

The character of a Conservation Area is not only formed by buildings and spaces, but also by the land uses. It is important that proposed changes of use 'identify opportunities for enhancement as well as ensuring the special qualities and significance of a place is not harmed'.

It further advises that 'Listed Buildings are irreplaceable heritage assets which are recognised as being of special architectural or historic interest in the national context. They are identified on the National Heritage List for England held currently by the Department for Culture, Media and Sport.

Protection extends to the whole building, inside and outside, its curtilage and certain structures within its domain. The majority of works to Listed Buildings require listed building consent (in addition to any other consent required through planning legislation), including internal features and fittings, attachments and any decorative schemes of special significance'.

Heritage significance is discussed earlier in the Statement.

In summary, the proposal has been developed and is in alignment with prevailing policies **SPA, SPC, SPI, ENV11, CO17** of the NYM Local Plan.

The proposed scheme acknowledges that the retention of original features is always the preferred approach to conserving heritage assets. This scheme therefore also aligns with this concept in that:

- The extension allows transparency through the proposed extension so that the original back wall of the house remains visible and is arguably more visible than it is at present.
- The structure of the proposed extension has been considered to allow the roof to be cantilevered at the point of abutment to the existing house, avoiding any need for intrusion into the rear wall for support. Contact will be minimal and will involve only chasing of lead / zinc flashings into an existing stone bed course.
- Ensures the asset is appreciated with a lack of physical contact with the original rear wall of the Grade II* listed building.
- The zinc roof of the proposed garden room tucks underneath the eaves line of single storey element out of full respect for the host building.
- Albeit new, a cross passage is to be created along the back wall of the original house this allows wide ranging views from the rear lobby through the house to a retained window in the proposed utility room.
- Where possible stone is to be salvaged from the site and re-used in the proposed development.

The development therefore allows the experience of the asset to be preserved together with the promotion of an element of planning gain.

Listed Building

6.10 Pond House was first included in the Statutory List on 6th October 1969 as List Entry No. 1316048, with entry amended 10th December 1985 and given the following description:

*NZ 8508 AISLABY MAIN ROAD (north side) 16/15 No 34(Pond House) 6.10.69 (Formerly listed as Pond House) GV II**

House. C18. Ashlar with lakeland slate roof, coped gables and end brick stacks. Two storeys, 5 windows. Plain parapet has central pediment with oculus. Bands at first floor and eaves level, with two pilasters between. Sash windows with glazing bars. Open-pedimented central Doric doorcase with patterned fanlight. One-storey side wings of one bay with parapet fronts.

Listing NGR: NZ8597808736

6.11 The bridge was first included in the Statutory List on 6th October 1969 as List Entry No. 1148957, with entry amended 10th December 1985 and given the following description:

NZ 8608 AISLABY MAIN ROAD (north side) 17/17 Bridge to south of Pond House (formerly 6.10.69 listed as Bridge at Pond House)

GV II Bridge over small beck. Early C19. Stone. Single round arch and wavy parapets. Approached by stone causeway.

Listing NGR: NZ8600708702

6.12 The walls bounding the front garden were first included in the Statutory List on 6th October 1969 as List Entry No. 1148957, with entry amended 10th December 1985 and given the following description:

NZ 8508 and NZ 8608 16/6 & 17/16 6.10.69

AISLABY MAIN ROAD (north side) 16/6 & 17/16 Walls to south-east of Pond House (formerly listed as Gate Piers at Pond House)

GV II

Walls. C18. Stone walls with flat copings, along either side of front garden. Included largely for group value.

Listing NGR: NZ8599508729

6.13 The application site falls within Aislaby Conservation Area and designated Article 4 (2) Direction area which includes parts of the central and all of eastern portion of the village and properties within it (see Figure 4).

6.18 There has long been a settlement at Aislaby, which was referred to the Domesday Book as *Asuluesbi*, a name derived from Viking Norse, meaning “Aslacr’s or Asulf’s Farm”. Indeed, census data through the nineteenth century indicates the predominant occupation / industry to be agricultural, as well as limestone quarrying for many local buildings, including Whitby Abbey.

6.19 The asset’s physical surroundings include characterful open space, the connection with the River Esk, the vegetation, strong local vernacular, stone paving, wrought iron railings, stone walls and traditional boundaries, a number of which are Listed in their own right and all which contribute to its overall setting.

6.20 Taking a more in depth look at the village and the experience of the asset(s) it includes the views and vistas up and down Main Street, the prevalence of grand entrance gate piers and boundary walls, and the abundance of beautifully dressed stonework to almost all of the properties, ranging from the grandiose like Pond House, to the smallest of terraced houses like the adjoining 36 Main Road.

6.21 Despite of all these things and in consultation with HER records there are no recognised facts or items that can be found or associated specifically with regard to the application site or that would have a bearing on the application proposal and therefore it is down to one’s interpretation.

At best, it is acknowledged that Pond House, Aislaby is a significantly important building within Aislaby village. Although referenced within Chapter 3, Houses of the Professional Classes, Houses of the North York Moors written by the Royal Commission on the Historical Monuments of England, this is mostly concerned with the plan format. There is a character description in addition to Historic England’s list description set out above. It is not proposed to alter the original plan form rather this scheme proposes to enhance it and preserve it, by providing the desired open plan family living accommodation within the proposed extension.

Pond House, Aislaby is possibly one of those properties where the occupier has aspired to the life of the gentry and established themselves in the country. Such houses are mostly located in the east of the region and some were erected by men associated with the sea.

In summary, searches of the Historic Environment Records for North York Moors National Park (HER) and Heritage Gateway have been carried out.

The majority of information contained in this Statement is yielded from the historic plans and information found in the text quoted above.

6.22 The application is concerned with alterations to the rear of Pond House, involving the removal of subsequent additions in the house’s history, and erection of a new infill extension, set within the confines of existing built structures. There will be no visible change to the property when viewed from the front, or indeed elsewhere within the conservation area and therefore the Aislaby Conservation Area and other heritage assets are preserved without harm.

6.23 TABLE

An overall summary of national and local planning policies considered relevant to the case are summarised in the table below:

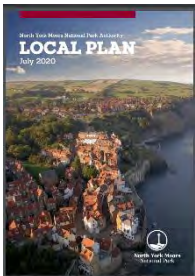
DOCUMENT	POLICIES AND DENOTATION
National Planning Policy	
National Planning Policy Framework (NPPF) (2019)	Paragraphs 2, 7, 8, 9, 10, 11, 38, 127, 130, 131, 170, 172, 185, 186, 187, 192, 193, 196,
National Planning Practice Guidance (2014)	Before submitting an application (2019). Consultation and pre-decision matters (2020). Design: process and tools (2019). Determining a planning application (2019). Making an application (2018) Historic environment (2019). Permission in principle (2019).
Local Development Plan in force	
NYM Local Plan (2020) 	Strategic Policy A – Achieving National Park Purposes and Sustainable Development. Strategic Policy C – Quality and Design of Development. Strategic Policy I – The Historic Environment. Policy ENV11 – Historic Settlements and Built Heritage.

Table 1. – Planning policy and guidance.

Significant Mapping



Fig.5: Aislaby 1849

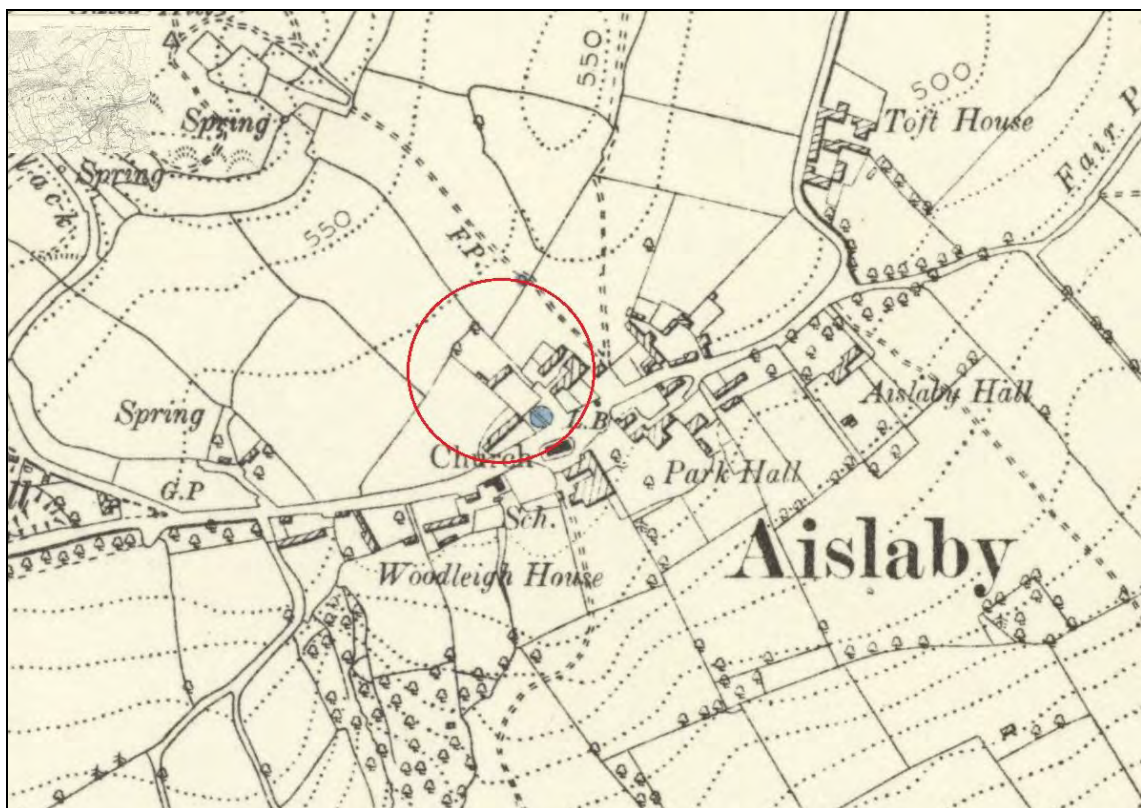


Fig.6: Aislaby 1892



Fig.7: Aislaby 1911

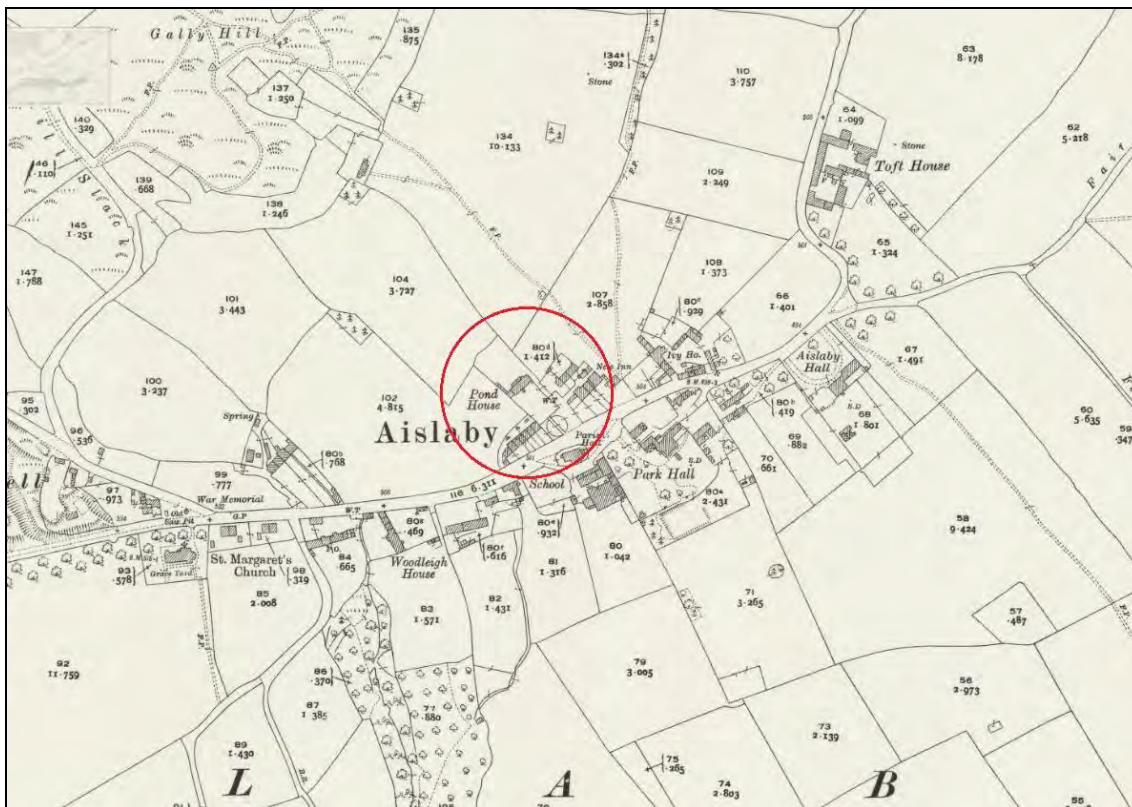


Fig.8: Aislaby 1927

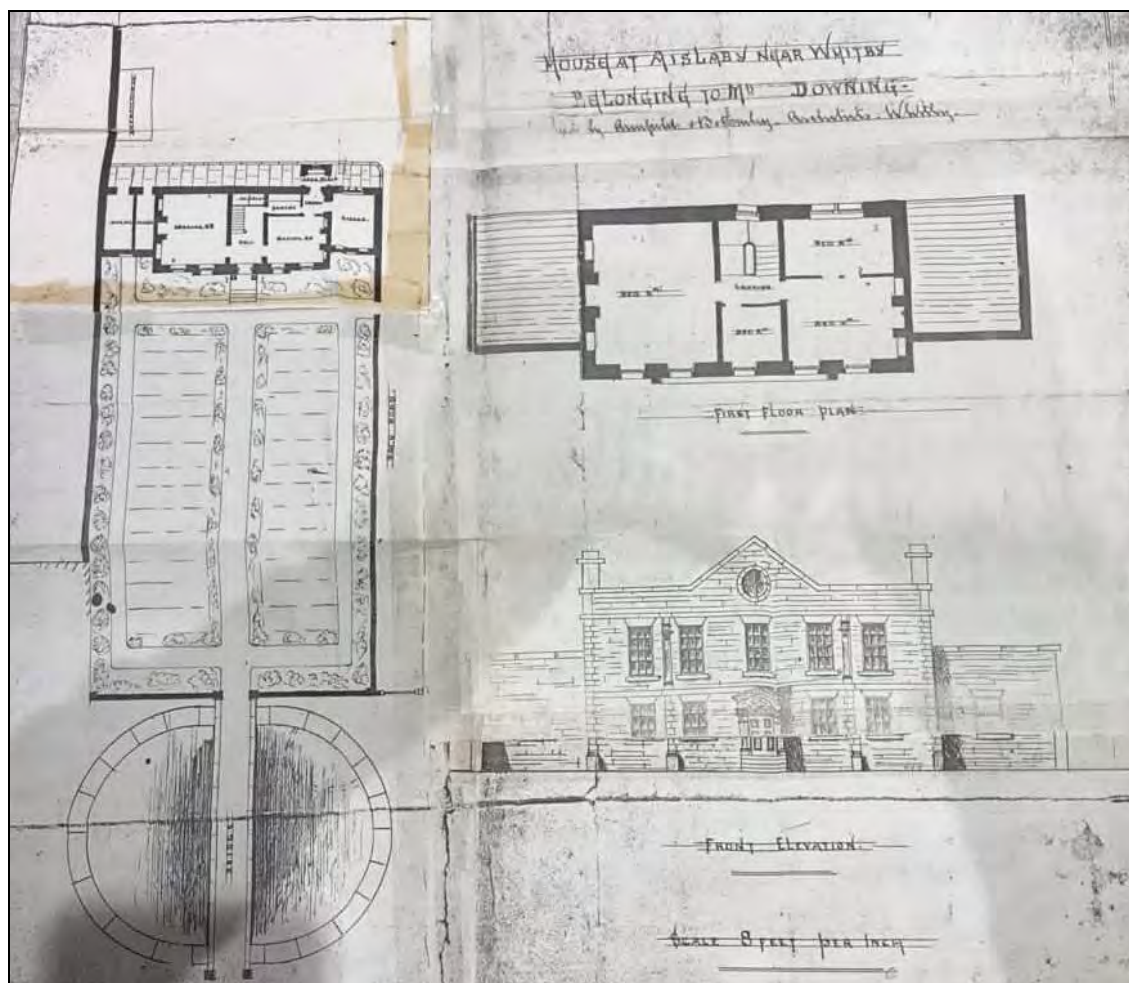


Fig.9: Historic drawing of floor plans, front elevation and garden of The Pond House (date unknown)

7.0 Flood Risk Assessment

7.1 Site-specific Flood Risk Assessments are required for any development located within Flood Zones 2 or 3 and for development larger than 1 hectare in size in Flood Zone 1.

7.2 The Application Site, at some 120m above sea level, is in Flood Zone 1, and the site area amounts to just 0.23ha; a Flood Risk Assessment is therefore not required.

8.0 The Proposal

The Applicants recently completed their purchase of this property with the intention of making it their family home. The elegance and well-preserved historic character of the house was the driving force behind their purchase. However, the house is not designed and laid out to accord with the recognised requirements of modern family living and so an extension is proposed, to allow provision of the accommodation sought, while allowing the main house to be retained largely in its present form.

The following sections explain in more detail the works proposed to each room and principle elements of the house and garden.

Ground Floor:

8.1 Rear entrance lobby (Photos 6, 7, 14 & 15)

Historic plans and drawings available indicate that the rear entrance lobby was in place at least as early as 1849, and likely formed part of the original host building on the site (see Figures 5 and 9). The orientation of the house and its embellishment is concentrated towards the front elevation, where detailed embellishment and grand sash windows floods the house with light and grandeur. The rear of the house, conversely, is very subservient and underplayed. Minimal windows exist now, and even less at the time the house was built. At ground floor the only penetration of the rear wall is the rear entrance via the porch.

In daily use, with driveway access to the back of the house, the rear entrance lobby has become the principle point of access (Photos 6 and 7).

The proposal allows for the retention of this historic portion of the house, and maintains this as the entrance. No alterations are proposed except for the reconfiguration of the lean to roof to allow a more homogenous roof form linked to the proposed extension, utilising the traditional material of zinc, with standing seam detailing, set to a low 3 degree pitch (Figures 10 to 15). This shallow pitch of roof would extend across the rear of the house, with minimal contact to the house itself and clearance of the existing fenestration, while also allowing a seamless continuity of the existing pitched slate roof to the western wing.

8.2 Utility (Photos 16 & 17)

While the utility room is not considered to be an original part of the house, it was clearly existent at the beginning of the last century and is constructed of well tooled and dressed stonework, which is still evident today even on its internal walls now found within the adjoining garage (Photo 19).

Its position and form within the context of the house help to provide sense and balance to the entrance porch, which must have appeared a “bolt on” when first built. Now, the utility steps away from the porch to provide the rear elevation a greater depth and relief.

The proposal seeks to retain this stepped plan form, with the utility retained and the stonework, currently painted over, cleaned back to its punched fair face. The footprint of the utility would be used to provide not only a link to the proposed extension, but also a ground floor WC and coat storage. Currently there is a WC shoe horned into the rear lobby of the house (see section 8.6 below). The wall dividing the current utility and garage will be once again become an external wall, with new window provided.

Beyond the proposed WC, the room would link into the extension, with linear view opened up across the full width of the house and through the new western window proposed in the relocated Utility beyond.

Currently, the room has two rooflights, each of differing constructions (Photo 62) and both incongruous to the house. It is proposed that these be removed and replaced with a single, patent glazed rooflight aligned with the internal window, to allow borrowed light into the inner hallway. The detail of the proposed rooflight will be continued through the glazed roof portion of the infill extension.

8.3 Integral Garage (Photos 7, 8, 9, 18 & 19)

While the garage provides a further step and relief to the rear elevation, the garage is a rather too brutal and utilitarian form for the house. Clearly the garage is a 20th Century addition to the house, and its integration via its internal link doorway has allowed it to be used for multiple purposes within the use and life of the house. However, its form and location, separated from the principle living space of the house make its onward use through conversion unsuitable. It is proposed that the garage be demolished, allowing the previous external wall of the adjoining utility room to be exposed and

8.4 Music Room (Photos 9, 20 & 21)

The Music Room occupies the single storey west wing and was once the stable block of the house. It is trapezoid in plan, with its western wall following the alignment of the skewed boundary. There is one tall sliding sash window to the front, a small casement window to the side and a set of sliding, aluminium framed patio doors to the north.

It is proposed that this room becomes a snug, accessed via the proposed extension and able to be closed off with a sliding pocket door.

The existing western casement window would be replaced with a new timber framed casement window, with structural glazing bars and fitted with slimline double glazed units from Heritage Glass UK, or similar.

The sloped ceiling would be retained in form, though the softwood timber cladding would be replaced with plasterboard and skim, allowing opportunity to improve the thermal value of the roof with the introduction of additional insulation. A new rooflight would be located in the roof to provide additional daylight.

8.5 Outbuilding (Photos 63 & 64)

This stone built room extends to the north-west corner of the house, following the skewed western boundary alignment. The room is used as a store and workshop, but is likely to have formed part of the stabling element of the house historically, perhaps as a tack room, though its exclusion from historic plans (see Figure 9) suggest it may have been a subsequent addition to the original house.

The proposal relocates the Utility Room to this location, accessed off the new kitchen and providing direct access to the rear garden. The room would be separated from the Kitchen by a sliding, pocket door, beyond which a new window is proposed to the western boundary wall, to provide a clear, linear view through the extension from the main rear entrance door and lobby.

Externally, this room will retain its fair faced stone walls, to identify it as a retained portion of the existing house, defined from the infill extension and its zinc clad walls.

8.6 Rear Corridor & WC (Photos 22 & 23)

The rear hall, separated laterally from the formal dining room to the front, is typical in its layout and form of houses of this period and serves to provide access across the back of the house without passing through the front room, thus allowing passage for servants.

It is likely that this rear hall once occupied the full width of the bay, although historically plans appear to show a sub-division of the hall to provide a lobby and a larder (Fig. 9).

More recently, the hall has been divided with a timber framed stud wall to provide a ground floor WC, into which a casement window has been installed.

The proposal is to reinstate this hallway to its original, open and unfettered form, while retaining the window opening, to provide borrowed light from the room behind.

8.7 Kitchen (Photos 7 & 24)

The kitchen currently occupies the eastern single storey wing, and comprises a modern kitchen installation wrapped around three sides of the room. The kitchen is detached from the living spaces of the house and thereby does not comfortably sit in the flow of family life.

It is proposed that the kitchen and family room space be combined into the new infill extension, which itself will be contemporary in style and therefore able to accommodate a modern styled, open plan kitchen space that can form the heart of family life, with access to the garden and to the original, traditional internal space of the Living Room.

This relocation would free up the eastern wing, which as a periphery space would serve well as a home study and workplace, to facilitate the Applicant's desire to provide a suitable "work from home" space.

To the rear of the kitchen, a replacement 15 pane, fixed window has been installed in recent years. The form and detail of this window is incongruous to the style and quality of the house. It is, however, considered that the window does fall within a historic window opening, which may previously have been divided into a three bay configuration; this would appear evident from the historic plans indicated in Figure 9. The proposal is to replace this window with a three bay vertical sliding sash, comprising a central four over four sash bordered by a pair of two over two sashes. The windows would be timber framed with traditional sash weights and ironmongery, and fitted with slimline double glazed units from Heritage Glass UK, or similar. The replacement of this window will remove an existing, harmful intervention and will provide a more appropriate detail and solution, reflecting the quality of the vertical sliding sash on the opposite wall, set within the front elevation of the house.

8.8 Dining Room (Photo 28)

Other than remedial works to windows, as noted in Section 8.20 below, and general decorative finishes, no works are proposed to the Dining Room.

8.9 Living Room (Photos 25, 26 & 27)

The living room is a grand, embellished and elaborate room, with many unaltered details from the original house. The room has a pair of tall, sliding sashes windows to the front, complete with panelled reveals and window shutters. Elegant fibrous cornices encircle the high ceilings, and other traditional details of skirtings, dado rails, extended architraves and six panelled doors are likely to be original to the house. The decorative mantle and surround to the fireplace is also 18th Century in style and while it now contains a wood burning stove, the surround is a dominant feature of the room, set on a projected chimney breast with wide recesses to either side.

As part of the works proposed, the front windows will be refurbished. Currently they are painted sealed and are missing cords, pulleys and possibly weights. While the shutters still exist, they do not close due to some distortion and over decorating. The windows and shutters will be refurbished and made fully operable.

The only other apparent interventions within the room are the radiator, and the window to the north. It is clear from historic plans (see Figure 9) that this room originally had no window to the rear side, outside of which would have been the ancillary service areas of the house, minimal view and reduced sunlight. At some point in more recent years a window opening was formed, with low level cill just above skirting height. The window itself is fixed, 4 (horizontally) by 3 (vertically) pane window, whose appearance is made worse by the fixture of an external security grille configured in differing panel sizes.

To the west of this room lies the Music Room, which the Applicants would like to connect through to. However, in light of comments received from their Pre-Application enquiry, they agree that this room should be preserved in its current form, with access to the proposed extension achieved via a new doorway, set within the width of the rear window. This will require the opening to be extended down to floor level, with skirtings adapted to close against architraves, moulded to replicate existing within the room. Within the doorway a pair of panelled doors on extended parliament hinges are proposed. When open, the Living Room will benefit from additional natural light from the rear (gained through the glazed roof panel of the extension, as detailed later in this document) as well as views through the family space to the garden beyond. When closed, the room will retain its formal character.

8.10 Entrance Hall, Stairs and First Floor Landing (Photos 29, 30 & 32)

The house has a finely detailed, elegant staircase, with polished handrail and decorated balustrade. No works are proposed to the stairs and landing other than decorative. All details within the stairwell and landings will be retained as existing.

First Floor:

8.11 Bedroom 1 (Photo 33)

The house has a very large main bedroom, occupying the same footprint as the Living Room below. Again, there are two large vertical sliding sashes, with shutter panels and window seats. There is no window to the rear elevation.

Unlike the living room, the chimney breast is concealed with the recesses either side providing storage cupboards.

As is typical of houses of this period, the main bedroom does not have an ensuite, which is a significant compromise for house of this grandeur and value. Given the size of the room, and the lack of window to the rear, it is proposed that the room be foreshortened to allow formation of an ensuite to the rear. To achieve this, the dividing wall would be formed as a timber stud partition, carefully scribed over the existing cornice, which itself is fairly discreet and understated in comparison to those of the ground floor. The stud partition would itself be finished off with a cornice, moulded from the existing, so that the room has the appearance of completeness.

The ensuite will comprise double vanity, wc and shower. The existing cupboard in the corner recess will be closed off and preserved for future generations, with the door and

architraves carefully removed and relocated to the proposed wardrobe (see Section 8.14 below).

Drainage from the room will be taken between floor joists, through the west side gable wall and passed through the ground floor within a ducted nib to the proposed Snug doorway, thus by-passing the cornice etc of the living room below.

This proposal will allow the main bedroom to have an ensuite facility, with no harmful impact caused to any part of the original house, thereby preserving its detail and fabric.

8.12 Bedroom 2 (Photos 34 & 35)

This bedroom has, in the past, had a lobby formed in the corner to allow access to a family bathroom. Bedroom 2 itself has an ensuite bathroom. The two bathrooms are located side by side on the north side of the house, as noted and described in Section 8.13 below.

It is proposed that the ensuite facility be separated from this bedroom, and as such the ensuite doorway would be removed. The door, lining and architraves would be set aside for use in the proposed WC.

The original entrance doorway to Bedroom 2 remains between the previously formed adjoining lobby and the stairwell. It is proposed that a door be reinstated here, detailed to match the existing bedroom door (likely previously relocated). This will reinstate the appearance of the stairwell landing, while also allowing the new family bathroom described in Section 8.13 below to be utilised at times as an effective ensuite to Bedroom 2. This door will be fitted with a traditional door knob to the landing side, while the inside face will have a flush fitted latch turn, to allow the door to be opened to 90 degrees when not in use.

No other works are proposed to Bedroom 2, other than those described in Sections 8.19 and 8.20 below.

8.13 Bedroom 2 Ensuite and Family Bathroom (Photos 36 & 37)

The existing Bedroom 2 Ensuite and Family Bathroom occupy the rear portion of the eastern bay of the house. Historically this bay appears to have been divided in this way (see Figure 9) and the cornice to Bedroom 2 appears to suggest this division could extend back to the original house form. The rear casement window, while relatively new in construction, appears to have historically had a centre mullion large enough to take a sub-dividing partition. However, the window position in each of these two rooms sits uncomfortably into each corner.

The bathrooms themselves are all modern in their construction and detail and there is nothing of historical merit to be preserved or retained.

It is proposed that these two rooms be reconfigured to provide a wc with wash hand basin, and a separate family bathroom with wc, wash hand basin, bath and separate shower. As noted previously, the reinstatement of the landing door to this side of the house will allow the family bathroom to be used as an effective ensuite to Bedroom 2. Meanwhile, at times when the second floor bedrooms are occupied, the bathroom and wc can be used by a wider group of residents.

The door, lining and architraves to the family bathroom will be new and will be detailed to match existing.

Skirting boards within the lobby will replicate the original skirtings in Bedroom 2.

No cornice will be installed to these rear rooms.

The rear casement window will no longer be sub-divided and will not just serve the family bathroom. The window will be replaced with an 8 over 8 vertical sliding sash.

8.14 Bedroom 3 (Photo 38)

It is proposed that Bedroom 3 become a walk in wardrobe serving the main bedroom. To achieve this, the existing door from the landing would be closed and sealed shut, retaining the door itself and all linings and architraves. The door would be concealed on the inside by newly fitted wardrobes, which themselves would be scribed over existing skirtings and would stop well short of the existing ceiling and cornices.

Access to the proposed wardrobe would be via a new doorway installed in the main bedroom. The door and architraves would be salvaged from the cupboard sealed off in the north west corner (see Section 8.11 above) and would be placed directly opposite the retained cupboard in the south west corner.

Currently the house has six bedrooms but just two bathrooms. The re-purposing of this smaller bedroom will limit the number of bedrooms in the house to five, served by two bathrooms and an additional and separate wc at first floor.

8.15 Staircase and Second Floor Landing (Photo 39)

No works are proposed to the stairs and landing other than decorative. All details within the stairwell and landings will be retained as existing.

Second Floor:

8.16 Bedroom 4 (Photos 41, 42, 43 & 44)

Bedroom 4 is a compact room, with partial pitched ceilings set above the purlin line, eaves storage to front and rear, a small window to the western gable wall and a large, incongruous Velux window to the north roof slope. The masonry walls have been wood chip wallpapered and the pitched ceiling formed from panelled fibreboard and cover latts. The front and rear stud walls and the flat ceiling are clad with narrow width timber boards.

It is proposed that the floor area of the room be enlarged marginally by setting back the two purlin line stud walls approximately 600mm. The newly aligned walls would be formed utilising the existing timber studs and again clad with salvaged timber boards. Movement of these walls would provide more usable floor space for furnishing, while still allowing sufficient headroom clearance.

Elsewhere in the room, the woodchip wallpaper will be removed and the fibreboard and latt ceilings replaced with plasterboard and skim. This latter application will allow opportunity to provide some additional insulation to the roof plane, to improve the sustainable, thermal performance of the roof of the house.

The western casement window would be replaced with a new timber framed casement window, with structural glazing bars and fitted with slimline double glazed units from

Heritage Glass UK, or similar. The replacement of this window will remove an existing, harmful intervention and will provide a more appropriate detail and solution, reflecting the quality of the vertical sliding sash on the opposite wall, set within the front elevation of the house.

The rooflight would be removed and replaced with a more traditionally detailed conservation style rooflight.

8.17 Bedroom 5 (Photos 45, 46, 47 & 48)

Bedroom 5 is also a compact room and a mirror room to Bedroom 4, with partial pitched ceilings set above the purlin line, eaves storage to front and rear, a small window to the eastern gable wall and a large, incongruous Velux window to the north roof slope. The walls have again been wood chip wallpapered and the ceiling formed entirely from panelled fibreboard and cover latts. There is no timber boarding in this room.

It is proposed that the floor area of the room be enlarged marginally by setting back only the southern stud wall approximately 600mm. The newly aligned wall would be formed utilising the existing timber studs. Movement of this wall would provide more usable floor space for furnishing, while still allowing sufficient headroom clearance. The wall to the north side, however, has infill brick panels and older, hand forged hinges to the access doors; it is proposed that this wall be retained and the brickwork exposed within the room.

Elsewhere in the room, the woodchip wallpaper will be removed and the fibreboard and latt ceilings replaced with plasterboard and skim. This latter application will allow opportunity to provide some additional insulation to the roof plane, to improve the sustainable, thermal performance of the roof of the house.

The eastern casement window will also be replaced, as discussed in Bedroom 4. Similarly the existing rooflight would be replaced with a conservation style rooflight.

8.18 Bedroom 6 (Photo 40)

This small room will remain unchanged, with all details being maintained as existing.

8.19 Internal Finishes (Photos 49, 50 & 51)

The house is in a very good and well maintained condition. Minimal interventions are proposed to the original house, although there is likely to be some degree of decorative alteration, including to paper and paint finishes throughout.

Where any works impact on underlying materials, such as plaster finishes, joinery components, etc, alterations and repairs will always be carried out strictly using materials to match existing. New stud walls, as proposed to form the ensuite and bathrooms, will be finished with plasterboard and skim, but elsewhere works effecting lime plastered walls will be made good with lime plaster.

Joinery details such as skirting, architraves, etc, will all be formed in timber.

All cornices will be retained and made good as necessary with moulds taken from existing.

8.20 Windows & External Doors (Photos 52, 53, 54 & 55)

As noted previously, a number of existing windows to the sides and rear have been previously replaced with inappropriate and incongruous windows. As outlined, it is proposed that these be replaced with more suitable windows, details of which would be provided prior to manufacture.

Elsewhere, specifically all of the front windows of the house and the main stairwell, windows are thought to be original. As part of the works proposed, these windows will be refurbished. Currently they are predominantly paint sealed and are missing cords, pulleys and possibly weights. While window shutters still exist throughout, they do not close due to distortion and over decorating. All windows and shutters would be refurbished and made fully operable.

Similarly, the existing front and rear doors will be retained and made good.

8.21 External Walls (Photos 6, 8 & 65)

External walls are in a good condition, and formed with tight bedded, beautifully punch faced stonework. Minimal works are proposed that will impact on the existing external walls, save for the minor alterations to the northern porch (in regards to the lower pitched roof) and the western boundary wall alongside the proposed utility room. Where these works are proposed, new stonework can be sourced from the external walls of the removed garage.

All external walls will be re-pointed as part of the works, with a lime mix to be discussed and recommended by Nigel Copsey.

8.22 Services

Upgrading works are proposed to electrical, heating and water services. These will be limited within the existing house, with water services being supplied to existing bathroom areas as well as the proposed new Bedroom 1 Ensuite, where supply pipes will be run within the floor zone and brought up within vanity cabinets and extended shower walls, to avoid the need to chase within existing walls.

Where new electrical outlets are required, these will be brought up from the floor void below, to limit chases and avoid the need to cable past cornices; all new cables will be run behind skirtings.

Service runs in floor zones will follow existing routes, to avoid the need to cut existing joists. Should further routes be required, they will be taken through the centreline of joists (i.e. not notched through the tops) to ensure structural integrity of the joist is maintained.

The extension will be underfloor heated.

8.23 The Extension (Figures 10 to 15 inclusive, pages 35 and 36)

By contrast to the original house, the proposed extension will be more contemporary in form, detail and material, in order to clearly define the form of the original house. While

the materials will be used in a contemporary style, they will also incorporate traditional materials.

The eastern elements of the rear porch and existing utility (proposed WC) will be retained as fair faced stone.

The western element, being the new build utility room, will occupy the same footprint as the existing outbuilding. The proposal to rebuild will enable a greatly improved thermal performance, while at the same time increasing usable internal floor area. As the intention is to maintain the mass and built form of this element, it would be faced in punch dressed stone to match existing.

The central portion of the extension, which will provide the Family / Garden Room and Kitchen, will comprise walls of horizontal zinc clad panels, with slender aluminium framed windows and doors.

The roof of the extension will also be finished in zinc, with a standing seam detail and concealed gutters. The zinc will continue over edges to form extended eaves and verges.

Within the roof there will be a series of glazed elements:

- A small, patent glazed rooflight over the rear lobby will bring borrowed light through to the Rear Corridor of the house.
- A patent glazed “slot” will then separate the retained stone elements of the rear Porch and WC from the main footprint of the extension, and will align with the tall window of the stairwell. As well as providing definition between the forms, this glazed element will step down to allow clearance of the existing stairwell window cill.
- A larger, linear glazed panel will then extend across the rear of the Living Room wall, to make minimal “touch” against the existing wall, while also allowing the visual, uninterrupted perception of this wall to continue upwards; to this end the wall will remain as fairfaced within the extension. This linear rooflight will be set above the plain of the roof, to clear the existing window (now proposed as a door) head. Via this rooflight, natural light will be maintained into the north side of the Living Room.
- The fourth rooflight will be located over the western wing, where the proposed Snug will be located, to provide good levels of natural daylight.

The floor level of the extension will be set down two steps from the original house. This will allow ceiling heights to remain reasonable in the extension, while also ensuring the structure can be accommodated without compromise to the existing window cills and heads on the rear wall of the house. This part of the site is well elevated above the garden, and the stepped down floor level can be accommodated without impact on the existing garden levels.

The floor plan of the extension has taken structure into consideration and will allow the frame of the build to be cantilevered and abut the rear wall of the house, without the need to bear structural members within the wall. Chases will be required for flashing details, but these will be accommodated within existing bed joints, which by the coursed, flat bed nature of the stonework are all level.

The western boundary wall and the roof plain of the west wing will remain unchanged.

8.24 External Works (Photos 6, 7, 8, 9, 11, 12, 66 & 67)

The house has a well established garden with many mature trees and borders, both to the front and the rear.

In the front garden there is a very large Leylandii tree, which the Applicants hereby seek approval to remove. The tree is in close proximity to the western boundary wall, which is Grade II Listed, and its continued growth is likely to be causing harm to the wall. Elsewhere, all trees will be retained.

To the rear of the extension, the terrace would be reconfigured to provide a modest external seating area, and will be surfaced using the existing blue clay setts (Photos 4 & 9) and York stone flags.

The greenhouse is proposed for removal.

The driveway will remain unaltered.

8.25 The Garden Outbuilding (Photos 66, 67 & 68)

The existing stone outbuilding, with profiled metal roof, at the north end of the garden provides storage for garden equipment and bicycles. The store is small, and throughout the winter months is very damp and often under water. The rear of the garden is a low point for surrounding fields and during periods of heavy rain is usually flooded.

The building is also sited immediately below and adjacent to a very large oak tree and there is evidence of consequential movement in the stone facework.

It is proposed that this building be demolished down to its first course of stonework, which would be retained to provide a raised plinth to support the northern end of the new shed, with the south end supported on timber posts and pads. The replacement shed would be timber clad on a timber stud frame, and raised up to stand above the "flood plain" of this end of the garden. While raised in height, the roof would be double pitched to limit eaves height on the boundary, and finished with grey mineral felt. A raised timber deck will provide dry access from the lawned area to the shed, which will remain screened from the house by existing conifers. The extent of the proposed shed will occupy the footprint of the existing plus a portion of existing paved area. As such, the built form will not encroach any more than existing over the root spread of the adjacent tree.

8.26 The Bridge and Pond (Photos 2, 3 & 4)

On completion of the purchase of the house the Applicants cleared weed growth from the pond. The water flow through the pond, fed via existing culverts from the fields above, is now much improved and the clean quality of the water is evidence of this.

It is noted though that there has been some historic movement of the bridge itself, seen most notably in distortion of the eastern wall. This is likely caused by ground water retained within the bridge itself, over which the top surface is largely laid to grass.

It is proposed that the bridge be surveyed and monitored to record any movement. In due course remedial works may be required, including the introduction of weep holes to allow release of ground water pressure and possible introduction of tie rods and plates. Any such works will be subject to a separate Listed Building Consent Application.

9.0 Planning Policy Context

Planning and Compulsory Purchase Act 2004

9.1 The Planning and Compulsory Purchase Act 2004 came into force in September 2004. It carries forward the provisions of the Town and Country Planning Act 1990, giving statutory force to a planned system of development control.

9.2 Under section 70(0) of the 1990 Act and section 38 (6) of the 2004 Act, the determination of planning applications must be in accordance with the approved Development Plan unless material considerations indicate otherwise. The determination of planning proposals must be in accordance with the approved Development Plan unless material considerations indicate otherwise.

National Planning Policy (NPPF) (2019)

9.3 National planning policy is set out in the National Planning Policy Framework (NPPF) which was published in January 2019 and is a contributing material consideration. It provides a framework within which regional and local policy is set. The publication of the National Planning Practice Guidance (NPPG) in March 2014 gives further guidance.

9.4 Paragraph 7 of the recently published NPPF states that ‘at a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs’.

9.5 Paragraph 8 of the NPPF states that ‘achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways’ (so that opportunities can be taken to secure net gains across each of the different objectives):

- a) an economic objective
- b) a social objective
- c) an environmental objective

9.6 Paragraph 11 of the NPPF sets out the presumption in favour of sustainable development. For decision taking this means approving development proposals that accord with an up-to-date development plan without delay or where there are no development plan policies, or the policies which are most important for determining application are out-of-date, granting permission unless:

- i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

9.7 Paragraph 38 of the NPPF advises that ‘local planning authorities should approach decisions on proposed development in a positive and creative way to secure developments that will improve the economic, social and environmental conditions of the area’.

9.8 Paragraph 131 of the NPPF states that ‘in determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings’.

9.9 In addition to the above, paragraph 172 of the NPPF states that great weight should be given to conserving and enhancing landscape and scenic beauty in National Parks, the Broads and Areas of Outstanding Natural Beauty, which have the highest status of protection in relation to these issues.

Local Plan

9.10 Enabling Development

Historic England has produced very thorough guidance on the sorts of situations in which it may or may not be appropriate to approve ‘enabling development’.

The guidance outlined by Historic England in its publication “Enabling Development and the Conservation of Significant Places” should be used to assess whether enabling development is justified.

9.11 Informing and Managing Change

The applicant has formulated a unique understanding of the historic character and significance and the setting of heritage assets relative to the proposed scheme.

It is a site that has the potential to accommodate a sensitive and optimum change, and includes an opportunity to enhance it. The development is likely to preserve the front elevation whilst constraining the development to the rear which will be screened by Pond House itself.

9.12 Public Interest

Development Control arguably accounts for the lowest common denominator approach to ‘public interest’.

What is deemed to be in the ‘public interest’ has come to be conceived in multiple ways, stifling the possibility for the public interest to be articulated in a more participatory manner, though harder to define.

In summary, the public benefits of this proposal are:

1. The proposed development would achieve sustainable development and achieves economic, social and environmental gains jointly and simultaneously because it allows the continued residential use representing the optimal viable use of the Grade II* listed building.
2. The proposal will conserve, enhance and better reveal elements which contribute to the significance of the heritage asset.
3. Heritage assets change over time. Protection of heritage assets need not prevent change; indeed, that change may be positive. The impact of the changes outlined in this proposal on this heritage asset are **not** considered to be harmful.
4. The pragmatic approach to pursuing this application in the public interest also lies in the value that it is more appealing to the social nature of humans to live together, in settlements, rather than in isolation which is considered of public benefit. Ultimately, planning is fundamentally about pursuing collective wellbeing and this proposal would align with this.

This assessment proportionately demonstrates the positive way in which the development will conserve the heritage assets at Pond House and the setting in a manner appropriate to its significance. This includes local vernacular building styles, materials and the traditional features noted earlier in this assessment.

It is very much a conservation led scheme and is sympathetic to Pond House and conversely the village streetscene due to it having no impact. Rather, the development presents an opportunity to make a positive contribution to 'local distinctiveness' in a carefully designed and articulated way.

In summary, the public benefits in this case are concerned with the optimum viable use of the site/village which is predominantly residential. There must be a consistency of use and of the prevailing land uses together with an overall drive for meeting public/planning gain and enhancements which are able to be brought by the scheme.

Again, it is a scheme that presents the optimum viable (residential) use of the site together with the resulting value that is added to protected land/buildings.

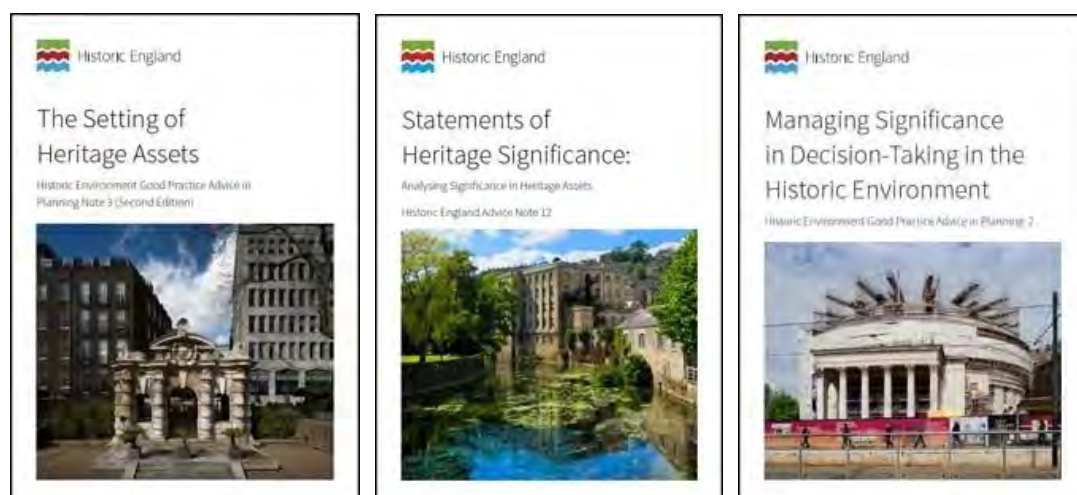
The applicants understanding has informed the principle for the development particularly with regard to design, (with elements of traditional and contemporary).

The applicant understands the significance of the site, the setting and importance of heritage assets which are fully understood. This has informed good quality design, maintained open spaces and transparency throughout the extended parts of the dwelling and complementary materials around the site.

9.13 Capacity for Change

From time to time it is accepted that there must be capacity for change and is one that is recognised by Historic England's advice notes and guidance. Development might include new buildings, the demolition of insignificant buildings and the opening of spaces to better reveal the significance of heritage assets in their settings.

It is concluded that the understanding gained from looking closely at the site and the immediate locality has in this case helped to prepare a well-balanced proposal that is capable of conserving and enhancing the significance of the area / area setting as a whole.



10.0 Planning Assessment

10.1 The proposal recognises the principles outlined in **Strategic Policy A – Achieving National Park Purposes and Sustainable Development.**

The historic fabric, form and plan layout of the heritage asset is conserved and enhanced by the provision of modern standards of living and facilities accommodated within the proposed extension, with light touch and minimal intervention on the host dwelling. Minimal alterations proposed within the house respect historic details and layout, with new partitions to be installed in a non-invasive manner, allowing full reversal by others in the future. The proposals are sustainable because:

- The design of the proposed extension has been carefully considered to cause minimal harm to the exterior face of the heritage asset; details and materials proposed are of a high quality and are traditional in their nature, though detailed in a more contemporary manner to define and reinforce the historic character of the house.
- The overall proposal supports the modern day needs of family living and in doing so ensures a continued, long term viability for the property within the housing market. The Applicants are prepared to invest heavily in this property, ensuring it is maintained, conserved and safeguarded for its future.
- Upon purchase of this property, the Applicants immediately set upon arduous maintenance of the pond, demonstrating their commitment and stewardship of their land, improving and enhancing the habitats contained within.
- While the heritage asset itself has limited opportunities for energy performance improvement, the ground floor extension proposed would be built to a very high standard of thermal efficiency, providing a buffer to the rear ground floor of the property and thereby greatly reducing its heat loss and carbon footprint. In essence the rear extension would provide opportunity for a significant, vicarious improvement in response to climate change, without the need for harmful interventions to the fabric of the heritage asset itself.

10.2 The proposal recognises the principles outlined in **Strategic Policy C – Quality and Design of Development.**

The proposal will maintain and enhance the distinctive character of the National Park because:

- The proposed extension will be of high-quality design in its form, material and detail. The concept of the proposals will ensure the “public façade” of the property will remain unchanged, with all external alteration being restricted to the rear of the house, away from public awareness.
- The external materials to the rear are chosen from the local vernacular. Elements of rear structure retained or altered will remain in fair faced stonework, with all new elements faced in zinc to enhance the differentiation in the developed periods of the property and to help define and inform this stage in the house’s history for future generations. The materials and details proposed will enhance local distinctiveness and add variety to the National Park’s built heritage.

- Window details within the house and retained masonry rear structures will remain in paint finished timber, while new windows to the infill extension will be in fine framed, dark grey powder coated aluminium. Further enhancement is proposed by the replacement of a number of incongruous windows and rooflights, as referred to within Section 8 above, with new windows and rooflights of a more appropriate detail to the period and quality of the host dwelling.
- The proposed extension is positioned to the rear of the house, and set between existing, retained structures to either side. The rear wall of the extension has been aligned with the existing rear wall of the garage to be removed, such that the property does not extend any further into the garden than it currently does and is therefore respectful of the established building line. The impact of this would be to preserve the massing of the rear, ground floor elements when viewed from either side, while there would be no perceived difference at all when viewed from the front or the rear. In height, the proposed extension has been carefully detailed to maintain the existing eaves levels of the side wings, as well as the window cill and head levels across the rear elevation. In general form, the roof to the extension falls away from the house, maintaining the house as the overall dominant element.
- The scale, height, massing and form are therefore compatible with the building, and will have no impact on other surrounding buildings or neighbours, not least because the Pond House is set well back from properties to either side and is not overlooked at its rear.
- The extension proposed, by its separate nature to the heritage asset, will allow the opportunity to integrate modern, sustainable building materials and details to minimise waste and energy use.
- The house enjoys a mature garden to the front and rear, which will be maintained and preserved by the Applicant, and indeed enhanced through the removal of a Leylandii tree to the front garden and by the works carried out to clear the overgrown pond and ensure good through flow of clean, fresh, aerated water from the drainage ditches above the house.
- Works to the pond should ensure improved water quality, which in turn will encourage a healthy habitat for native species.
- The car parking arrangements to the rear of the house will remain unchanged, with plenty of space for car parking to serve the house, while still allowing egress from the driveway in a forward facing direction.
- The proposal to enhance the garden outbuilding will provide improved, dry storage space for garden equipment and bicycles.
- The proposed extension will provide the Applicant's family with their main daily living space, with better access and integration to their private amenity to the rear while allowing the heritage asset to maintain its grandiose formality to the front of the house.

10.3 The proposal recognises the principles outlined in **Strategic Policy I – The Historic Environment**.

The proposal will make a positive contribution to the cultural heritage and local distinctiveness of the National Park through the conservation and enhancement of the heritage asset and its setting, because:

- The proposals would represent less than substantial harm to the heritage asset.
- The proposal has been carefully considered to minimise to all extent possible any potential harm. Where interventions do present harm, they are kept to a minimum and are entirely reversible.
- The proposal seeks to provide the required accommodation for modern day living within a new, purpose built extension such that the historic layout, fabric and interior of the heritage asset can be preserved.
- Alterations within the house concerning bathroom facilities have largely been restricted to that part of the house in which such interventions have already been carried out. Enhancement of this area is proposed by the reconfiguration of floor plan to allow the removal of an existing dividing partition from the central mullion of an existing window.
- The proposed ensuite bathroom facility to the principal bedroom involves separation within the room itself, through means of a scribed partition that would not harm or necessitate removal of existing internal details and would allow services to be harmlessly accommodated in the rear of the building.
- While desirable, no additional bathroom accommodation is sought by the Applicants to the second floor bedrooms, in the interest of preserving the heritage asset.
- At ground floor level, the existing WC shoe horned in to the rear, cross corridor is proposed for removal, to allow an enhancement through reinstatement of the space.
- The proposal will not impact on the heritage asset in terms of its setting and its contribution to the identity and distinctiveness of the Aislaby Conservation Area and the National park as a whole.
- The proposals will ensure the optimal viable use of this large domestic property as a family home. At the time of its inception this house would have been perceived to be a home of stature within the village, providing the highest quality of living space. Its prominence within the village of Aislaby is very much a part of the asset's significance. These proposals seek to maintain this significance, providing through substantial investment a high-end quality standard of family living. In so doing, the Applicant's commitment will ensure that the house is well maintained and preserved for future generations to enjoy.

10.4 The proposal recognises the principles outlined in **Policy ENV11 – Historic Settlements and Built Heritage**.

The proposal will reinforce the built heritage of the National Park and its distinctive historic character because:

- The proposal will conserve, not east through preservation, the largely untouched interior of the heritage asset for future generations, by the integration of modern amenities within the proposed extension. Further enhancement of the heritage asset is proposed through the removal of later, incongruous adaptations of fenestration and reinstatement with more appropriate, traditionally detailed windows and rooflights.
- The proposal will conserve the setting of the Pond House within the Aislaby Conservation Area by restricting all external alterations proposed to the rear of the house, within the extents of existing and established rear additions.
- The design concept of the proposal recognises the distinctive qualities of the Aislaby settlement and the scale, height, form, footprint and choice of materials are all considered to ensure a sympathetic development that is integrated within the existing built environment.
- The Application has been prepared over a number of months, during which time extensive investigation has taken place within the property to fully understand its significance and architectural heritage, in order to ensure the evolution of a proposal that would amount to the absolute minimum of harm imposed.
- The proposal submitted has been prepared in full consideration of Pre-Application advice received, as noted in Section 4 above.

11.0 Conclusion

11.1 In consulting documentary materials, old floor plans, historic mapping and visible details within the property still evident today this assessment finds that, given the minor nature of the works proposed internally and the provision of further desired accommodation within the extension, less than substantial harm will be caused to the significance of heritage assets identified as Pond Mill House, a Grade II* Listed Building within the Aislaby Conservation Area.

11.2 Part of the significance of the Listed building is formed from its Aesthetic Value which is derived from its grandiose setting within the village of Aislaby, principally provided by its formal front façade and the interaction of the heritage asset with the adjacent buildings and central village street scene. The proposal sought is confined to the rear of the property, restricted to single storey in height and set within the encompassing footprint of existing rear additions. Accordingly, the setting of the Heritage Asset will remain unaffected by the development.

11.3 Historic England's 'The Setting of Heritage Assets' Good Practice Advice in Planning: 3 confirms that setting is not a heritage asset, nor a heritage designation, though land within a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset.

11.4 The setting of heritage assets change over time. Protection of the setting of heritage assets need not prevent change; indeed, that change may be positive.

11.5 The existing setting of Pond House gives it stature and hierarchy within the village, and this will not change.

11.6 Any new or replacement items, features and materials will be sympathetic to the character and appearance of the host building. The impact of the proposal on this and other heritage assets is considered neutral to positive.

11.7 The minor nature of the works has been proportionately assessed and it is concluded that less than substantial harm will be caused by the alterations. The principal elevation in the view from the south and through the Conservation Area as a whole will be preserved, as indeed will views from east and west, and from the north the extension proposed will not change the massing of the existing house, and will ensure the historic fabric of the house remains visible and discernible.

11.8 Taking account of the above, the development is considered to accord with the policies of the Development Plan in force and It is hoped that officers will support this proposal.

SKETCH IMAGES OF PROPOSAL – SHEET 1 of 2



Fig.10: View across rear of the property from the driveway to the north-east.



Fig.11: View across the rear of the property and proposed infill extension, from the north.



Fig.12: Rear elevation view of the property and proposed infill extension, from the north-west.

SKETCH IMAGES OF PROPOSAL – SHEET 2 of 2



Fig.13: View of rear of the property and proposed infill extension, from the north-west.



Fig.14: View across the rear of the property and proposed infill extension, from the west.



Fig.15: Elevated view of the rear of the property and proposed infill extension, from the north.

TPH-SCH.PHOTOS
March 2021



Photo 1: Aerial photo of the Application Site from the North

Schedule of Photographs
relating to:

The Pond House, Aislaby, Whitby, YO21 1SW

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Photo 2: Pond & Bridge viewed from west



Photo 3: Gates, Pond, Bridge & House



Photo 4: Pond & Bridge viewed from east



Photo 5: Access driveway



Photo 6: Rear Entrance Door viewed from east



Photo 7: Rear of house



Photo 8: Rear of house, showing existing paved setts



Photo 9: Rear of house, showing existing paved setts



Photo 10: Rear of house, showing existing greenhouse



Photo 11: Rear of house viewed across garden



Photo 12: Rear of house viewed across garden from shed



Photo 13: House viewed from the west

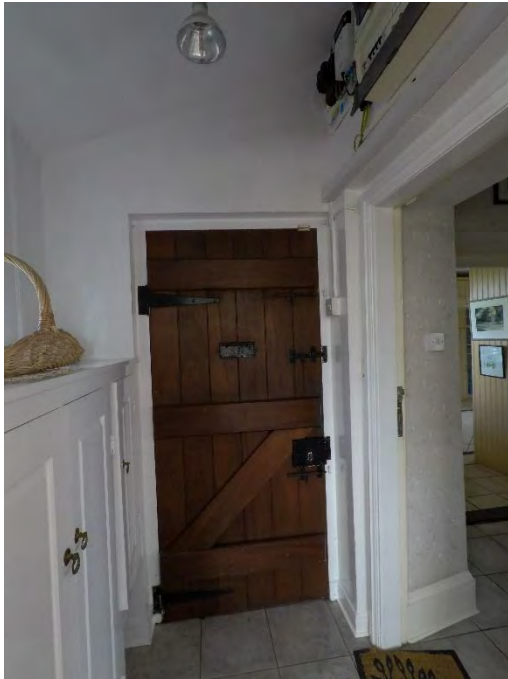


Photo 14: Rear Entrance Door and Lobby



Photo 15: Rear Entrance Lobby



Photo 16: Utility Room



Photo 17: Utility Room



Photo 18: Integral Garage



Photo 19: Rear wall of Utility in Garage



Photo 20: Music Room front window



Photo 21: Music Room sliding patio doors



Photo 22: Rear Corridor & WC



Photo 23: Rear Corridor & WC



Photo 24: Kitchen



Photo 25: Living room looking south (front wall)



Photo 26: Living room looking west (fireplace wall)



Photo 27: Living room looking north (rear wall)



Photo 28: Dining Room

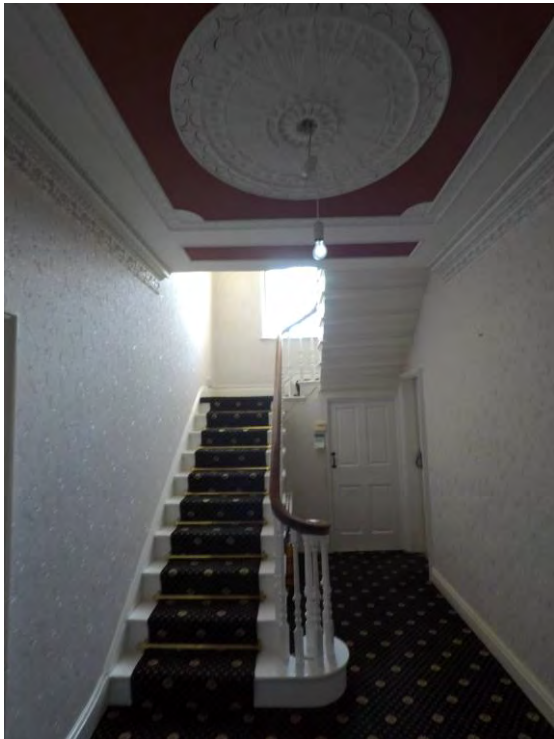


Photo 29: Entrance Hall & Stairwell



Photo 30: Stair handrail detail

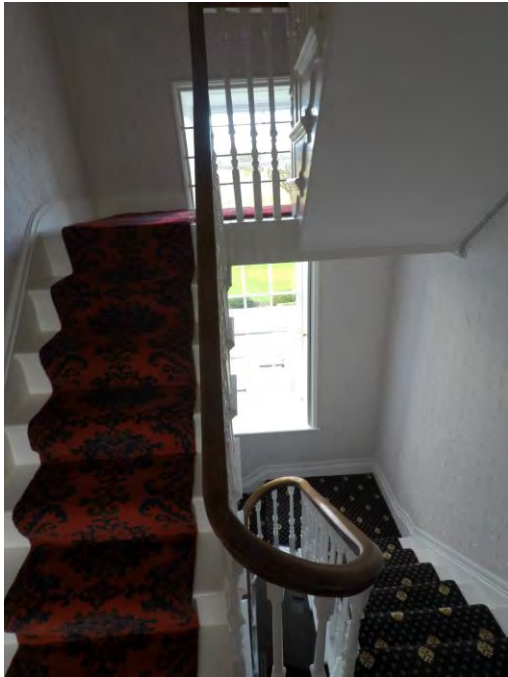


Photo 31: Stairwell and rear window



Photo 32: 1st Floor Landing showing doors to Bedrooms 1 & 3



Photo 33: Bedroom 1



Photo 34: Bedroom 2 looking east



Photo 35: Bedroom 2 looking west



Photo 36: Bedroom 2 Ensuite, with half of rear window



Photo 37: Family Bathroom



Photo 38: Bedroom 3

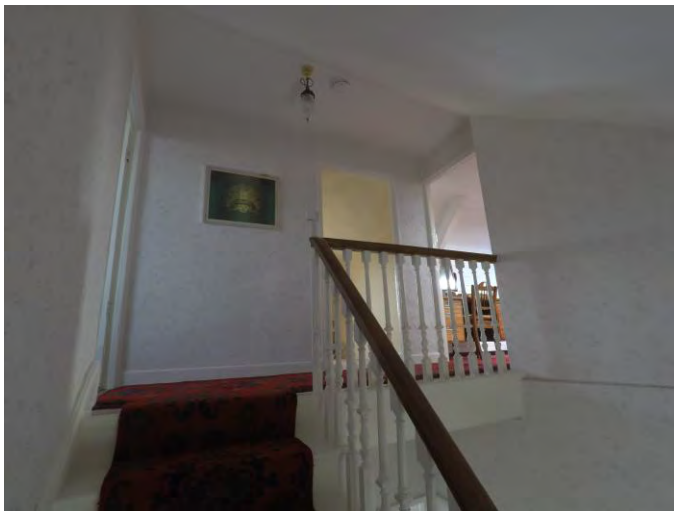


Photo 39: Second Floor Landing



Photo 40: Bedroom 6



Photo 41: Bedroom 4 looking east



Photo 42: Bedroom 4 looking west



Photo 43 Cupboard door & paneling

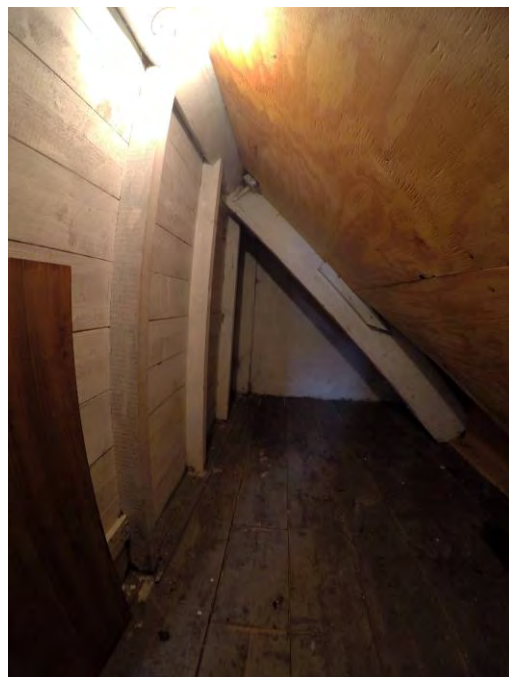


Photo 44: Cupboard interior



Photo 45: Bedroom 5 looking west



Photo 46: Bedroom 5 looking east



Photo 47: Cupboard door & paneling



Photo 48: Cupboard interior with brick panels



Photo 49: Living Room Cornice

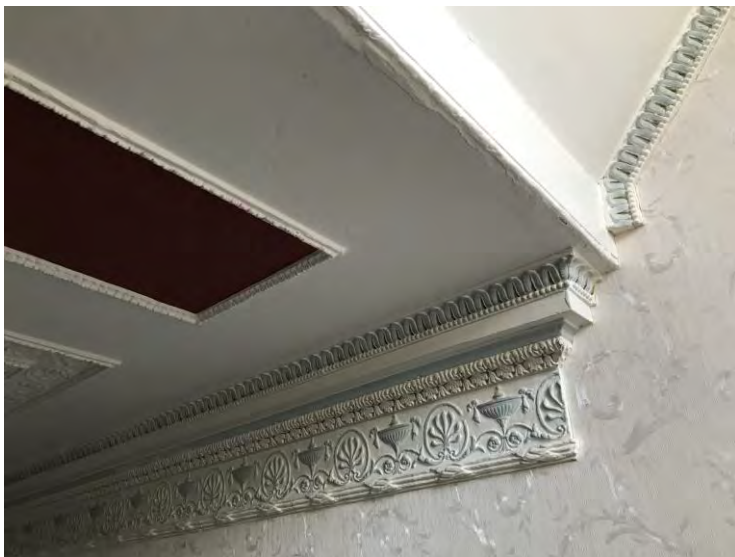


Photo 50: Entrance Hall Cornice



Photo 51: 1st Floor Landing Cornice



Photo 52: Living Room front window



Photo 53: Window shutter box



Photo 54: Closed shutter panels
(where window set in deep reveal)

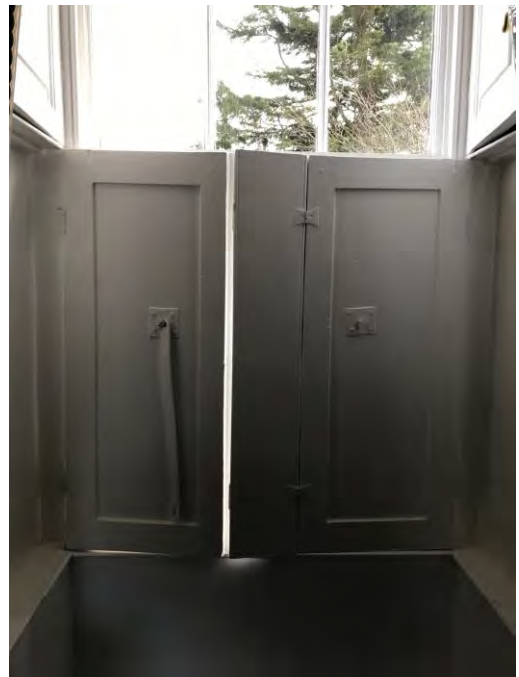


Photo 55: Closed shutter panels
(where window set in less deep reveal)



Photo 56: Living Room door knob



Photo 57 Understairs Cupboard door latch



Photo 58: Rear Corridor door latch



Photo 59: Bedroom 5 door latch



Photo 60: Bedroom 4 door latch

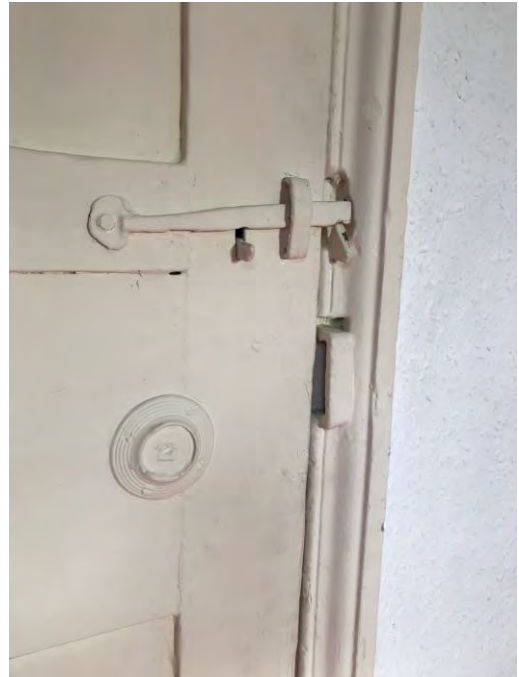


Photo 61: Bedroom 4 door latch



Photo 62: Rooflights over Rear Hall and Utility Room



Photo 63: Outbuilding abutting rear of building on western boundary



Photo 64: Interior of Outbuilding



Photo 65: Rear window to Living Room



Photo 66: Rear garden looking north, with Garden Store hidden behind shrubs



Photo 67: Garden Store in north west corner



Photo 68: Garden Store