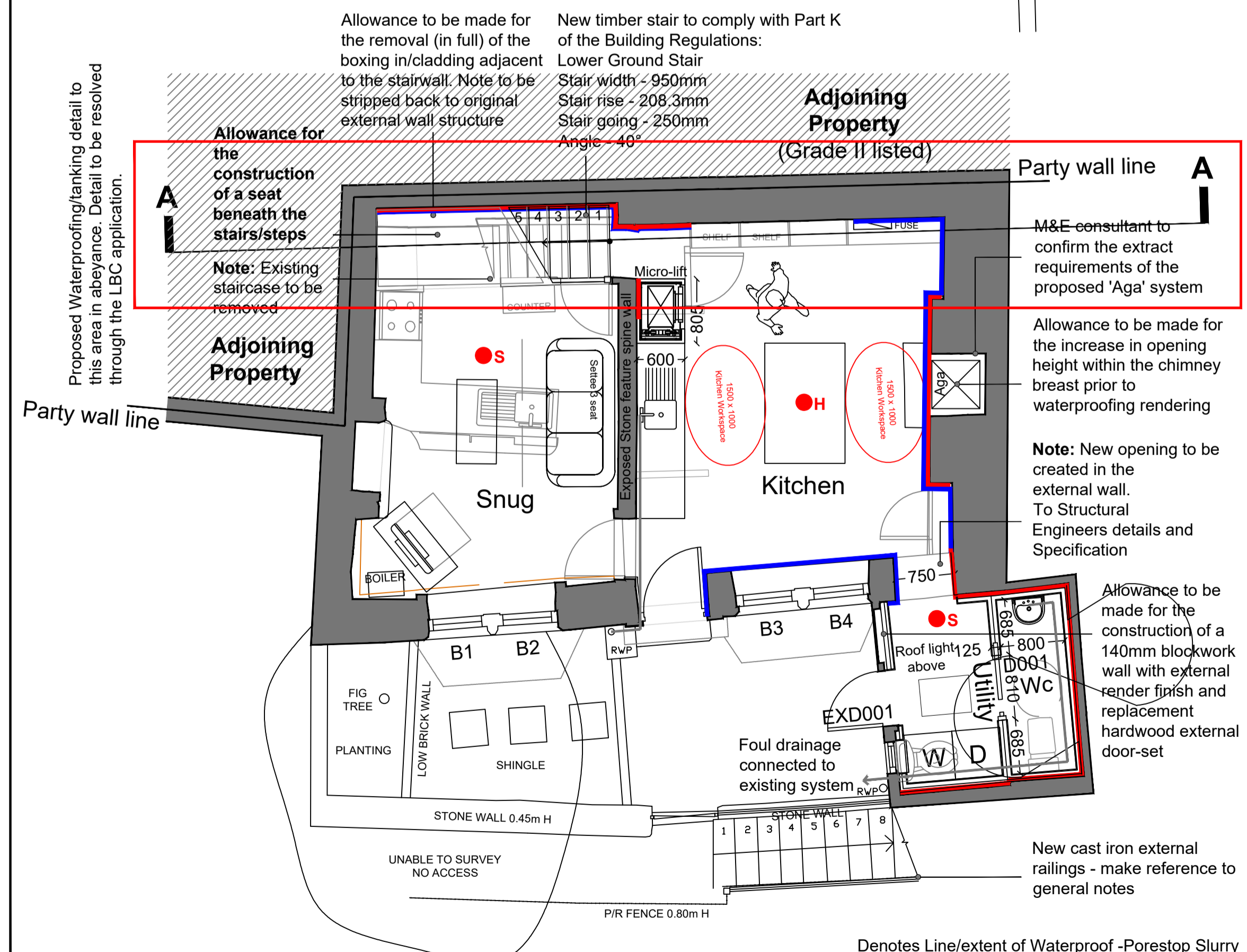
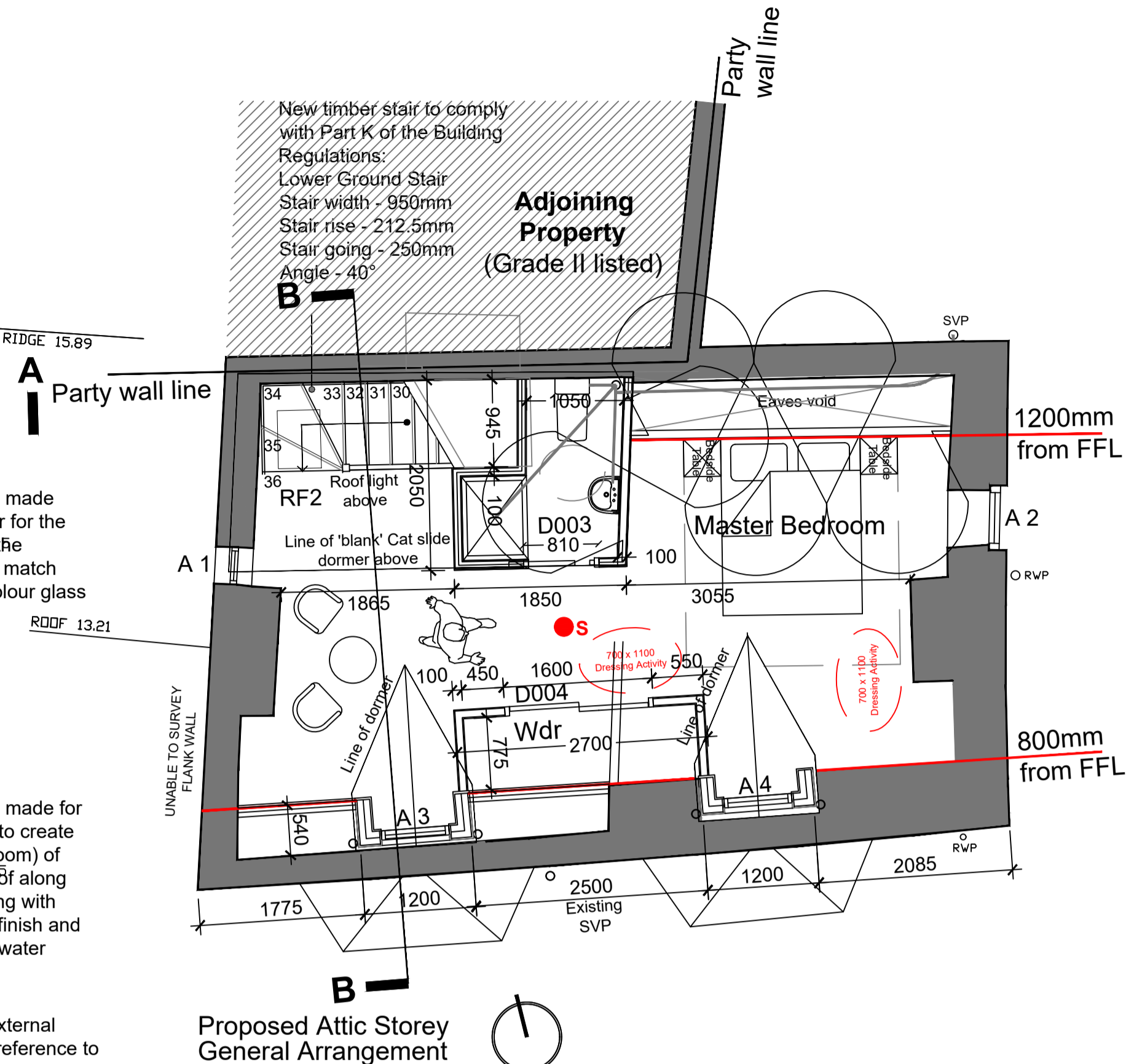


Proposed Ground Floor General Arrangement

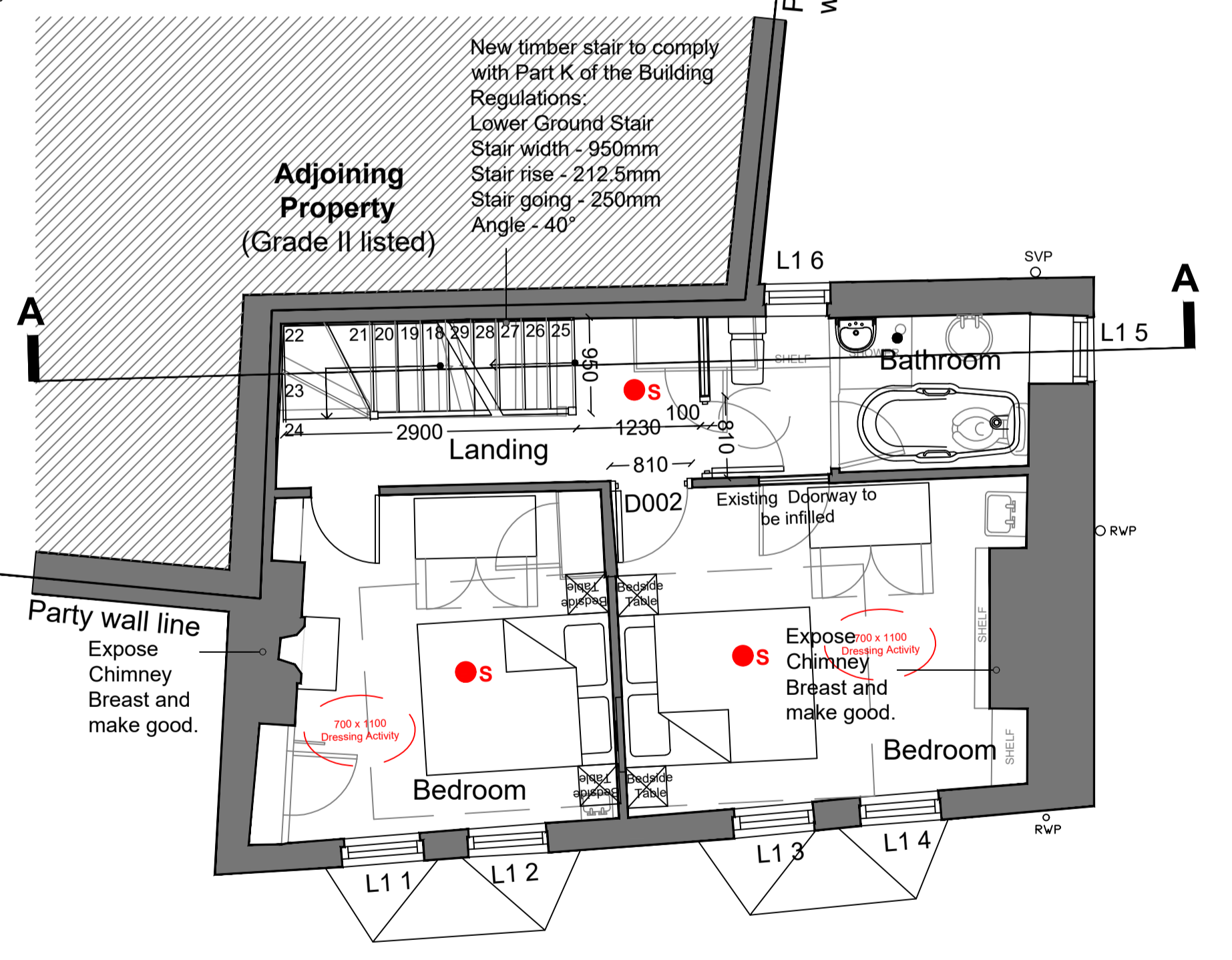


Proposed Lower Ground Floor General Arrangement

- Denotes Line/extent of Waterproof -Porestop Slurry (assume to room height for tender purposes)
- Denotes line/extent of drywall Plastering (assume to room height for tender purposes)
- Denotes existing structure to be demolished and or Fixtures and fitting removed



Proposed Attic Storey General Arrangement



Proposed First Floor General Arrangement

DOOR SCHEDULE

External Doors:

Door Number	Opening Height	Opening Width	Special requirements
EXD 001	2100 TBC on site	710 TBC on site	Hardwood external door-set and ironmongery. Fit for purpose

New Internal Doors:

Door Number	St Opening Height	St Opening Width	Partitions	Special requirements
ID 001	2100	810	✓	Sliding/pocket doorset
ID 002	2100	810	✓	Door match existing panel doors in detail
ID 003	2100	810	✓	Sliding/pocket doorset
ID 004	2100	1600	✓	Double sliding door-set to wardrobe

● S Denotes location of smoke/sensor alarm-mains wired
● H Denotes location of heat alarm/sensor-mains wired

General Notes/Specification

Demolition
Allowance to be made for within the tender return for the demolition and removal from site of all items denoted as 'dashed' on the attached working drawing.

Plaster-work
Allowance to be made for within the tender return for the making good of all finish areas effected by the removal/demolition of internal walls.

Internal general decoration specification
Allowance to be made in the tender return for general application of:
-Emulsion paint to internal dry-lined/Plasterboard/Plastered/Masonry
Manufacturer: Dulux Trade, brand of ICI Paints/AkzoNobel
Product reference: Dulux Trade Supermatt or similar approved
Surfaces: Ceilings
Preparation: As recommended by the manufacturer
Initial coats: Mist coat Dulux Trade Supermatt
Finishing coats: Dulux Trade Supermatt
-High Performance Eggshell Paint to Internal Dry-Lined/Plasterboard/Plastered Surfaces
Product reference: Dulux Trade Diamond Matt or similar approved
Surfaces: Internal walls
Preparation: As recommended by the manufacturer
Initial coats: Dulux Trade Dry Wall Primer Sealer
Finishing coats: Dulux Trade Diamond Matt
Number of finish coats: Two.
Durability: Dulux Trade Diamond Matt achieves 10,000 scrubs and contains stain repellent technology.
Colours to be confirmed by client.

Emulsion paint to internal Dry-Lined/Plasterboard/Plastered/Masonry to include: bathrooms, En-suites etc Walls/Ceilings that require Anti-Mould Paint Coating
Manufacturer: Dulux Trade, brand of ICI Paints/AkzoNobel
Product reference: Dulux Trade Mouldshield Fungicidal Matt
Surfaces: Internal walls and ceilings
Preparation: As recommended by the manufacturer
Initial coats: Mist coat Dulux Trade Vinyl Matt
Finishing coats: Dulux Trade Mouldshield Fungicidal Matt/Eggshell
Number of coats: Two

Water based interior gloss to include skirting, architraves, doors, sills.
Manufacturer: Dulux Trade, brand of ICI Paints/AkzoNobel or similar approved
Product reference: Dulux Trade Quick Dry Gloss or similar approved
Surfaces: Internal Joinery (Uncoated MDF/Softwood new)
Preparation: As recommended by the manufacturer
Initial coats: Dulux Trade Quick Dry Undercoat
Finishing coats: Dulux Trade Quick Dry Gloss
Number of finish coats: Two.

Internal Partitions
-New internal partitions to be constructed of metal studwork. Studwork to be clad on both sides with 12.5mm plasterboard taped and jointed. Note: Moisture resistant plasterboard to be used in Bathroom/En-suite/Wc locations
-50mm Iso wool (or similar approved) acoustic insulation added as denoted on the working drawing. Insulation to provide 40db acoustical separation.

Mechanical & Electrical Allowance
-PC sum allowance of £10K to be made within the tender return for whole house M&E re-working/re-ordering.

Staircase.
-Allowance to be made for the supply and installation of a new staircase. New stair configuration and specification detailed on working drawing 2020-ID-17-WD002.

Floor plate specifics
Lower Ground Floor
General works
Waterproofing/tanking
-Allowance for the hacking off and removal of the existing plaster finish (extent defined on the attached drawing).
-Allowance to be made for the installation of Peter Cox horizontal damp proofing system (extent to be full height as defined on the attached drawing).
-Porestop slurry to be applied to prepared walls and finished in a drywall plastering finish.

Outhouse - Utility
New External Wall - Construction to achieve a U-value of 0.28W/m²K
-Allowance to be made for the re-build of circa two linear meters of external wall. Wall to be constructed of 140mm concrete blockwork. Proprietary DPC to be installed 150mm above external Ground level. Wall to be constructed to 2200mm above external ground level.
-Allowance to be made for the supply and installation of a Naylor S5 140 x 140mm concrete lintel to form the external door opening EXD001.
-Allowance to be made for the installation of a sand cement render finish to the external block work face of the new section of wall and the remainder of the adjacent wall. Note: Render to be finished at DPC level, i.e. 150mm above external ground level.

Tanking/waterproofing
To areas identified on working drawing
Hack off and remove all existing plaster finish (Full height)
-Prepare the exposed masonry and apply 2 coats of 'DryWall Porestop Waterproofing Slurry'
Wall internal linings
-All Utility/Wc walls are to be lined internally with British Gypsum 'GypLiner IWL system or similar approved, 50mm C section metal stud filled within 50mm steel frame infill batt finished with two layers of 12.5mm wallboard and skim.

Floor construction - Construction to achieve a U-value of 0.22W/m²K
DPM - Proprietary 2000 gauge DPM laid over existing concrete slab base
Insulation - 100mm Kingspan 'Kooltherm K103' floorboard insulation or similar approved laid over DPM, note 25mm perimeter strip insulation to be provided at screed edges.
DPM - Proprietary 500 gauge DPM laid over insulation
Screed - Traditional 75mm sand/cement screed - Tamped finish
Construction U-Value to achieve 0.22W/m²K

New Structural opening
Opening to be made (in location identified on working drawing) to provide access from the kitchen area to the utility room. Opening to be undertaken in accordance with Structural Engineers details and specification.

Roof Construction - Construction to achieve a U-value of 0.18 W/m²K
-Allowance to be made within the tender return for the removal of the existing 'outhouse' roof structure. Existing slate roof coverings to be retained for re-use.
-Allowance to be made for the supply and installation of new roof timbers (note: roof angle to be re-profiled to allow for a minimum 2200mm clear internal head height at eaves level. Roof timber size and strength classification to be confirmed by the Structural Engineer (assumed 125mm deep?)
-125mm Kingspan Kooltherm K7 pitched roof board (or similar approved) sat within the rafters.
-32.5mm insulated plasterboard to be fitted to the underside of the rafters.
-16mm pressure treated softwood sarking boards to top of rafter
-Supply and installation of pressure treated battens (38x25mm)
-Proprietary breather membrane
-Slavaged roof slates applied to finish, slates fixed with copper nails. Note all slate works to be undertaken/executed in accordance with British Standard 5534.
-Allowance to be made for the supply and installation of a VELUX GGL UK04 SD5N2 White Painted Conservation Window For Slate finish roofs - Size 550x980mm

-Allowance to be made for all appropriate lead-work to new roof construction, i.e. flashing and abutments. All leadworks to be undertaken in accordance with LSA (Lead work association details and specification).
-Allowance for the supply and installation of 'Alumasc' aluminium gutter and Rainwater systems - Half round Gutters with circular down pipes and associated hoppers - Finished Colour - Black

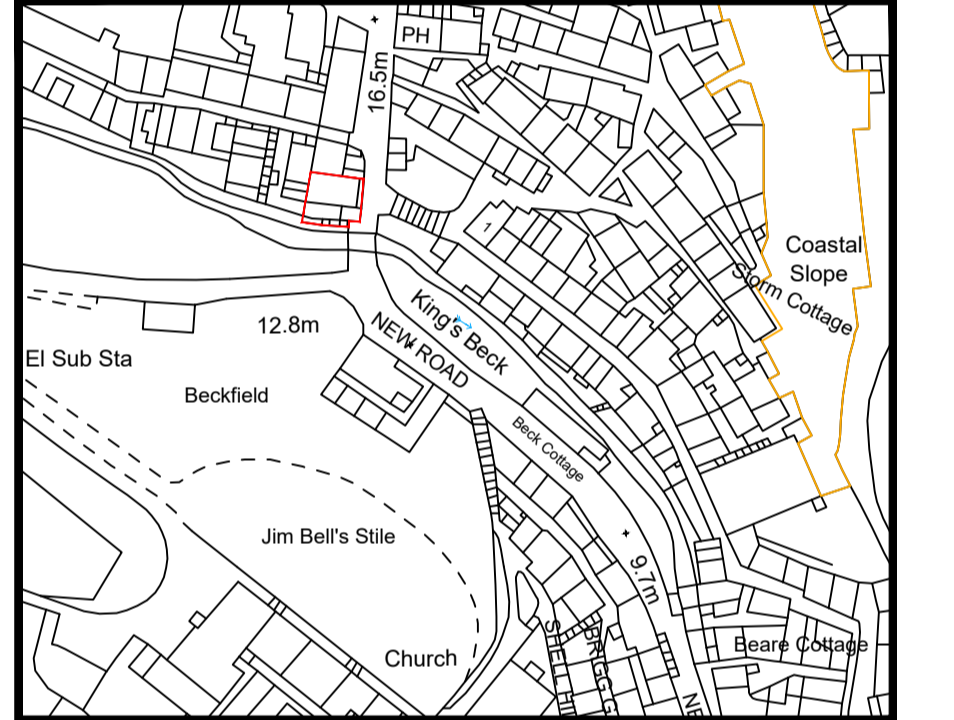
Lower Ground Floor - Continued
WC
-PC sum allowance of £1K for the supply and installation of a sanitary appliances to the new Lower Ground Floor Wc.
-Note: Allowance to be made for the connection of the new sanitary ware to the existing system.

Kitchen/Utility Units and associated appliances
-PC sum allowance of £10K for the supply and installation of a new Kitchen. Final layout and specification to be provided/confirmed by the client.
-Allowance to be made for the undertaking of the appropriate associated drainage connections to the existing system
-Note: Allowance to be made for the lifting and localised repair to the quarry tiled floor following kitchen drainage installation.
-Allowance to be made for the formation of trimming out within the First Floor structure to accommodate the proposed 'Micro lift'.
-Note: Micro lift to be supplied and installed by a specialist manufacturer (do not make allowance for the provision of this item within the tender return).

Ground Floor
-Allowance to be made for the exposing of the original stone chimney breast (West). Floor to ceiling.
-Allowance to be made for the removal of window GF07 and replacement with a new hardwood window to match the configuration of GF08, new window to be opaque colour glazing.

First Floor
-PC sum allowance of £5K for the supply and installation of a new bathroom suite, associated drainage connection and wall tiling.
-Allowance to be made for the exposing of the original stone chimney breast (West & East). Floor to ceiling.

Attic Floor/Storey
-PC sum allowance of £5K for the supply and installation of a new bathroom suite, associated drainage connection and wall tiling.
-All other proposed works to the attic storey are detailed in working drawing 2020-ID-17-WD003.



Site Location Plan - Scale 1:1250

General Note:
All of the above information is based upon third party consultant information, namely:
GEO Survey Ltd - Land & Measured Building Surveyor drawings:
-20039-13-E-GA Bridge End House Existing Topographical Survey
-20039-13-B-LG Bridge End House Existing Ground Floor GA
-20039-13-B-G Bridge End House Existing Ground Floor GA
-20039-13-B-1 Bridge End House Existing First Floor GA
-20039-13-B-2 Bridge End House Existing Second Floor GA

-All dimensions are to be checked and verified on site prior to construction/manufacture
-This drawing sheet is to be read in conjunction with 2020-ID-17-WD002 and WD03
-This drawing is to be read in conjunction with Peter Vincent Design Document - Bridge End House - Structural Inspection.
-This drawing is to be read in conjunction with Pinnacle Construction property report/findings PC20051
-This drawing is to be read in conjunction with the appropriate Refurbishment and Demolition Asbestos document provided with tender

Date	December 20	Drawn	NWH
Scale	1:50 @ A1	Checked	NWH

Project
Bridge End House, New Road, Robin Hoods Bay, Whitby

Drawing Title
Working Drawing - Proposed General Arrangement drawings

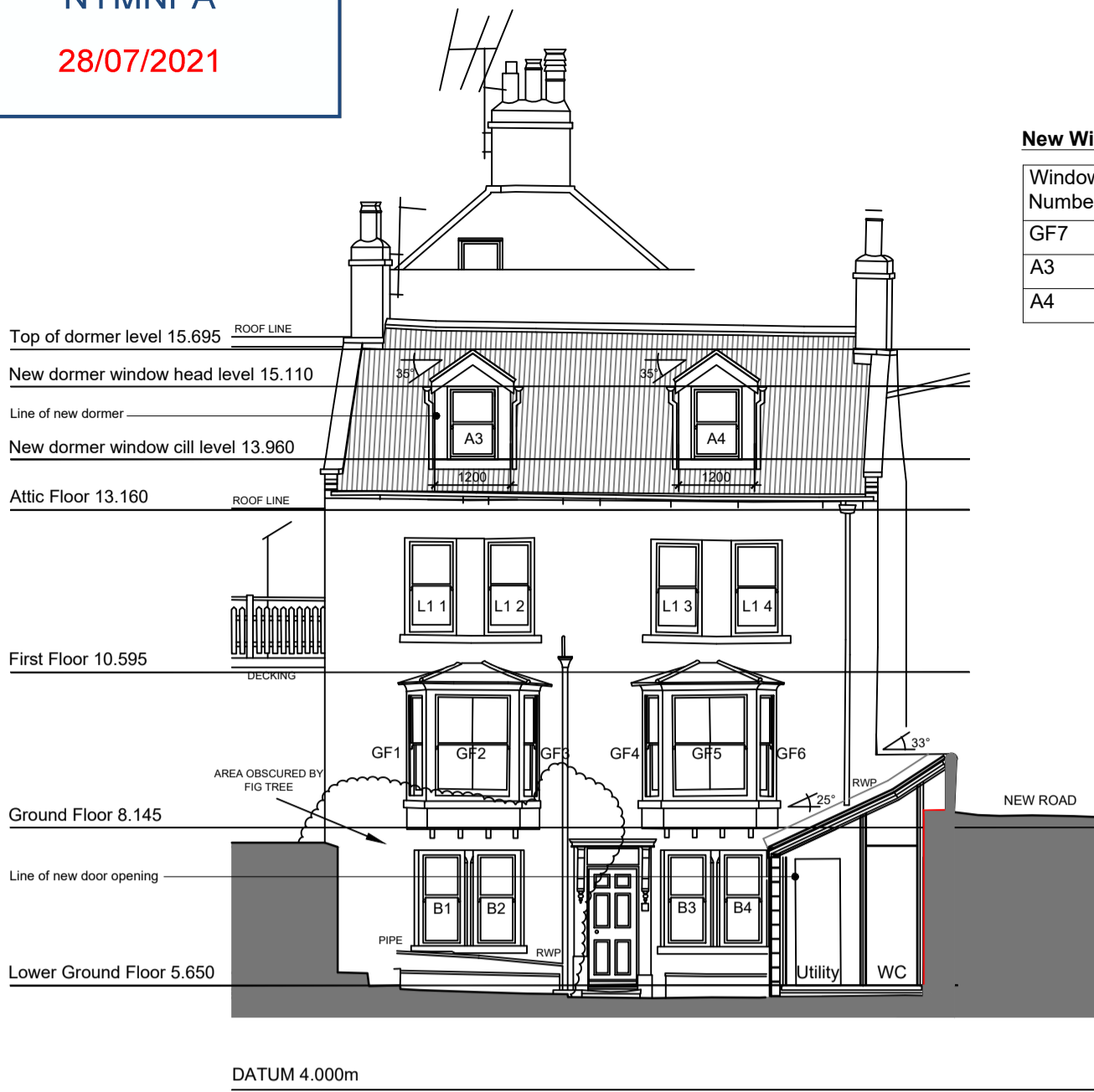
Drawing No
2020-ID-17-WD001

CONSTRUCTION

sleDesign architecture

CIAT
CHARTERED PRACTICE

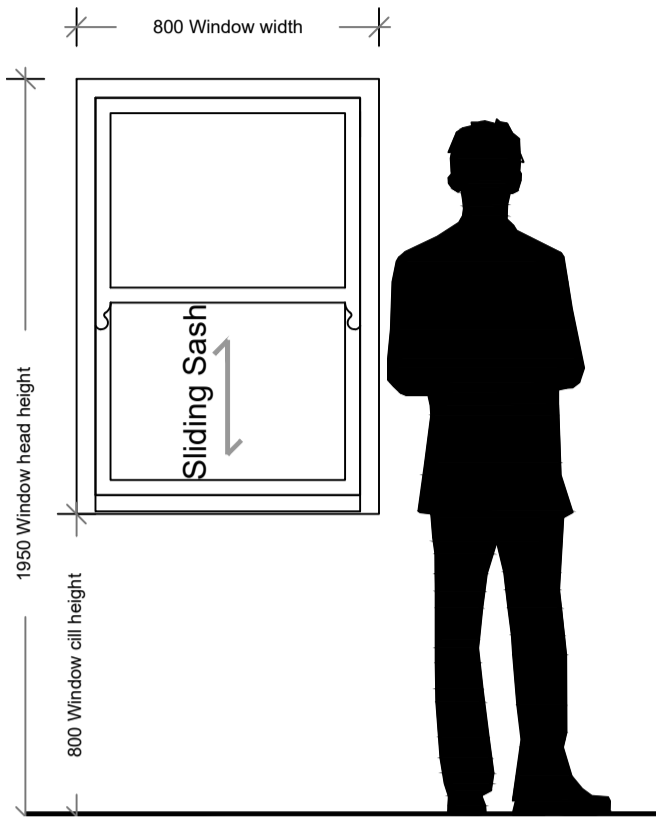
No 12 High Street, Epworth, North Lincs
CIAT Chartered Membership No: 015669



DATUM 4.000m
Proposed Front Elevation (Kings beck elevation)

New Windows:

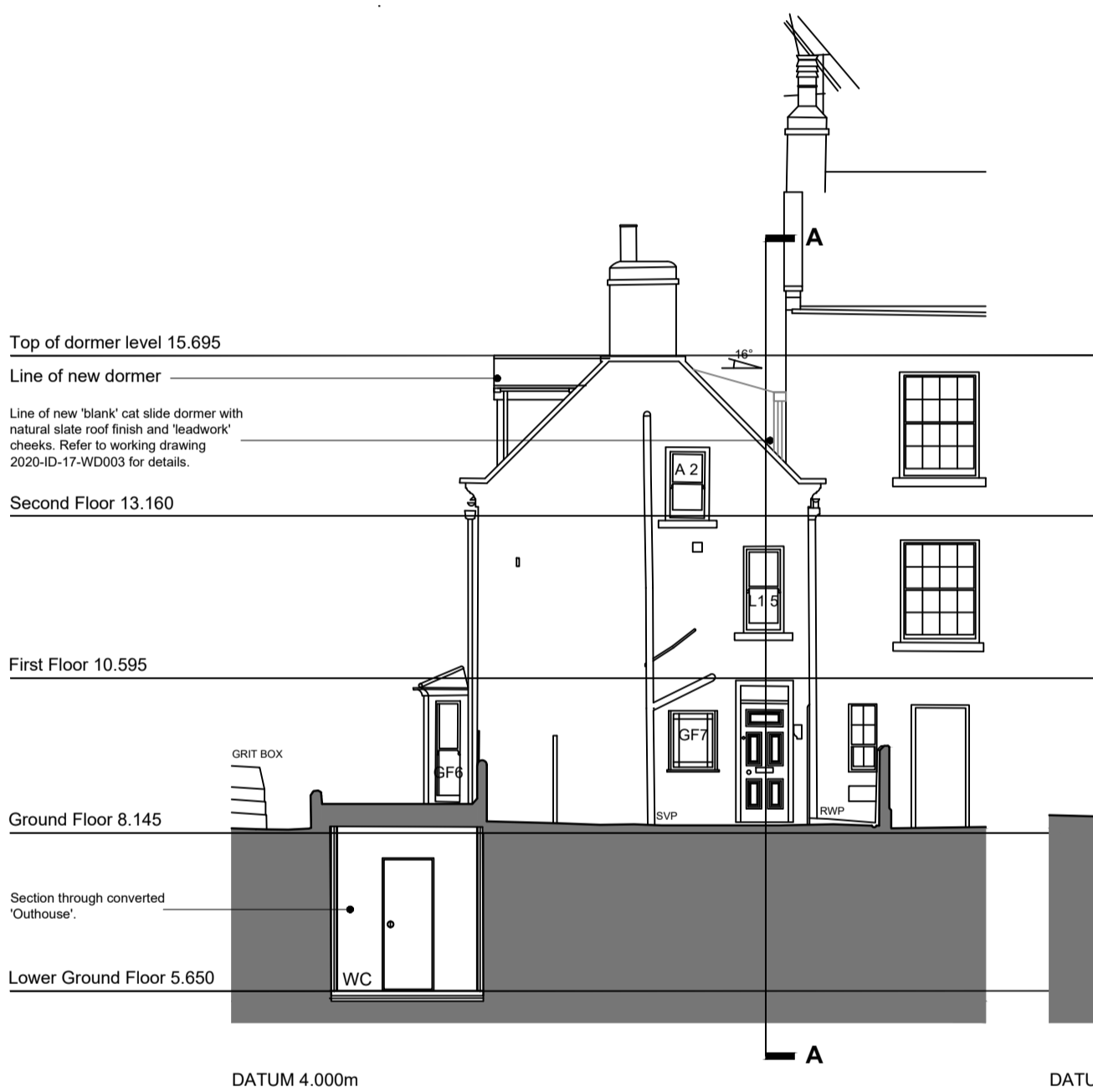
Window Number	St Opening Height	St Opening Width	Cill level From FFL	Hard wood	Special requirements
GF7	935	700	995	✓	Detail and colour glass to replicate GF8 & L 6
A3	1150	800	800	✓	Sliding sash to match existing fenestration
A4	1150	810	800	✓	Sliding sash to match existing fenestration



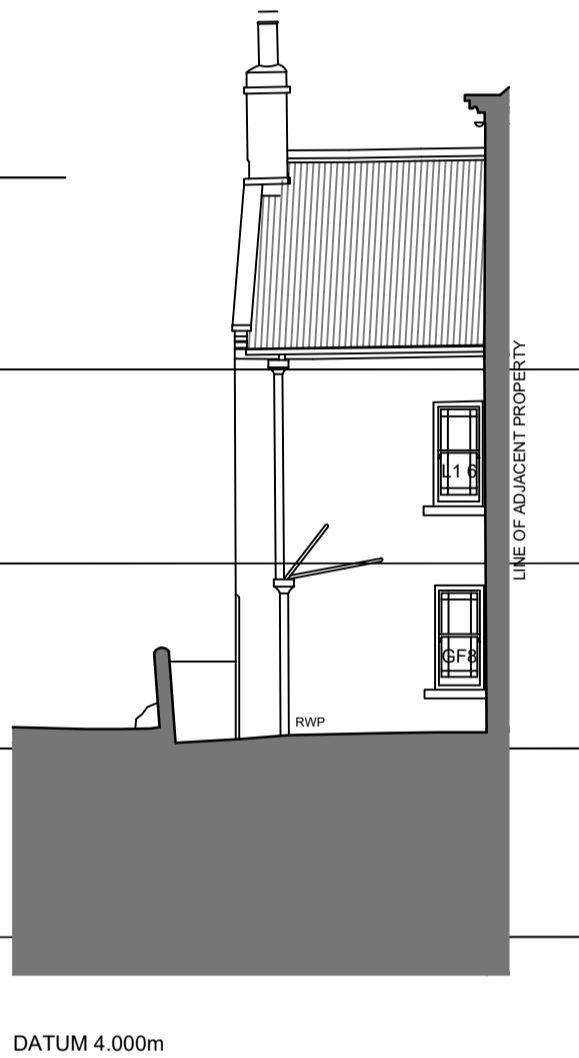
New sash window detail
Window Number A3 & A4 - Scale 1:20

General Notes/Specification

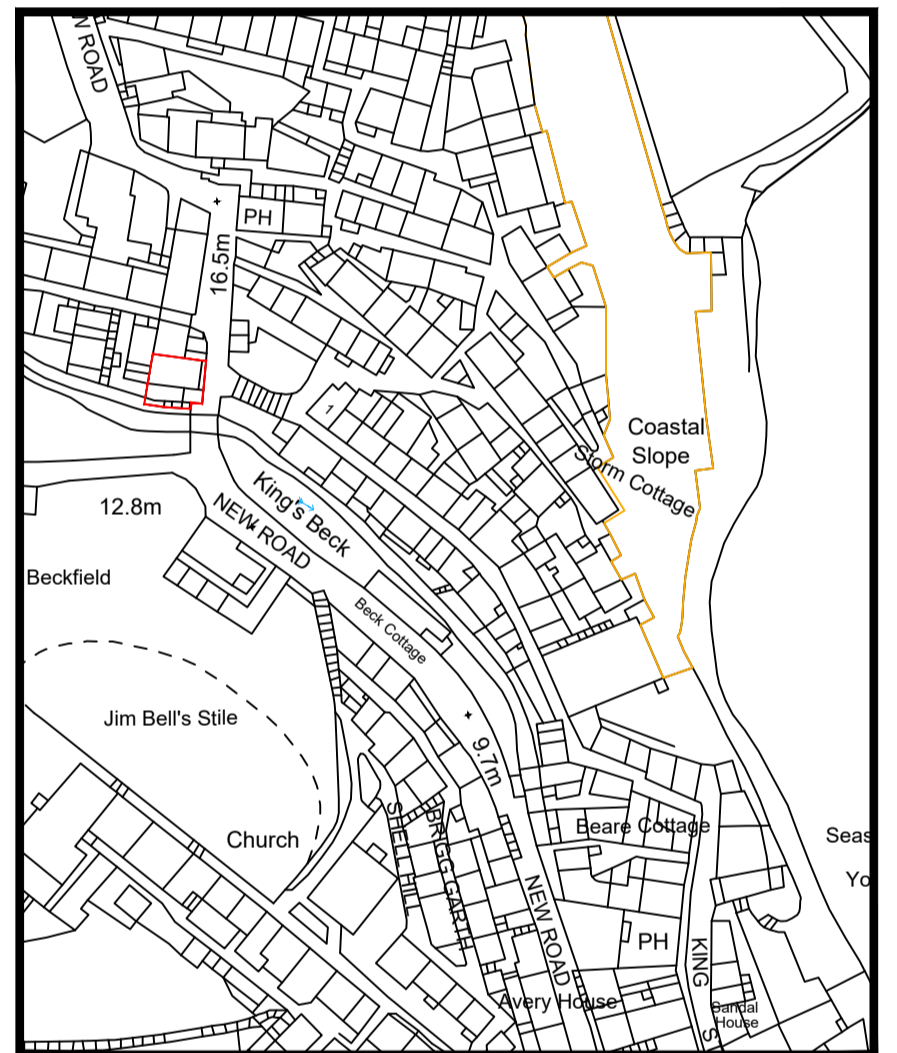
- Render**
-Allowance to be made within the tender return to hack off circa 150mm of render around the base of each elevation (in order to reduce damp penetration into the wall).
-Allowance to be made for the supply and installation of a bell cast bead at this level in order to neaten up this junction.
- Removal of loose paintwork**
-All loose render/paintwork to be removed by wire brush.
- Hairline crack repair specification**
-All identified rough cast render hair line cracks to be filled/repared with lime based 'Rowland Premix' or similar approved.
- Existing natural stone window surrounds/Cills**
General clean
-All existing stone surrounds and cills to receive a light/sympathetic paint removal in order to reveal the natural stone element beneath.
- Fenestration**
-Allowance to be made for the remediation/refurbishment of all existing fenestration. All works in accordance with Pinnacle Conservation report/ document reference 'PC20051' dated 12th October 2020.
- Decoration to exterior**
Render/Masonry Preparation & Finish Specification
-Apply one coat of 'Farrow & Ball' Exterior Masonry & Plaster Stabilising Primer (or similar approved) to all rendered areas.
-Apply two coats of 'Farrow & Ball' Exterior Masonry paint (or similar approved) using a brush or roller, taking care not to apply too thickly in hollows and angled sections.
-On application of the final coat, lay off the paint in a single direction.
-Render finished colour - Farrow & Ball - No 67 Farrow's Cream (or similar approved)
- Timber Preparation & Finish Specification**
-Apply one full coat of 'Farrow & Ball' Exterior Wood Primer & undercoat (or similar approved) in the correct colour tone for the top coat.
-Allow a minimum of four hours drying time between coats
-Add two coats of 'Farrow & Ball' (or similar approved) exterior eggshell
-Allow a minimum of four hours drying time between coats
-Fenestration and Lower Ground floor external doors finished colour - Farrow & Ball - French Gray (Outer) or similar approved.
-Fascia boards finished colour - Farrow & Ball - Down Pipe Grey or similar approved
-Ground Floor External door (to New Road) - Farrow & Ball - Down Pipe Grey or similar approved
- Ferrous metal Preparation & Finish Specification**
- Apply two coats of 'Farrow & Ball' Metal Primer & undercoat (or similar approved) in the correct colour tone for the top coat.
- Allow a minimum of four hours drying time between coats
- Add two coats of 'Farrow & Ball' (or similar approved) exterior eggshell
- Allow a minimum of four hours drying time between coats



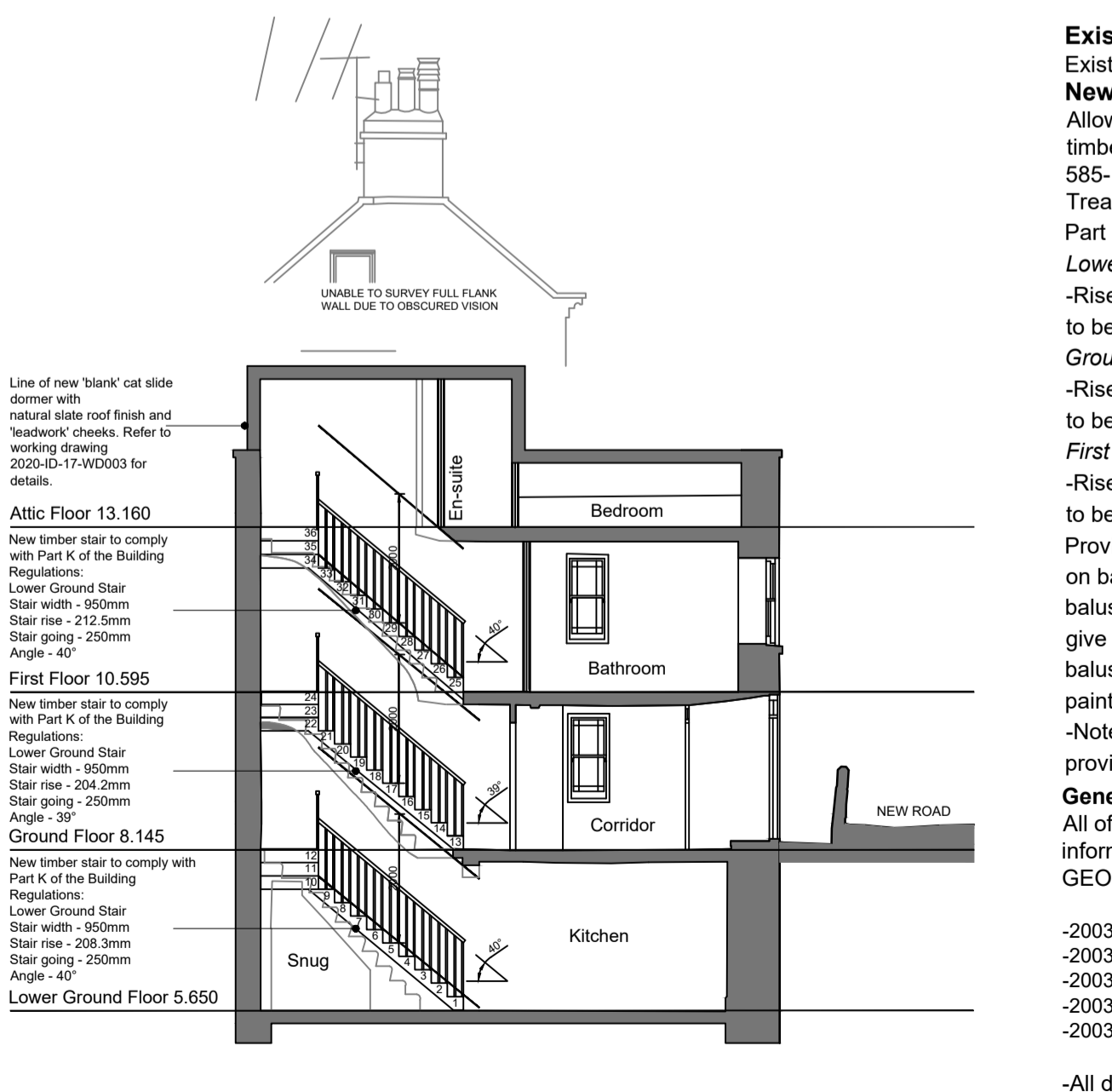
DATUM 4.000m
Proposed Side Elevation (New Road Elevation)



DATUM 4.000m
Proposed Rear Elevation (New Road Elevation)



Site Location Plan - Scale 1:1250



DATUM 4.000m
Section A-A (General Section)

Denotes existing structure to be demolished and or Fixtures and fitting removed

Existing stair

Existing stairs to be removed from all floors.

New staircase

Allowance to be made for the supply and installation of a bespoke timber staircase with closed flights designed in accordance with BS 585-1:1989 & BS 585-2:1985.

Treads and risers to be oiled hardwood (Oak). Approved document Part K compliant 'private stair' meeting the following requirements:

Lower Ground - Ground flight

-Rise of 208.3mm and going of 250mm with regular Maximum pitch to be no greater than 40 degrees. - Stair width - 950mm

Ground - First floor flight

-Rise of 204.2mm and going of 250mm with regular Maximum pitch to be no greater than 39 degrees. - Stair width - 950mm

First - Second floor flight

-Rise of 212.5mm and going of 250mm with regular Maximum pitch to be no greater than 39 degrees. - Stair width - 950mm

Provide a minimum 900mm high (above stair string) single handrail on balustrade to stairs and 900mm high balustrade to landings. All balusters to be vertical, securely fixed and to be constructed to give 99mm max. gap between balusters in open balustrades. Allowance within the tender for oak handrail and painted balustrade.

-Note: Clear head height of 2000mm above stair string to be provided at each level.

General Note:

All of the above information is based upon third party consultant information, namely:
GEO Survey Ltd - Land & Measured Building Surveyor drawings:

- 20039-13-E-GA Bridge End House Existing Topographical Survey
- 20039-13-B-LG Bridge End House Existing Ground Floor GA
- 20039-13-B-G Bridge End House Existing Ground Floor GA
- 20039-13-B-1 Bridge End House Existing First Floor GA
- 20039-13-B-2 Bridge End House Existing Second Floor GA

- All dimensions are to be checked and verified on site prior to construction/manufacture
- This drawing sheet is to be read in conjunction with 2020-ID-17-WD001 and WD03
- This drawing is to be read in conjunction with Peter Vincent Design Document - Bridge End House - Structural Inspection.
- This drawing is to be read in conjunction with Pinnacle Construction property report/findings 'PC20051' dated 12th October 2012.
- This drawing is to be read in conjunction with the appropriate Refurbishment and Demolition Asbestos document provided with tender

Rev	Details	Date	By	Chk
A	Drawings status updated to 'Construction'. New sash window 1:20 detail added	25/07/21	NWH	NWH

Date	December 20	Drawn	NWH
Scale	1:100@ A2	Checked	NWH

Project

Bridge End House, New Road,
Robin Hoods Bay, Whitby

Drawing Title

Working Drawing -
Proposed Elevations and General Sections

Drawing No

2020-ID-17-WD002

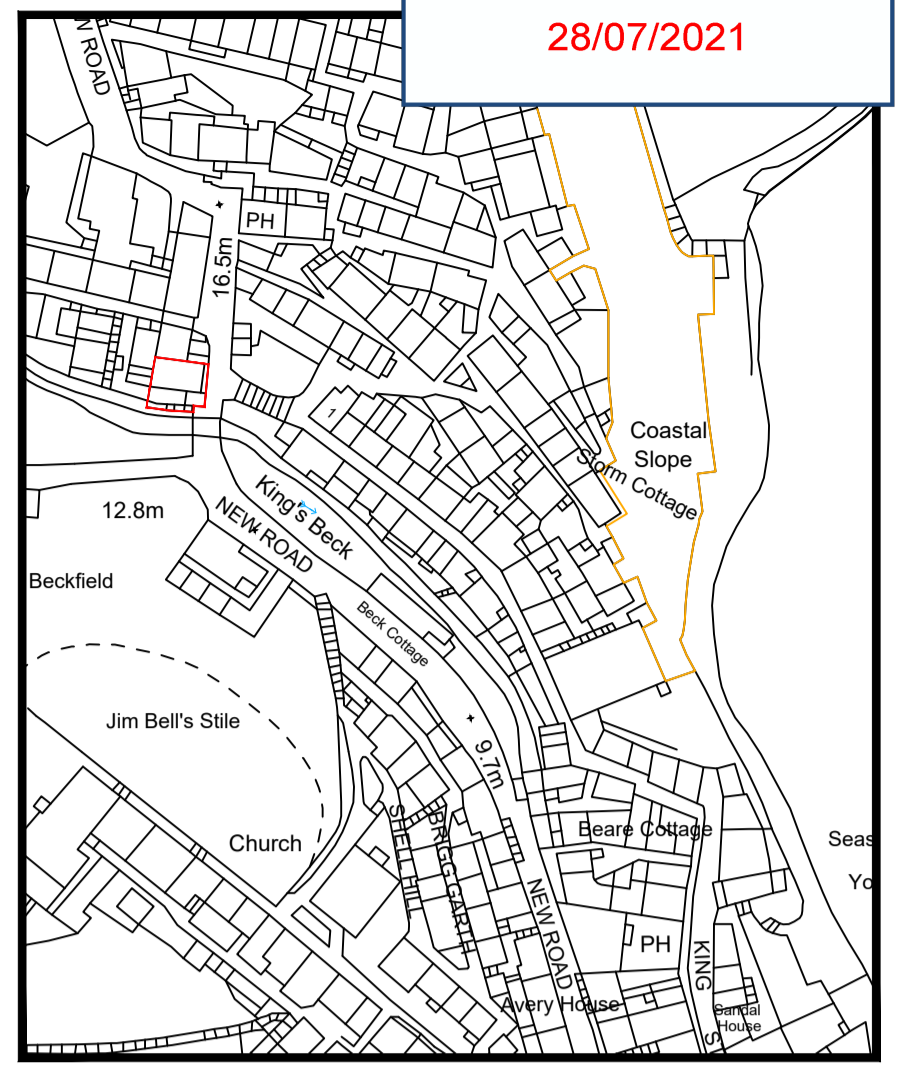
Rev
A



No 12 High Street, Epworth, North Lincs

CIAT Chartered Membership No: 015669

CONSTRUCTION



Site Location Plan - Scale 1:1250

Roof Construction - Construction to achieve a U-value of 0.18 W/m²K
 -Ridge Beam Single 50x225mm C24
 -Rafters - 50x125mm C16 @ 600mm centres
 -Purlins - 2x50x225mm C24 - bolted together with M16 94.6) @ 400mm centres (All to Structural Engineers details and specification).
 -125mm Kingspan Kooltherm K7 pitched roof board (or similar approved) sat within the rafters.
 -32.5mm insulated plasterboard to be fitted to the underside of the rafters.
 -18mm pressure treated softwood sarking boards to top of rafter
 -Proprietary breather membrane
 -Pressure treated roofing battens (38x28mm)
 -Salvaged roof slates applied to finish, slates fixed with copper nails. Note all slate works to be undertaken/executed in accordance with British Standard 5534.

Conservation Roof lights
 -Allowance to be made for the supply and installation of 1 number 'Conservation Roof Light - Profile CR07 2' - Steel treated with a hot zinc spray due to coastal location - Colour - Black

Dormer Cheeks - Construction to achieve a U-value of 0.18 W/m²K
 Inner
 -32.5mm insulated plasterboard and skim
 -140x38mm softwood timber frame
 -110mm of Kingspan Kooltherm K12 Framing Board or similar approved.
 -18mm external grade plywood
 -Proprietary breather membrane
 -Code 5 lead work finish with rolled/standing seam connection details if required.

Chimney works -
 -Allowance to be made in the tender for re-fixing/re-haunching all existing chimney pots. Allowance to be made for re-pointing of stonework to chimneys if required.

Copings -
 -Allowance to be made in the tender for re-pointing of all of the existing coping stones

New Rain water Goods
 -Allowance or the supply and installation of 'Alumasc' aluminum gutter, hopper and Rainwater down pipes - Half round Gutters with circular down pipes and associated hoppers. - Finished Colour - Black

General Note:
 All of the above information is based upon third party consultant information, namely:
 GEO Survey Ltd - Land & Measured Building Surveyor drawings:
 -20039-13-E-GA Bridge End House Existing Topographical Survey
 -20039-13-B-LG Bridge End House Existing Ground Floor GA
 -20039-13-B-G Bridge End House Existing Ground Floor GA
 -20039-13-B-1 Bridge End House Existing First Floor GA
 -20039-13-B-2 Bridge End House Existing Second Floor GA
 -All dimensions are to be checked and verified on site prior to construction/manufacture
 -This drawing sheet is to be read in conjunction with 2020-ID-17-WD001 and WD02
 -This drawing is to be read in conjunction with Peter Vincent Design Document - Bridge End House - Structural Inspection.
 -This drawing is to be read in conjunction with Peter Vincent Design Document - Bridge End House - Structural Calculations.
 -This drawing is to be read in conjunction with Pinnacle. Construction property report/findings 'PC20051' dated 12th October 2012.
 -This drawing is to be read in conjunction with the appropriate Refurbishment and Demolition Asbestos document provided with tender

Rev	Details	Date	By	Chk
B	Drawings status updated to 'Construction'. New roof light specification and schedule added to drawings	25/07/21	NWH	NWH
A	Structural Engineers information added to drawing along with Conservation Officer requirements.	February	NWH	NWH

Date	December 20	Drawn	NWH
Scale	1:50@ A2	Checked	NWH

Project
 Bridge End House, New Road,
 Robin Hoods Bay, Whitby

Drawing Title
 Working Drawing -
 Proposed Roof works/re-configuration

Drawing No
 2020-ID-17-WD003



No 12 High Street, Epworth, North Lincs

CIAT Chartered Membership No: 015669

ROOF LIGHT SCHEDULE

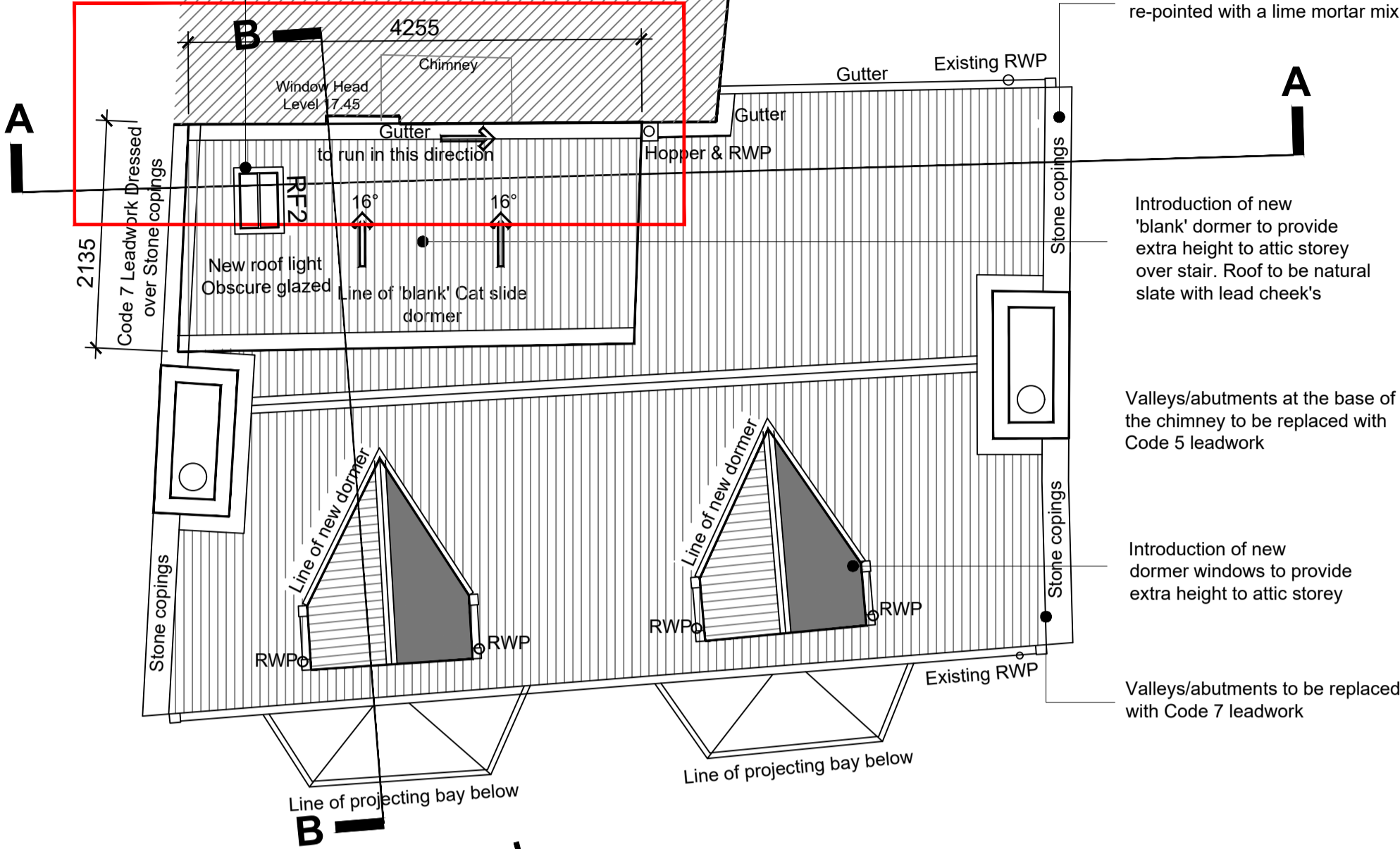
Roof lights:

Roof Light Number	St Opening Length	Width	Zinc Sprayed	Special requirements
RF 001	622	463	✓	Coastal spec, size CR07-2, Obscure glazing, frame colour: black
RF 002	622	463	✓	Coastal spec, size CR07-2, Obscure glazing, frame colour: black

Conservation Roof Light - Profile CR07 -2 463(W)x622(L). Steel treated with a hot zinc spray coating - Colour - black - Obscure Glazed

Proposed leadwork detail to this area in abeyance. Detail to be resolved through the LBC application.

Adjoining Property (Grade II listed)



Proposed Roof General Arrangement Scale 1:50

All existing coping stones to be re-pointed with a lime mortar mix

Introduction of new 'blank' dormer to provide extra height to attic storey over stair. Roof to be natural slate with lead cheek's

Valleys/abutments at the base of the chimney to be replaced with Code 5 leadwork

Introduction of new dormer windows to provide extra height to attic storey

Valleys/abutments to be replaced with Code 7 leadwork

Roof Structure
Purlins
 2x50x225mm C24 - bolted together with M16 94.6) @ 400mm centres
Ridge Beam
 Single 50x225mm C24
Rafter
 50x125mm C16@ 600mm centres
Centre beam
 254x146 UB37 to sit in line with assumed central king post truss.

Code 7 lead valley gutter attached to adjoining party wall. Lead-work dressed a minimum of 150mm above gutter line.

Proposed Cat slide dormer attached to the party wall in order to provide the necessary headroom over the stair and avoid future potential maintenance issues. Cat slide dormer to be constructed from insulated timber frame construction. Section sizes and connections to Structural Engineers details and specification.

Re-configured stair flight

Picture dormer window constructed of insulated timber frame construction. All to specialist manufacturers details and specification.

New dormer window head level 15.110

New dormer window cill level 13.960

New dormer window cill level 13.960

Attic Floor 13.160

Proposed Section B-B - Scale 1:50

Roof Preparatory Works - (General)

Structural assessment:
 -Prior to the undertaking of any works the 'Contractor' is to satisfy themselves (with reference to the Structural Engineers analysis/report) that the structure is safe to work upon/within.
Asbestos based material:
 -Prior to the undertaking of any works the contractor is review and make reference to the provided Asbestos R&D survey.
Services:
 -Locate and identify all services, including hidden services within the work areas.
 It is the responsibility of the contractor to identify any services which may be present and ensure that all of the necessary services are protected to the areas of the works.
 -Isolate all services in areas that represent a hazard to workers to facilitate the works.
 Allow for the reconnection testing and certification of all effected services upon completion of the works. Note: Service isolation must be localised to the work areas only.
Stripping:
 -Allowance to be made for the stripping off of all existing slates, ridge tiles from all slopes. Sort and store the salvageable slates, ridge tiles at ground level for potential re-use elsewhere on the project.
 -Strip and dispose of all existing timber roof battens and roofing felt.
 -Strip off all associated lead work soakers and flashing's. Note: For the purposes of tender please assume that all removed lead materials will be retained by the Client.
 Once revealed the condition of all exposed timber structures are to be investigated by the contractor. A full condition survey of the existing roofing substrate (sarking boards, roof timbers) is to be undertaken, recorded, and reported to the client for information. All timbers are to be inspected by a specialist timber infestation consultant once exposed to establish if any treatment is required. Reference is to be made to the Structural Engineers details following roof strip with proposed works viability confirmed.

Note: Should evidence of any bats and or bird nesting be discovered during the roofing preparatory works works should stop immediately and advice sort from a suitably qualified Ecologist.

Re-finish instatement works (General)

Roof covering and associated details:
 -Install .
 -Install new pressure treated timber tile battens, note batten dimension to replicate existing.
 -Recover the roof areas in 25% salvaged slate and 75% imported salvaged slate. Imported slate to be of the same colour, dimension and gauge of the existing retained slate for continuity.
 -Charcoal ridge tiles to be installed, profile and dimension to match the existing exactly.
 -All welsh slate is to comply with BS EN 12326-1:2014 Slate and stone for discontinuous roofing and external cladding. Specifications for slate and carbonate slate.
 -All slates and tiles to be installed in accordance with BS 5534:2003 Code of Practice for slating and tiling
 -Samples of both the natural Welsh slate, charcoal ridge and hip tiles are to be submitted to the LPA Conservation Officer for approval/comment prior to installation.
Leadworks:
 -Renew all lead work soakers, flashing, valley, parapet gutters and abutments in 'Code 7 lead work.Refer to specific junction details for further information.
 -All new sheet lead work and detailing are to be designed to meet with current British Code of Practice BS 6915 in all aspects and are to meet with the guidance of the Lead Sheet Association (LSA). All lead material is to be in accordance with BS EN 12588:2006 'Lead and lead alloys. Rolled lead sheet for building purposes' and of 'Code 7'.
 All new lead work to be dressed a minimum of 150mm above adjacent/associated roof finish level at abutments.
 All new lead work to be finished in patination oil.
General Note:
Pointing Works (Party Wall)
 All re-pointing required to the Party Wall following roof re-configuration works to be quicklime based mortar (calbux 90 or similar approved) mixed at 1:3 (quicklime: aggregate).
 -All proposed works to the adjacent party wall are to be strictly undertaken in accordance with the details approved by the Listed Building Consent decision notice