

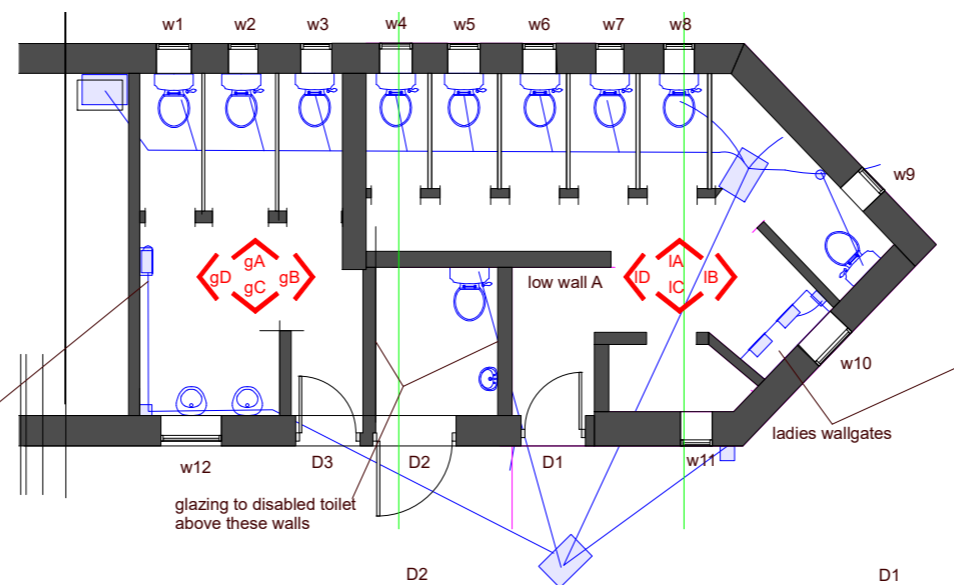
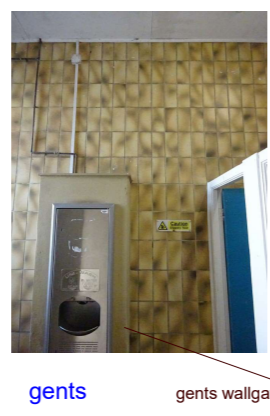
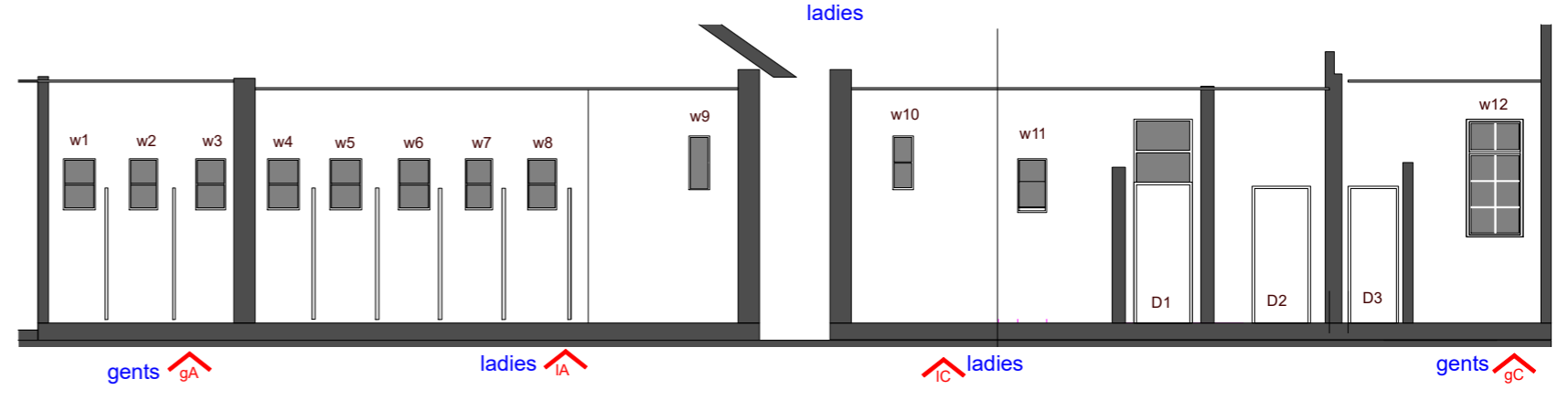
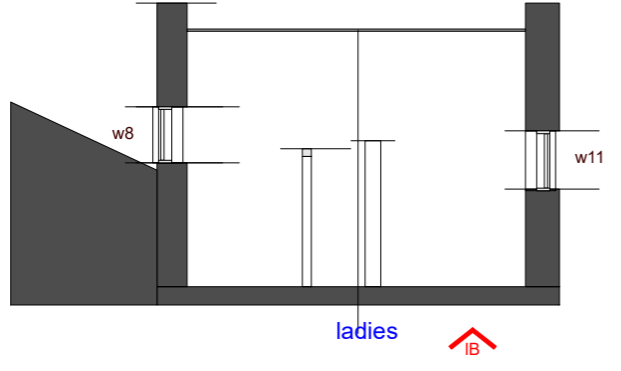
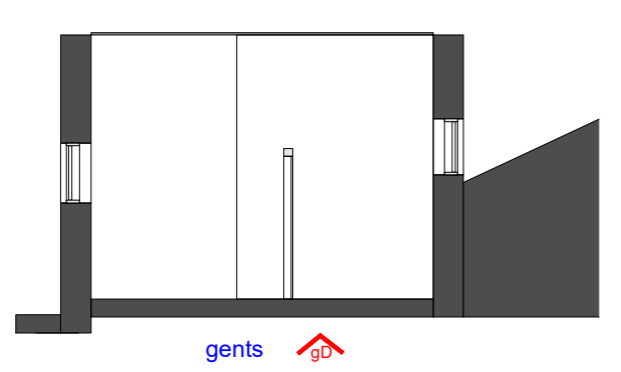
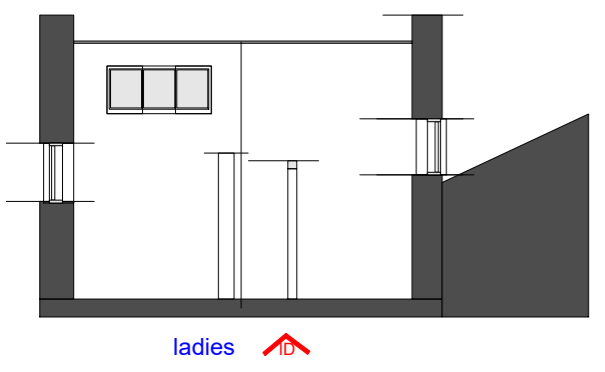
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Serial No: 219813
Centre Coordinates: 495294, 504862
Production Date: 29/07/2021 11:36:40

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Centre Coordinates: 495294, 504862
Production Date: 29/07/2021 11:36:52

NYMNPA
02/08/2021



NYMNP
02/08/2021



scale 1: 100@A3
1 - existing building
refurbishment of robin hoods bay public toilets robin hoods bay bottom

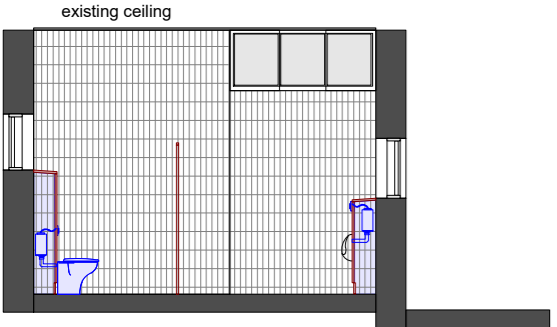
ceiling finishes

Crown Trade Clean Extreme Anti Bacterial Acrylic Eggshell x 2 coats
SURFACE PREPARATION Loose and failing material All surfaces must be clean, dry and free from anything that will interfere with the adhesion of the materials to be applied. Remove loose and failing material by scraping or brushing with a stiff bristle brush to a sound edge. Feather sound edges with a fine grade abrasive paper. Remove all dust.
 Organic growth Crown Trade Fungicidal Solution Remove all visible signs of organic growth and treat the areas with Crown Trade Fungicidal Solution in accordance with the manufacturer's instructions. Allow to dry.
 Small repairs to gypsum plastering Proprietary plastering system Remove any small areas of loose gypsum plastering. Remove all dust. Dampen edges and areas to be made good. Make good with a proprietary plastering system mixed and applied in accordance with the manufacturer's instructions. Allow to dry.
 Graffiti, nicotine, water or smoke stained surfaces- solvent borne primer Crown Trade Alkali Resisting Sealer All surfaces must be clean, dry and free from anything that will interfere with the adhesion of the materials to be applied. Wash with hot water and liquid detergent solution to remove any contaminants, frequently changing the water. Rinse thoroughly with clean water to remove all residues. Allow to dry. Apply one full coat of Crown Trade Alkali Resisting Sealer in accordance with the manufacturer's instructions to all offending areas. Allow a minimum drying time of 16 hours in normal drying conditions.

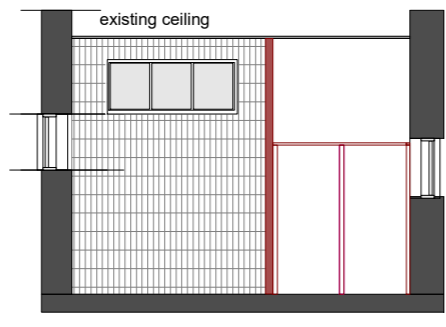
Graffiti, nicotine, water or smoke stained surfaces- water borne primer Crown Trade Grip Extreme Primer All surfaces must be clean, dry and free from anything that will interfere with the adhesion of the materials to be applied. Wash with hot water and liquid detergent solution to remove any contaminants, frequently changing the water. Rinse thoroughly with clean water to remove all residues. Allow to dry. Apply one full coat Crown Trade Grip Extreme Primer in accordance with the manufacturer's instructions to all offending areas. Allow a minimum drying time of 2 hours in normal drying conditions. Note: On heavily stained surfaces a second coat of Crown Trade Grip Extreme Primer may be required
 Remaining sound paint Wash with hot water and liquid detergent solution to remove any contaminants, frequently changing the water. Rinse thoroughly with clean water to remove all residues. Allow to dry. Note: Any glossy surfaces should be wet abraded to provide a key. Rinse thoroughly with clean water to remove all residues. Allow to dry.
 Cracks and surface defects Fill any cracks and small surface defects with Sandtex Trade Ready Mixed Filler or a fine surface filler as appropriate, in accordance with the manufacturer's instructions. Allow to dry. Rub down with a fine grade abrasive paper. Remove all dust. Patch priming- solvent borne primer Crown Trade Alkali Resisting Sealer Patch prime all bare and filled areas with one coat of Crown Trade Alkali Resisting Sealer in accordance with the manufacturer's instructions. Allow a minimum drying time of 16 hours in normal drying conditions.

Patch priming- water borne primer Crown Trade Grip Extreme Primer Patch prime all bare and filled areas with one coat of Crown Trade Grip Extreme Primer in accordance with the manufacturer's instructions. Allow a minimum drying time of 2 hours in normal drying conditions. Bring forward Bring forward patch primed areas with one coat of Crown Trade Clean Extreme Anti Bacterial Acrylic Eggshell. Allow a minimum drying time of 4 hours in normal drying conditions.
DECORATION Prepared sound clean surfaces Crown Trade Clean Extreme Anti Bacterial Acrylic Eggshell decoration - two coats Decorate with two coats of Crown Trade Clean Extreme Anti Bacterial Acrylic Eggshell in accordance with the manufacturer's instructions. Allow a minimum drying time of 4 hours between coats in normal drying conditions.

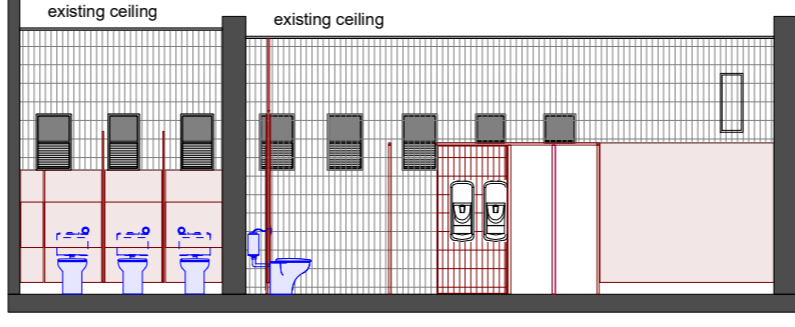
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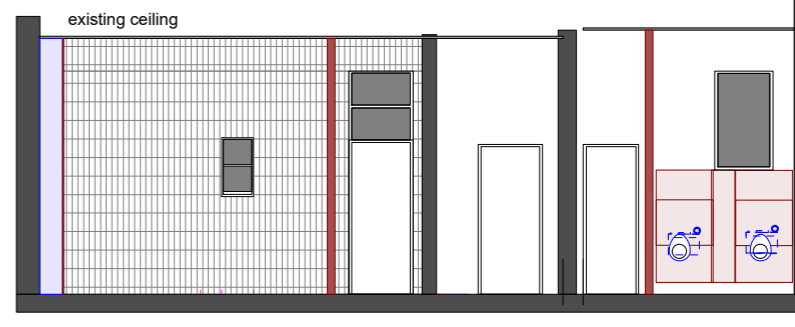
elevation of wall gB



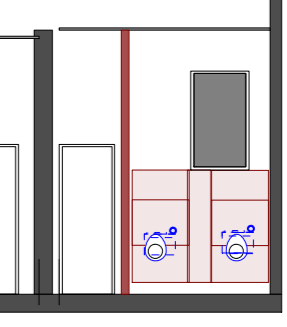
elevation of wall ID



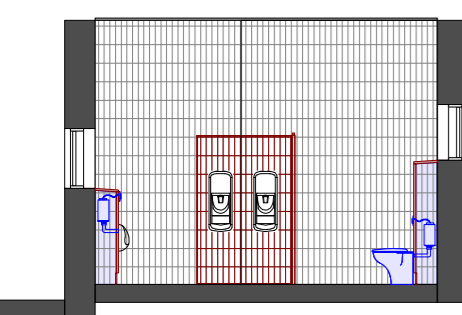
elevation of wall gA elevation of wall IA



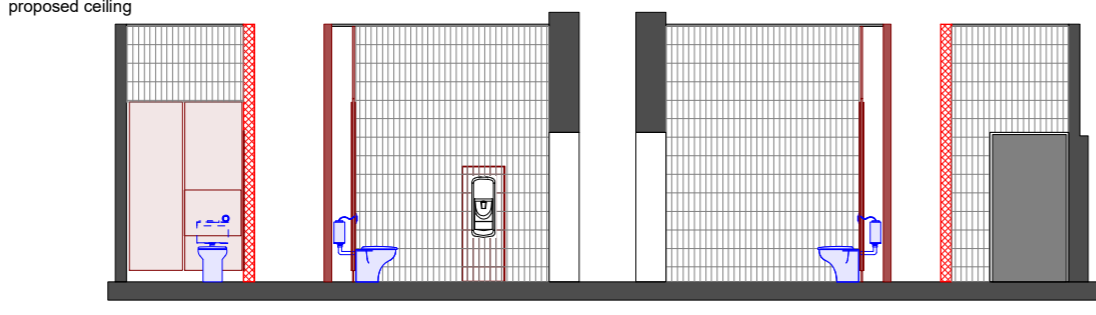
elevation of wall IC



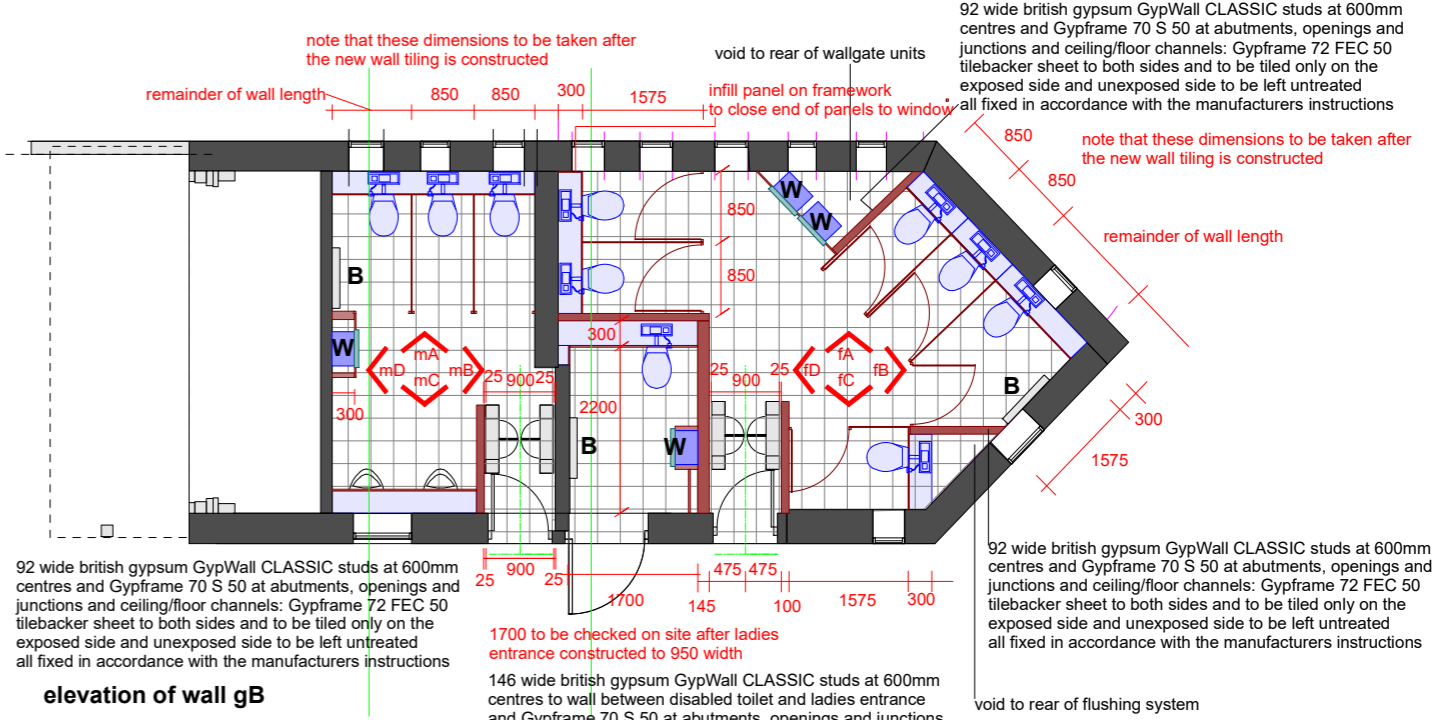
elevation of wall gC



elevation of wall gD



elevation of walls to disabled toilet area



elevation of wall gB

windows and door finishes
 Previously decorated timber surfaces All surfaces must be suitably dry, and free from anything that will interfere with the adhesion of the materials to be applied. Remove all loose, and failing or suspect paint. Prior to painting the moisture should not exceed 18%. Remove grey and denatured surfaces by rubbing down with abrasive paper or by mechanical means and round sharp edges 1-3mm. Feather edges of sound paint. Remove all dust. Organic growth must be removed and the area treated with Sandtex Trade Fungicide. Remove any defective putty glazing, clean and prime rebates, replacement putties must be allowed to form a hard skin. Treat knots with two thin coats of fresh knotting. Fill any fixing holes, open joints and shallow surface defects with Sandtex Trade Ready Mixed Filler or a two pack proprietary wood filler. Rub down with a suitable grade of abrasive paper. Remove all dust. Spot prime all bare areas with one coat of Sandtex Trade Flexible Primer Undercoat. Wash remaining sound paint with hot water and liquid detergent solution to remove any contaminants, frequently changing the water. Wet abraded to provide a key. Rinse with clean water to remove all residues. Allow to dry. Bring forward spot primed areas and undercoat overall with one liberal coat of Sandtex Trade Flexible Primer Undercoat.
COATING SYSTEM
 Previously painted woodwork Following appropriate surface preparation and spot priming, apply one liberal coat of Sandtex Trade Flexible Primer Undercoat overall and finish with two full coats of Sandtex Trade Flexigloss X-tra. APPLICATION Stir well before use. Apply by brush to an even thickness (a good quality bristle or suitable designed synthetic brush gives best results). Maintain a wet edge. On timber lay off in the direction of the grain.

new wall tiling to all exposed areas of new facilities to have british gypsum gyprframe lining framework with GL1 studs GL8 floor and top channel with GL2 bracket wall fixings to receive the 12.5 thick waterproof plasterboard and 12.5 thick glasroc H tilebacker lining system prior to applying the new wall tiling

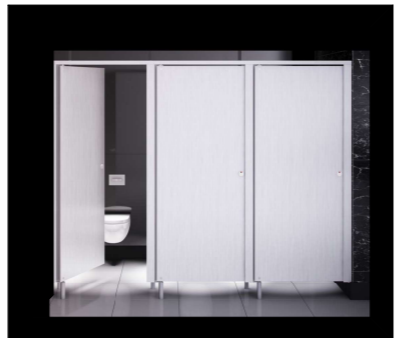
nofer horizontal baby change unit

wallgate hand wash unit

thrislington cubicles

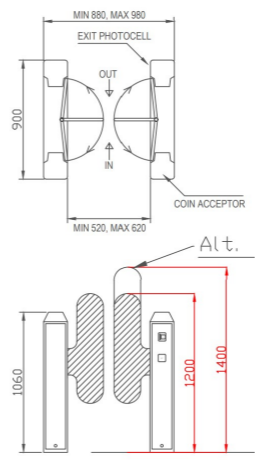


- Made of high quality HDPE (high density polyethylene), material highly resistant to use and with antibacterial protection.
- Dimensions closed: 500 height x 880 width x 100 depth (mm).
- Dimensions open: 500 height x 880 width x 490 depth (mm).
- Fastening materials included.
- Designed to withstand static loads of 30 kg.



healthmatic paddlegate entry system

paddlegate entry system to be 900 wide to male and female entrances



paddlegate entry system to be 900 wide to male and female entrances
 radar lock entry system to disabled toilet

- W** wallgate unit
- B** baby change unit
- note that all new gypwall classic structures are from floor level up to the existing ceiling level and fixed through the existing ceiling construction
- british gypsum GypWall CLASSIC as size specified with Gyprframe 70 S 50 at 600mm centres and Gyprframe 70 S 50 at abutments, openings and junctions and ceiling/floor channel: Gyprframe 72 FEC 50 tilebacker sheet to side to be tiled and unexposed side to have one layer of British Gypsum Moisture Resistant Plasterboard all fixed in accordance with the manufacturers instructions

note that the existing floor gullies retained

scale 1: 100@A3
 7 proposals - toilets and accessible toilet
 refurbishment of robin hoods bay public toilets robin hoods bay bottom



side elevation - east



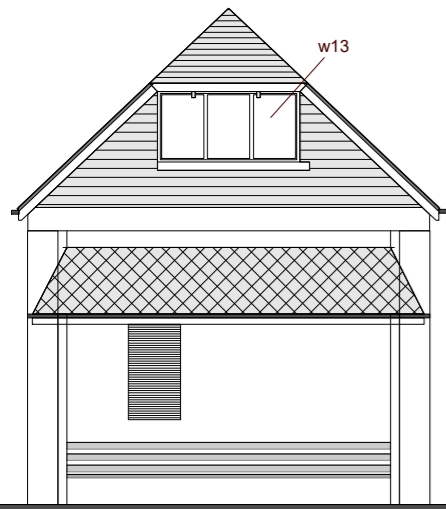
side elevation - east



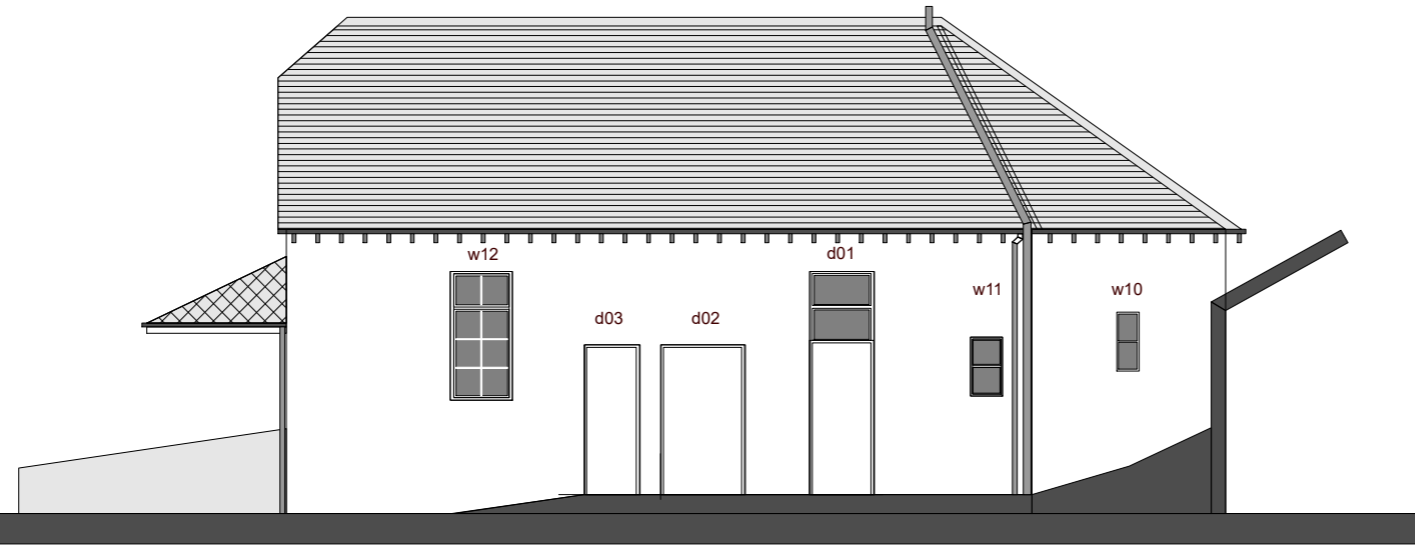
side elevation - east



front elevation - north



side elevation - east

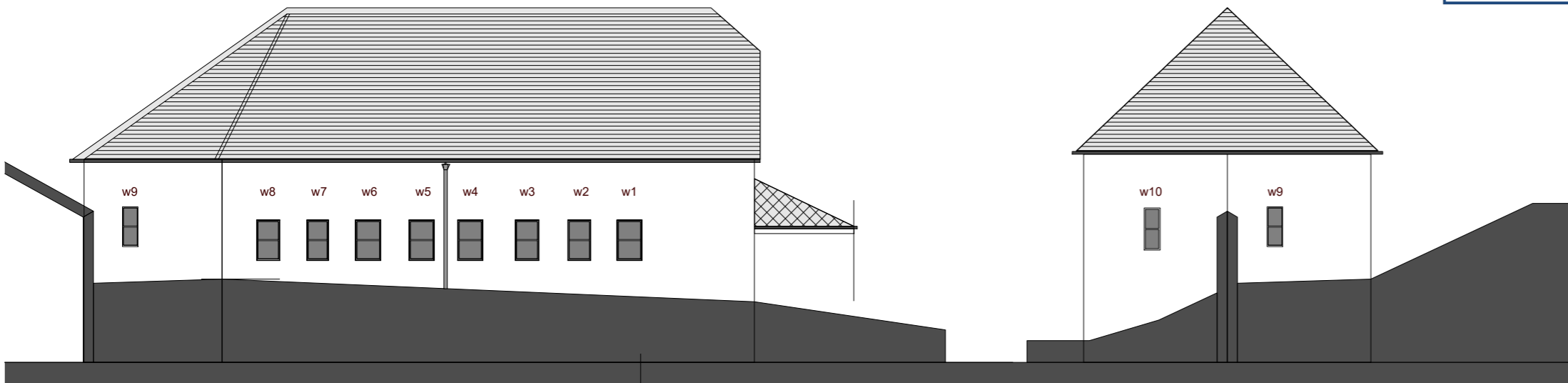


front elevation - north



front elevation - north

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rear elevation - south

side elevation - west



d03 d02 d01

front elevation - north

all new cast iron rainwater goods and above ground drainage pipes to be supplied by hargreaves foundry:

Hargreaves Foundry
 Water Lane,
 Halifax,
 West Yorkshire,
 HX3 9HG
Telephone: 01422 330607
Fax: 01422 320349
Email: info@hargreavesfoundry.co.uk

paint specification:
 The main functions of primers are to: At Hargreaves the primer paints used are RAL 7024 dark grey in colour and have been specifically formulated to create a barrier to corrosion. This is applied in factory conditions to a minimum Dry Film Thickness (DFT) of 40 microns. The primers can be overcoated with Epoxy, Polyurethane or Acrylic paints. Products are coated internally and externally. The primer coated supplied products are classed as a transit coating and provide short term protection during delivery and undercover storage. These products should not be left outside, exposed to damp, wet conditions or marine coastal environments. The end user – contactor / installer - should ensure that our primed products are over coated as soon as possible after delivery

All Hargreaves Foundry Drainage paint finishes are "Full Gloss" unless specifically requested by the customer. Where a coating with a reduced gloss level is used, our experience has shown that products will experience a shorter period before re-painting is required. (See note below) Hargreaves Premier Extra is a high solids, black gloss paint. This is our standard painted product and available off the shelf on a standard 3 to 5-day delivery. High solids gloss paints offer greater durability than paints with a lower solids content. All Premier Extra products are delivered with a matching tin of touch up paint to make good on any exposure of bare iron as a result of transit and installation.

galvanised downpipe protector 180 x 180 to be fitted around the rainwater pipes on the rear elevation where storage of boats etc have damaged the existing pipes and to have painted finish as the new rwp.

maintenance and care:
 Correct installation and maintenance are vital to ensure the effectiveness and longevity of your system. Any products delivered Primed only should be top coated as soon as possible. Products should always be top coated before installation to ensure all the surfaces have been coated. During installation and assembly of the product, any handling, scuffing or impact damage to the coating must be made good to maintain the integrity of the finished paint coating. Likewise, any cutting or drilling operations must be protected with paint immediately to prevent the onset of the rusting process. Following any cutting or drilling of the painted product, then cutting dust MUST be removed from the painted surface, otherwise any areas holding this dust will start to rust when exposed to moisture. This can give the impression that the gutter / pipe etc. is rusting, when in fact this is not the case. Mechanical Damage, gutters are particularly susceptible to edge damage if objects are placed against them. When components such as drainpipes or gutters misalign, they are no longer effective. Badly sealed and/or leaky joints are prone to further corrosion, freezing and deterioration.

Regular annual inspections / maintenance is recommended for all HF painted cast iron finishes, to ensure the protective properties of the coating are maintained. Vegetation growth can cause blockages in gullies, drains, downpipes and gutters eventually leading to flooding and potentially rising damp. Where excessive contamination is found then the frequency of inspections needs to be During these inspections the painted surface should be cleared of any film or increased, contaminant build and any areas of damage to the painted surface made good. The best method of cleaning is by regular washing of the coating using a solution of warm water and mild detergent. All surfaces should be cleaned using a soft cloth or sponge, using nothing harsher than natural bristle brushes. Strong solvent solutions Chlorinated Hydrocarbons Abrasive cleaners Note, under no circumstances should any of the following chemicals be used for cleaning purposes: Within a given local environment corrosion rates can vary markedly, parts of the building may be in the shade and so remains wet for longer periods. Prevailing winds may carry airborne contaminants (e.g. sea spray from the coast) predominantly on to one face of a structure. The frequency of cleaning is dependant on several factors, these include: Corrosion to components fixed into masonry Corrosion to underside surfaces of cast ironwork Corrosion to joints, fixings and other potential water accumulation points Annual inspections should also check for: The end user can significantly extend the paint coatings lifespan by appropriate over coating, with a good quality exterior paint once any signs of paint deterioration is observed.

CAST IRON PIPES FIXING
 1. Place rainwater pipe in correct position and mark wall through pre-drilled holes in ears of pipe.
 2. Drill wall using appropriate masonry bit.
 3. Fix through pre-drilled pipe ears using rawl bolts
 4. Ensure pipes are plumb and offer up next pipe or component.
 5. Fit in to sockets centralising by using 3 no. lead wedges.
 6. Joints between sections can be pointed with silicone if required.
 7. Bobbins are available to ensure a straight line to rainwater pipes where the building surface may be uneven.
 8. Pipes may be cut to length using a powered disc cutter, tungsten tipped hacksaw or pipe wheel cutter. Ensure any burr is removed with a file.
 9. Ensure all cut edges are painted.

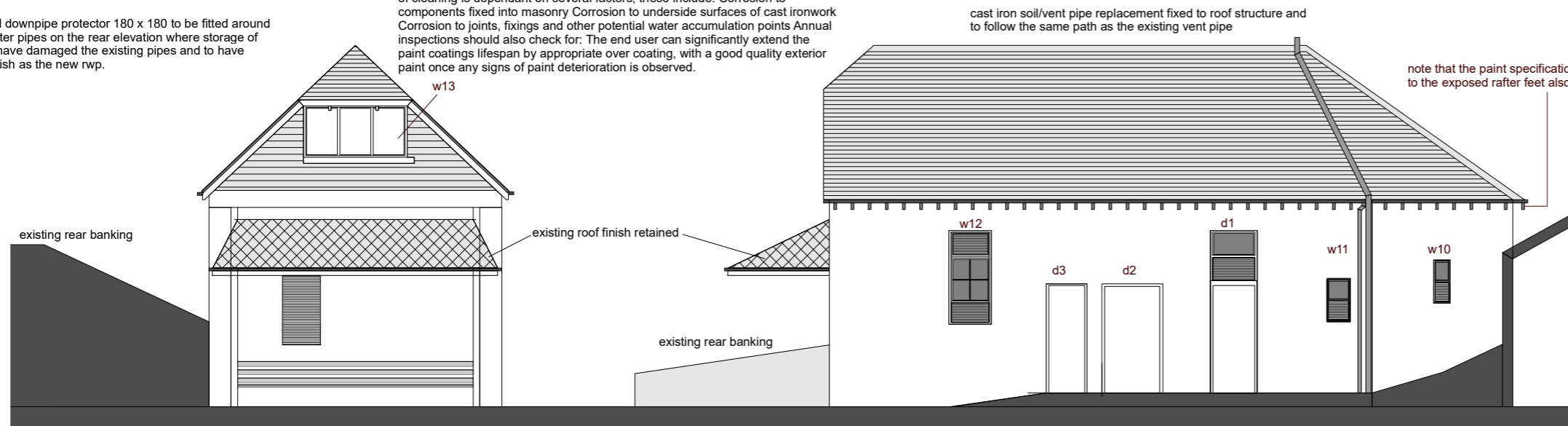
ROOF CONSTRUCTION
 Roof construction to comprise clay plain tiles on a vapour permeable barrier (eg. Marley Ultima PR) or similar with treated timber laths 50 x 35 and with 500 gauge polythene vapour check to have matching ridge and hip tiles lay courses of underlay over hip with overlaps of not less than 150mm. Cut and fix tiles closely at junction.
 Fix hip iron to hip rafter or hip batten with galvanised steel screws. Lay hip tiles by continuously bedding at edges and solidly bedding with tile slips inserted into mortar at joints between hip tiles.
 European Standard BS EN 5534 requires all ridge tiles, including ridge tiles used down the hips, to be mechanically fixed.
 The end ridge tiles in a row (both top and bottom) should not be secured with a cleat, but instead should have a hole drilled in and then be secured by a screw through a rubber washer.
 Shape first hip tile neatly to align with corner of eaves and fill end with mortar and slips of tile finished flush.

existing built up timber roof retained
 All tiles including eaves, ridge and verges to be nailed/clipped roof members to be secured using proprietary anchors, clips and fixings all in accordance with specialist recommendations
 Note: no notches or holes to be cut in roof rafters other than at supports where they may be birdsmouthed to a depth not exceeding 1/3 rafter depth

existing timber fascia boards and gable boards to be removed and new 25 thick treated timber fascia boards and gable boards to replicate the existing boards to be fitted
PREPARATION General Timber surfaces must be suitably prepared, clean, sound and dry. Any grey denatured exposed timber surfaces must be mechanically sanded back to clean, bright timber. The moisture content should not exceed 18% prior to coating. Resinous deposits should be removed. Degrease any exposed bare timber surface by wiping with a cloth dampened with methylated spirits. Treat knots with two thin coats of fresh knotting. Fillers specifically designed for use with timber should be used for making good any minor surface defects, imperfections and open joints etc. General or All Purpose fillers are not suitable. Only use non-ferrous screws, nails and fixings. New Timber Any non-preservative treated softwood timber should be treated with two liberal coats of Crown All Purpose Wood Preserver, paying particular attention to end grains, allowing 24 hours drying time between coats and 72 hours before over coating with Crown Flexarb Opaque Finish. Where possible, the first coat should be applied all round prior to fixing.

Crown Flexarb Opaque Finish should be applied in a full flowing coat ensuring all surfaces and end grains are fully coated. For best results use a good quality, long haired, soft bristled brush. Pay special attention to end grain, tops and bottoms of doors, and undersides of sills. Following surface preparation in accordance with the manufacturers recommendations, finish with two full coats of Crown Flexarb Opaque Finish allowing a minimum of 16 hours drying between coats. Always intermix packs for colour consistency. Please check for colour accuracy prior to application. Crown Paints is not liable for decoration costs caused as a result of an incorrect colour being applied. **MAINTENANCE** The need for maintenance is indicated by a lightening in colour, reduction in sheen as the coating erodes, and a loss of water repellence. All defective coatings should be completely removed. Any grey denatured, exposed timber surfaces must be mechanically sanded back to clean, bright timber. Organic growths must be removed and infected surfaces should be treated with a suitable fungicidal solution. Remaining sound surfaces should be cleaned using a warm water and detergent and rinsed thoroughly with clean water. Bare timber should be patch primed with one coat of Crown Flexarb Opaque Finish. Finish with 1 or 2 coats of Crown Flexarb Opaque Finish as required.

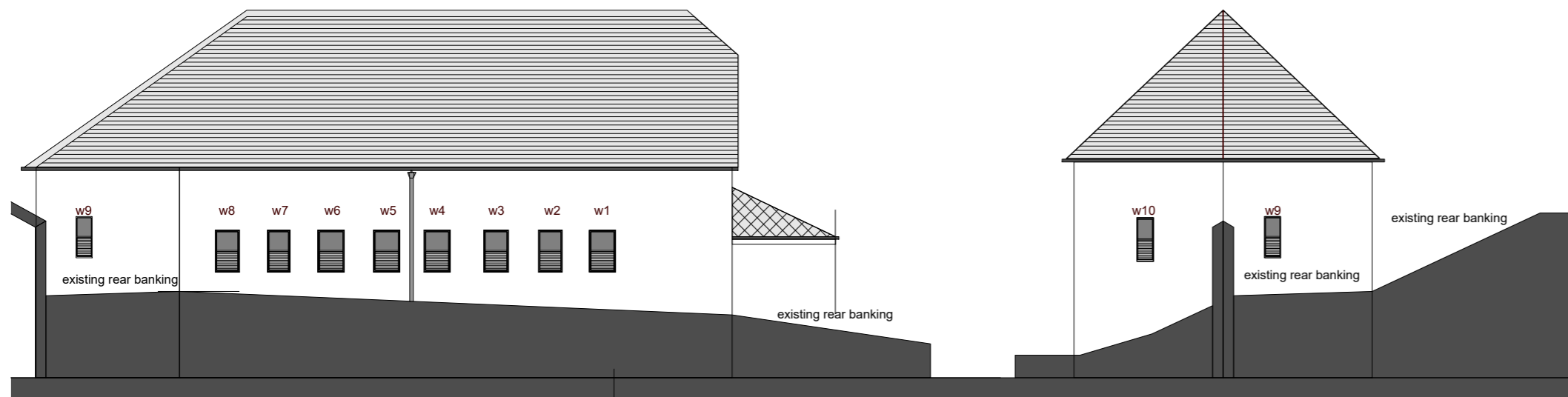
COATING SYSTEM Apply three full coats of Crown Flexarb Opaque Finish as required



side elevation - east

front elevation - north

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 02/08/2021



rear elevation - south

side elevation - west

condition survey report

1.2 Executive Summary of Key Issues

Following an internal and external survey of Robin Hoods Bay Bank Bottom Public WC Block, our findings are summarised as follows:

No.	Building Fabric
1.	The toilet block is generally in poor condition with numerous replacement, repair and maintenance items identified.
2.	It is recommended that the roof covering is replaced due to the extent of the damage to the tiles, its age and previous repairs. Alternatively, repairs should be carried out as a minimum.
3.	It is recommended that all previously painted timberwork and render is redecorated and any required repairs undertaken to prevent items such as fascias and windows passing the point of economical repair.
4.	It is recommended that the rainwater goods are replaced. The rear gutter is twisted and the original cast iron pipes are split and are corroding.