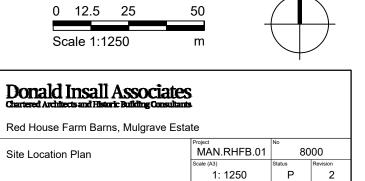


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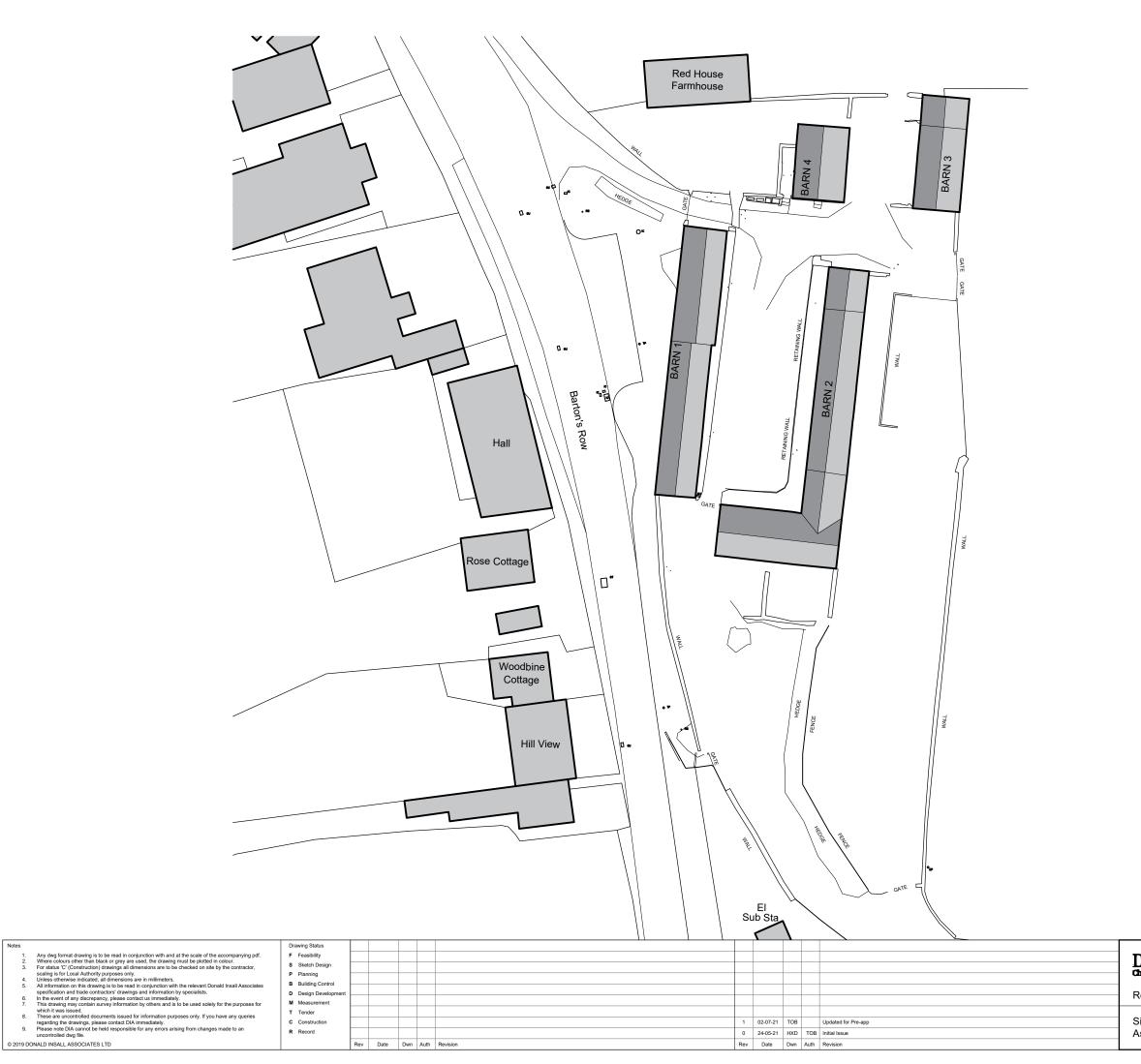
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which it was issued. 8. These are uncontrolled documents issued for information purposes only. If you have any queries	T Tender					2	14-10-21	TOB	- Site boundary update
regarding the drawings, please contact DIA immediately.	C Construction					1	29-09-21	TOB	- Updated following Pre-app to include parking for Red House Farmhouse
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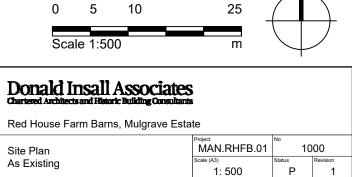


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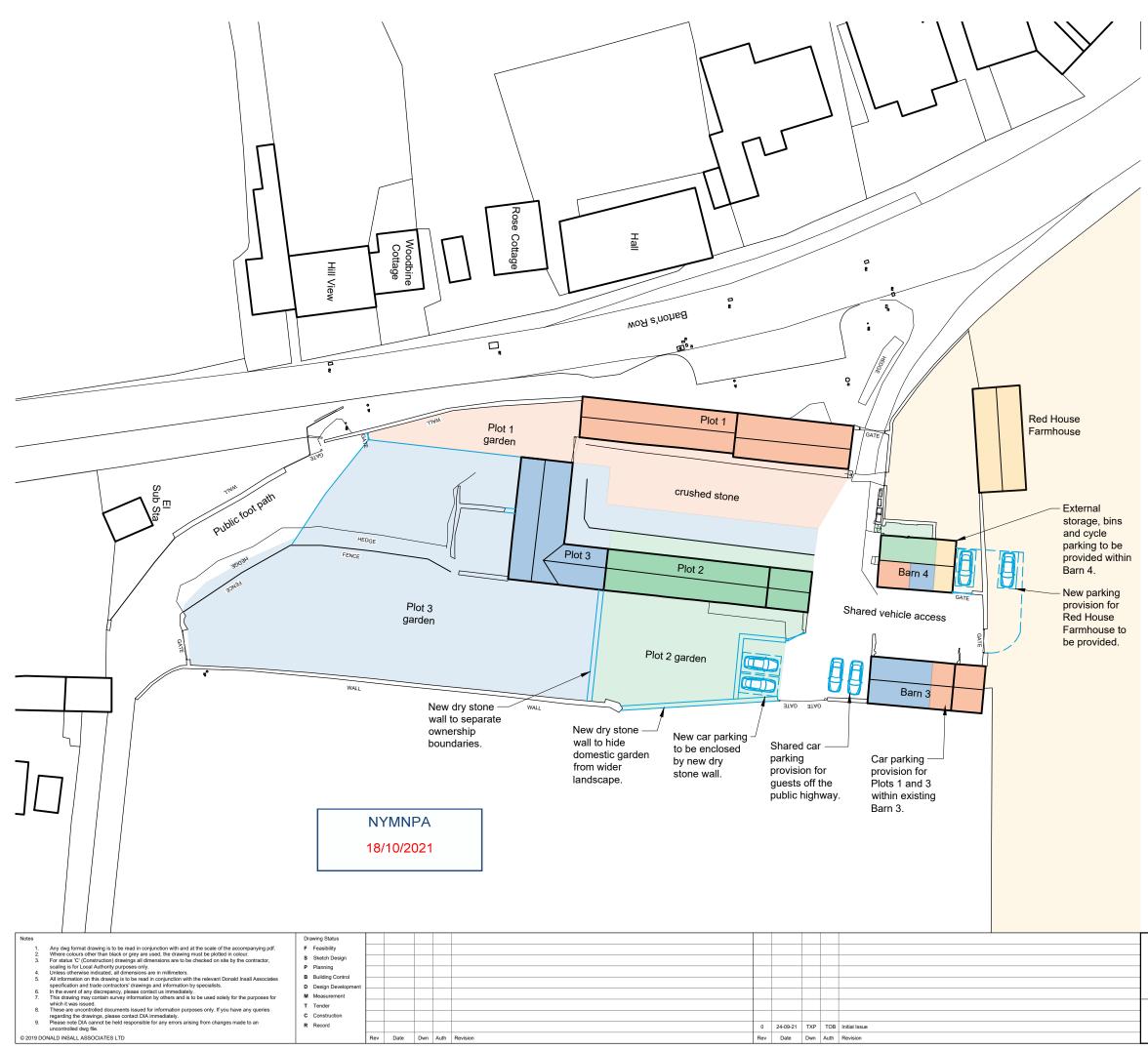
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NOTES

Key

Plot 1 : 3 bed, 2 bath
Plot 3 : 2 bed, 2 bath, 1 home office
Plot 2 : 2 bed, 1 bath
Red House Farmhouse

New intervention

General Notes

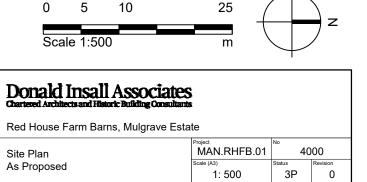
- Farm Yard and vehicle tracks New local crushed stone to match existing
- Walkways and Paths New Yorkstone paving flags

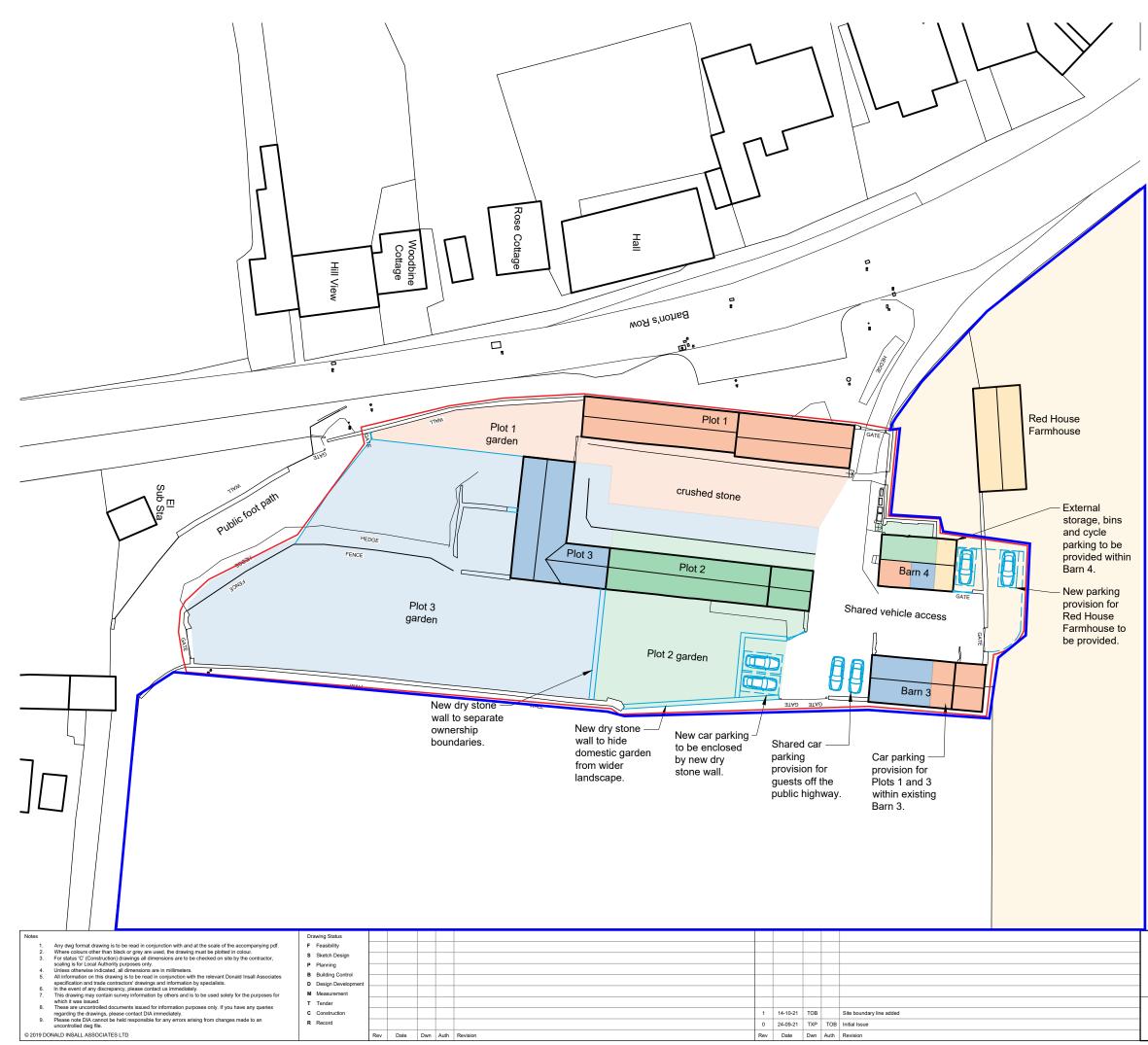
Waste and Recycling Within Barn 4

Boundary wall treatments Dry stone wall and post and rail timber fencing

Ground Source Heat Pumps

Below ground infrastructure to be installed within gardens of each plot or within the areas of farm yard owned by each plot if garden is not big enough.





NOTES

Key

Plot 1 : 3 bed, 2 bath
Plot 3 : 2 bed, 2 bath, 1 home office
Plot 2 : 2 bed, 1 bath
Red House Farmhouse
New intervention

- Site Boundary

General Notes

Farm Yard and vehicle tracks New local crushed stone to match existing

Walkways and Paths

New Yorkstone paving flags

Waste and Recycling Within Barn 4

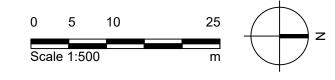
Boundary wall treatments Dry stone wall and post and rail timber fencing

Ground Source Heat Pumps

Below ground infrastructure to be installed within gardens of each plot or within the areas of farm yard owned by each plot if garden is not big enough.

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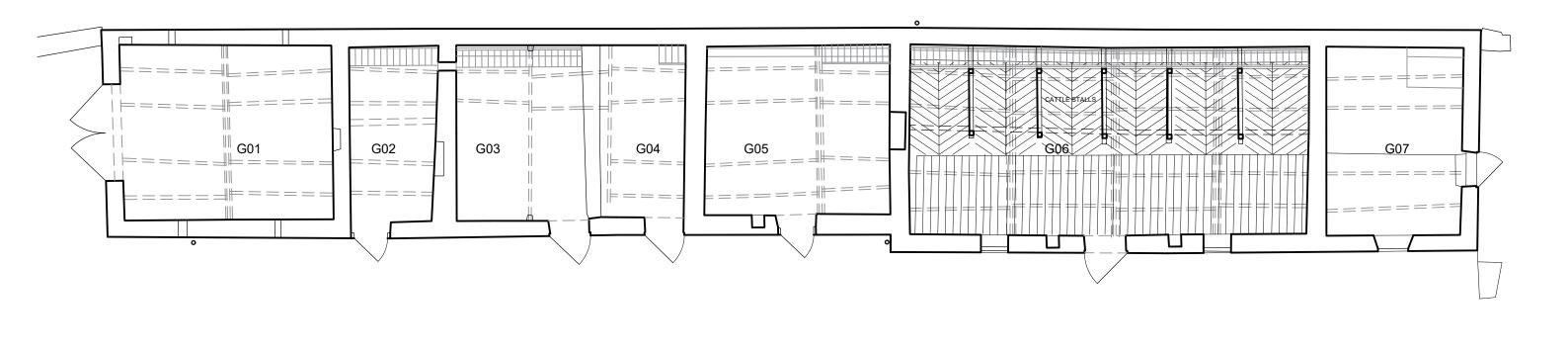
Donald Insall Associates Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

Site Plan	MAN.RHFB.01	No 40	00
As Proposed	Scale (A3)	Status	Revision
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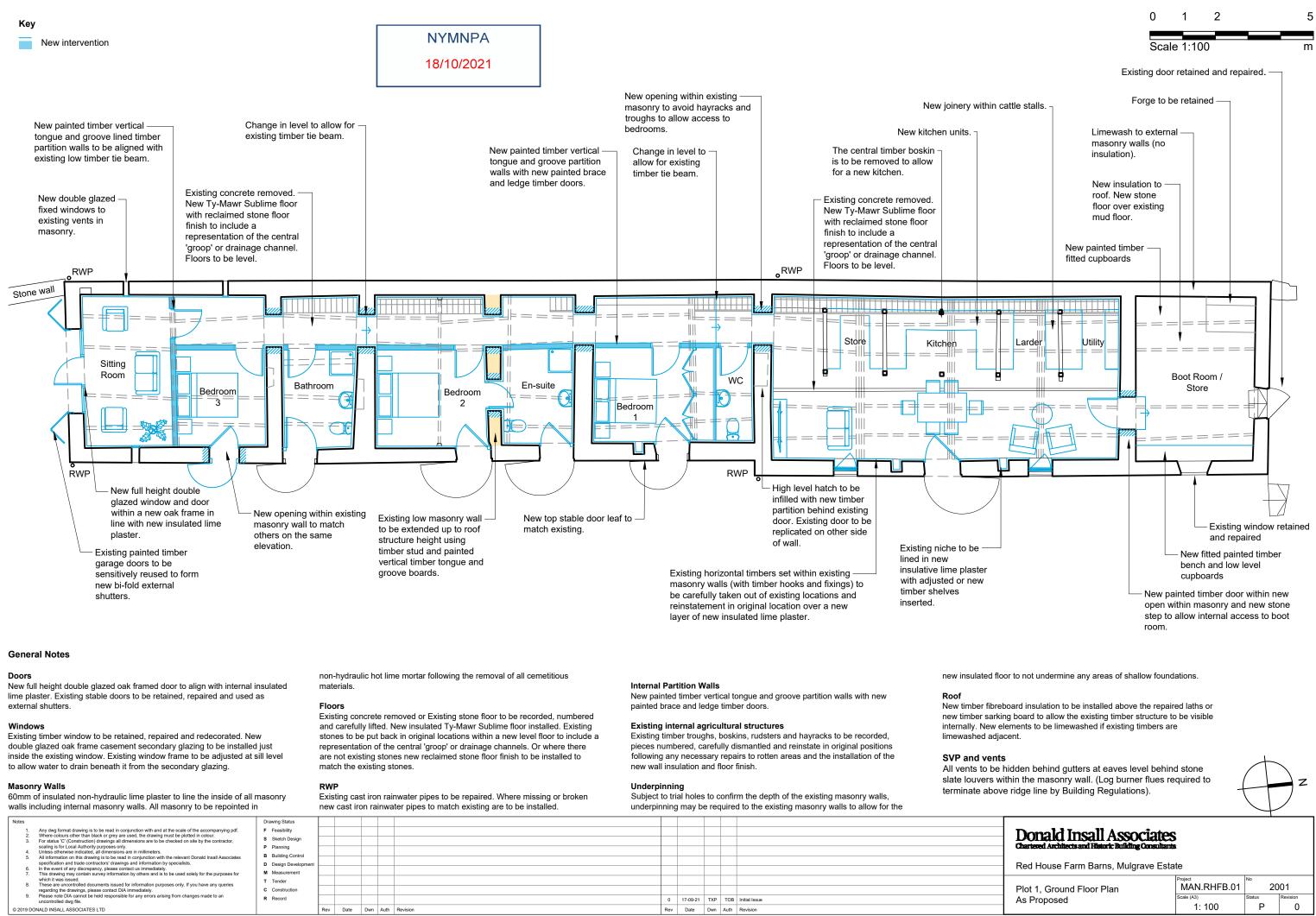
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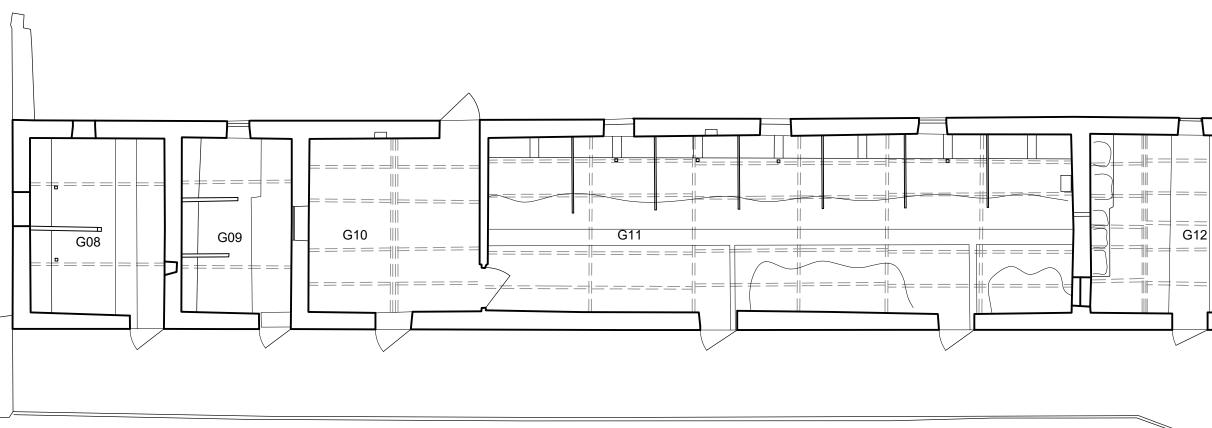
Donald Insall Associates Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

	Project	No	
Barn 1 Ground Floor Plan	MAN.RHFB.01	10	01
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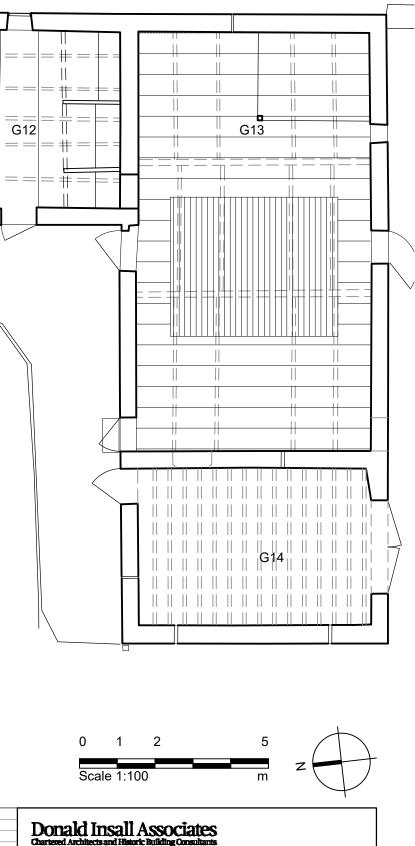


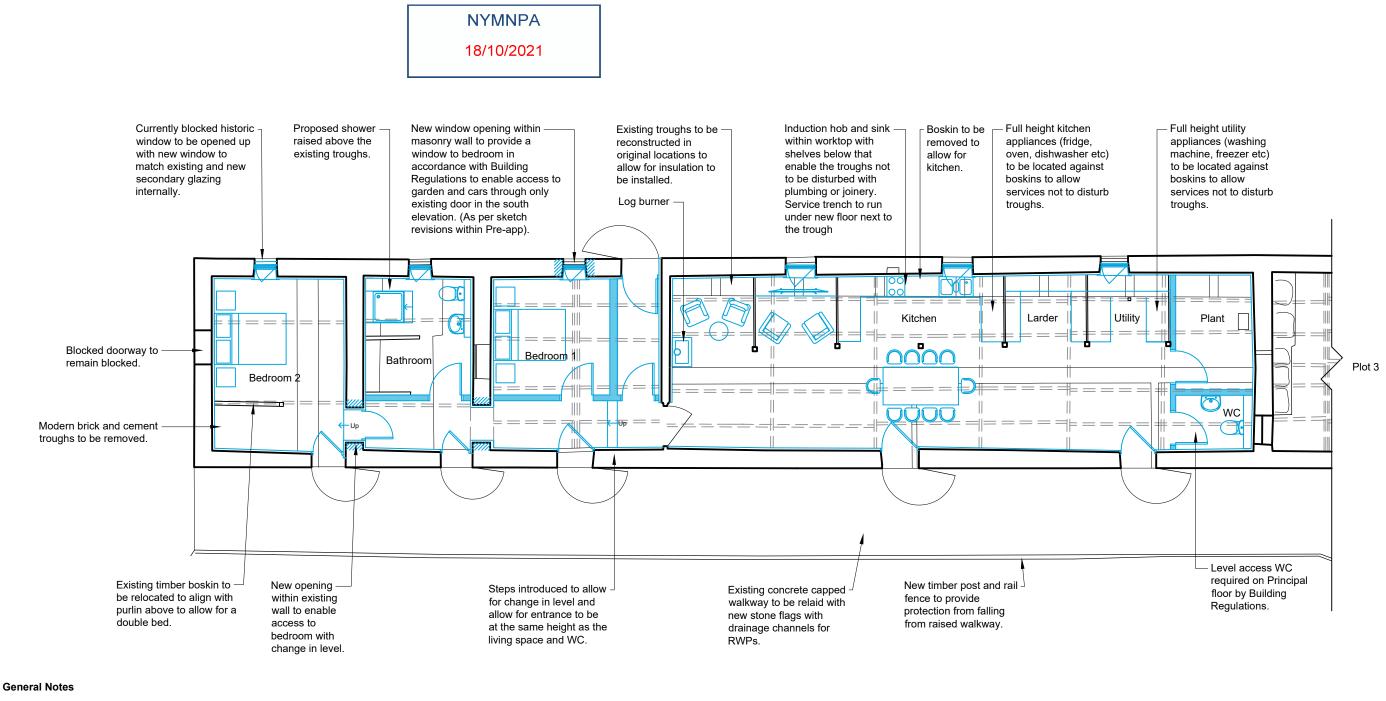
Plot 1, Ground Floor Plan	MAN.RHFB.01	^{No} 20	01
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Doors

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

Windows

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

Masonry Walls

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in

non-hydraulic hot lime mortar following the removal of all cemetitious materials

Floors

Existing concrete removed or Existing stone floor to be recorded, numbered and carefully lifted. New insulated Ty-Mawr Sublime floor installed. Existing stones to be put back in original locations within a new level floor to include a representation of the central 'groop' or drainage channels. Or where there are not existing stones new reclaimed stone floor finish to be installed to match the existing stones.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

Internal Partition Walls

New painted timber vertical tongue and groove partition walls with new painted brace and ledge timber doors.

Existing internal agricultural structures

Existing timber troughs, boskins, rudsters and havracks to be recorded, pieces numbered, carefully dismantled and reinstate in original positions following any necessary repairs to rotten areas and the installation of the new wall insulation and floor finish.

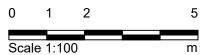
Underpinning

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

Notes 1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf. 2. Where colours other than black or grey are used, the drawing must be plotted in colour. 3. For status C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only. 4. Unless otherwise indicated, all dimensions are in millimeters.	Drawing Status F Feasibility S Sketch Design P Planning B Building Control								Donald Insall Associates Chartered Architects and Historic Building Consultants	
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Roof limewashed adjacent.

SVP and vents



new insulated floor to not undermine any areas of shallow foundations.

New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. New elements to be limewashed if existing timbers are

All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).



Key

New intervention

New double glazed casement window behind existing high level Room to remained unchanged hatch. apart from roof being insulated. 000 ____= = #= = == == =# Kitchen = = = = == == = = = = =New opening to provide = =#F # natural light to kitchen, located to avoid harm . 0 to quoins (moved from Boot # = =gable end following <u>Room</u> = =# = = = $\square \cup \cup$ pre-app). 1F = = ____ = =# ___ Original timber threshing floor to be RA carefully lifted, numbered, new floor build-up installed below NYMNPA and original timbers re-laid in original locations. Any rotten or 18/10/2021 missing timbers to be replaced with new hardwood timber. Level access to be provided through this door New timber stair up to New timber steps to existing opening provide access to WC cpd granary loft bedroom Log burner New painted T&G clad Γ. and cart shed bedroom. cupboard to size up to roof structure above WC below. Exposed timber insulated stud wall at low level with cpd casement window above to allow alcove for WC sink. SVP New exposed timber french doors set behind New timber ventilation grille SVP within T&G stud existing cart shed wall. to lower level of existing doors. window. cpd|| Existing vents to be Metal balustrade (to provide double glazed protection from falling). internally.

Ground Floor

General Notes

Doors

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

Windows

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

Masonry Walls

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in

non-hydraulic hot lime mortar following the removal of all cemetitious materials

Floors

Existing concrete removed or Existing stone floor to be recorded, numbered and carefully lifted. New insulated Ty-Mawr Sublime floor installed. Existing stones to be put back in original locations within a new level floor to include a representation of the central 'groop' or drainage channels. Or where there are not existing stones new reclaimed stone floor finish to be installed to match the existing stones.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

Internal Partition Walls

New painted timber vertical tongue and groove partition walls with new painted brace and ledge timber doors.

Roof

Existing internal agricultural structures

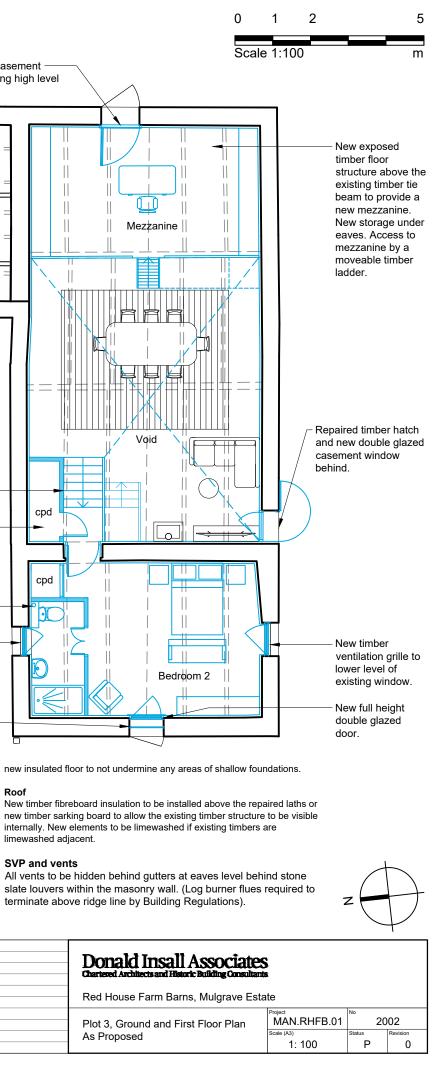
First Floor

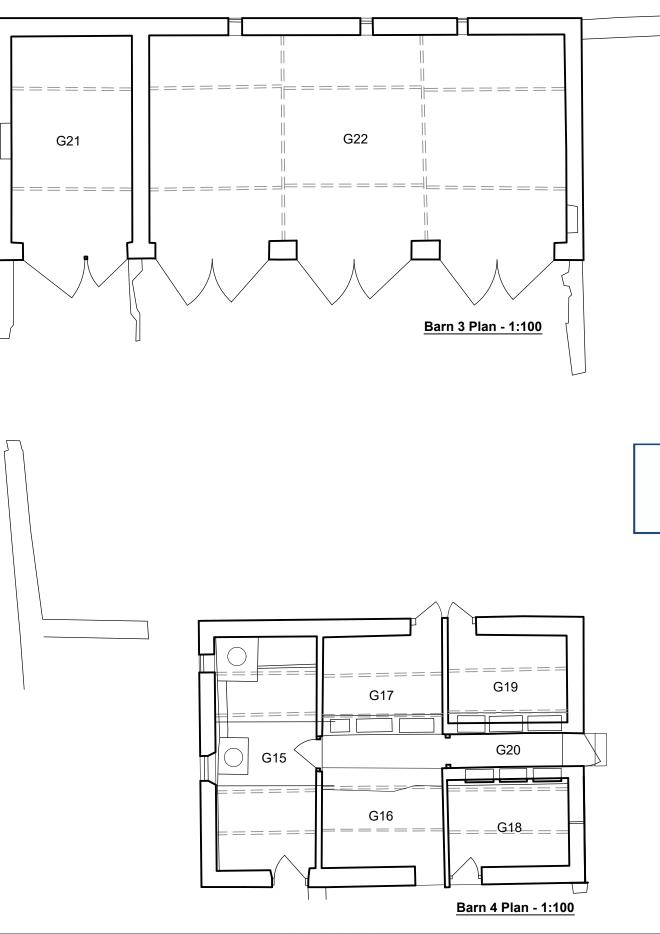
Existing timber troughs, boskins, rudsters and hayracks to be recorded, pieces numbered, carefully dismantled and reinstate in original positions following any necessary repairs to rotten areas and the installation of the new wall insulation and floor finish.

Underpinning

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

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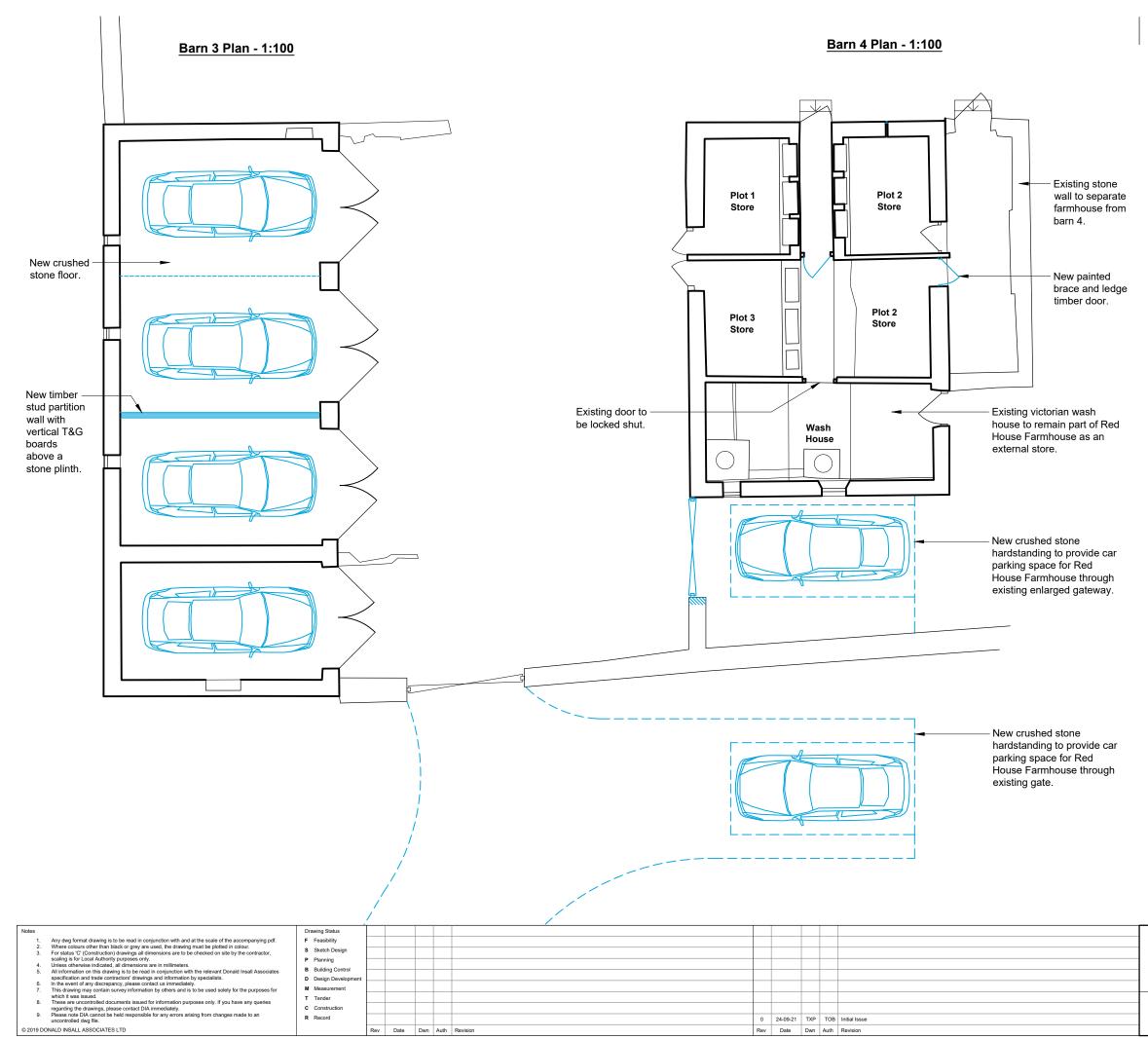




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NYMNPA





General Notes

Doors

To be repaired or new brace and ledge timber doors to match existing.

Windows

Existing windows to be repaired where required. No new windows to be installed.

Masonry Walls All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cemetitious materials.

Floors

New crushed stone to go over any mud floors.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

Internal Partition Walls

New painted timber vertical tongue and groove partition walls with new masonry plinths.

Existing internal agricultural structures

to remain in situ.

Roof

Corrugated asbestos roof to be replaced with new pantile roof to match existing roofs with new stone coping stones raised above pantiles to match existing details on other barns on the site.

Key

New intervention

NYMNPA

18/10/2021

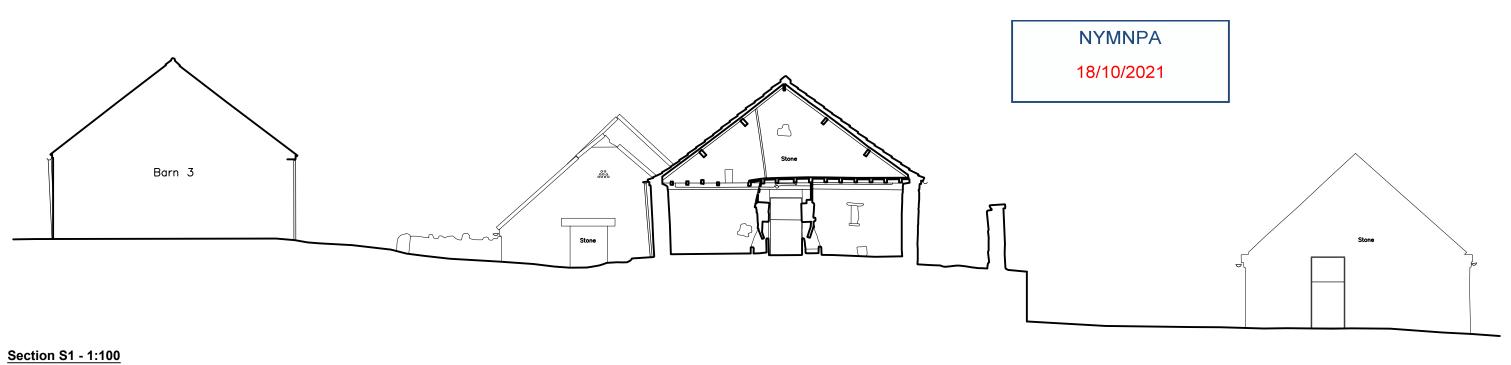


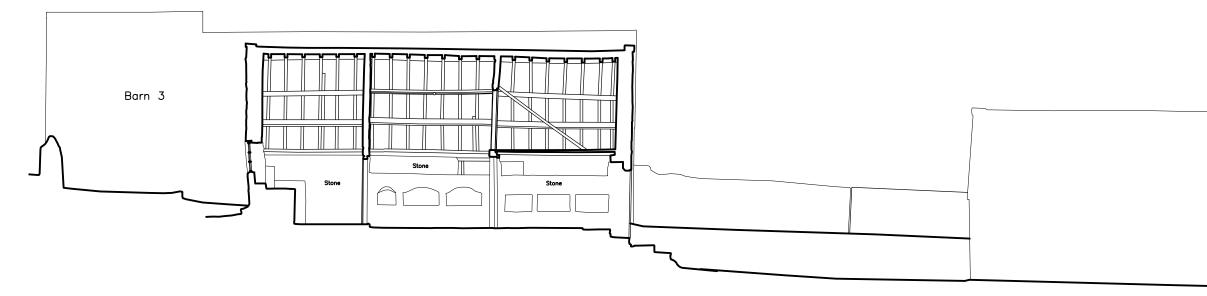
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Donald Insall Associates Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

Barn 3 and 4 Ground Floor Plan	MAN.RHFB.01	№ 20	04
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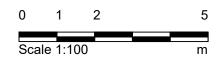


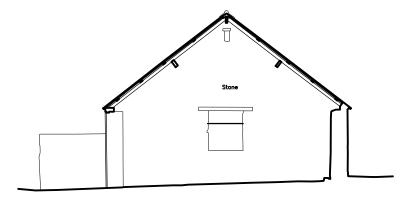
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S3 S2 ¹S5

<u>Key Plan</u>

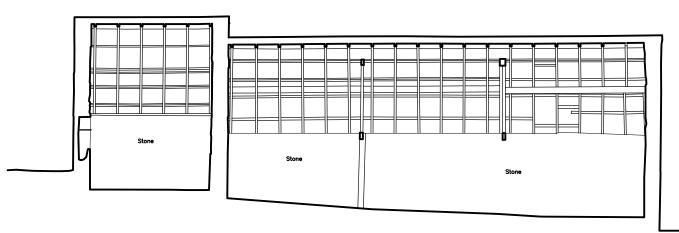
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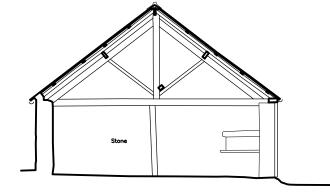




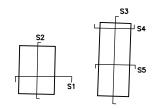
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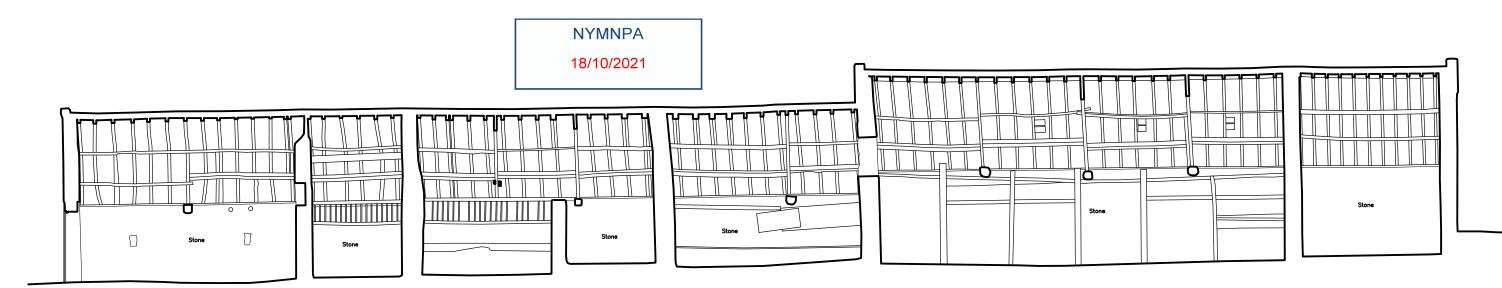




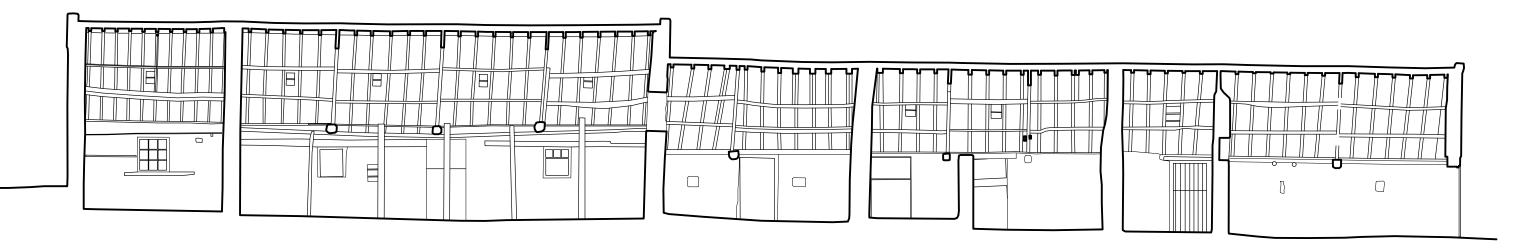
<u>Key Plan</u>

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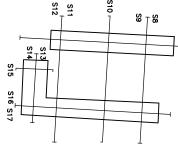




Section S6 - 1:100



Section S7 - 1:100



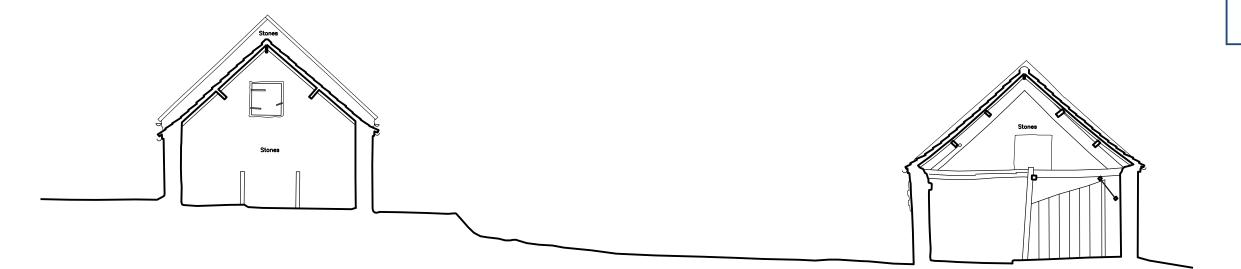
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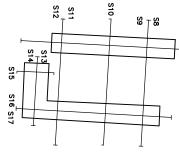




Section S8 - 1:100



Section S9 - 1:100



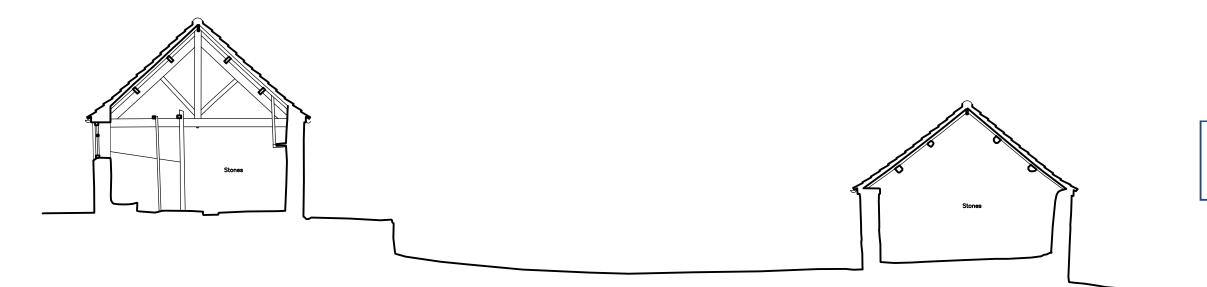
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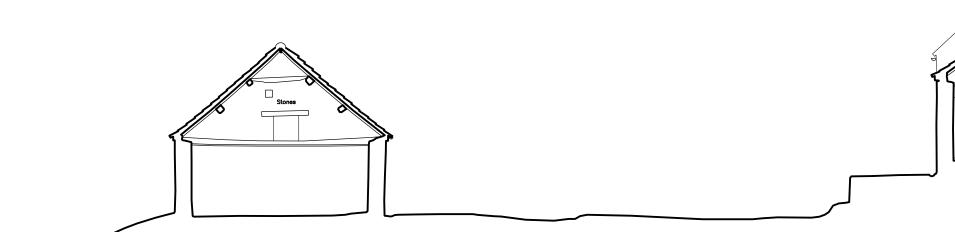


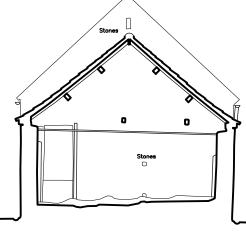




Section S10 - 1:100

Section S11 - 1:100





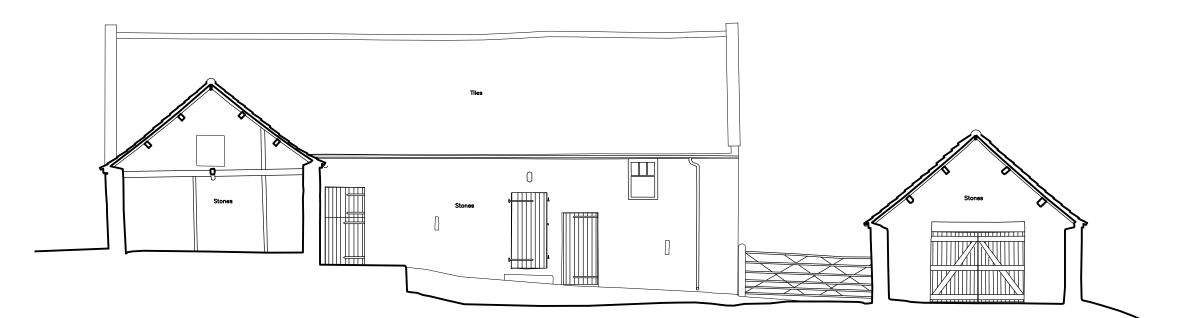
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Key Plan

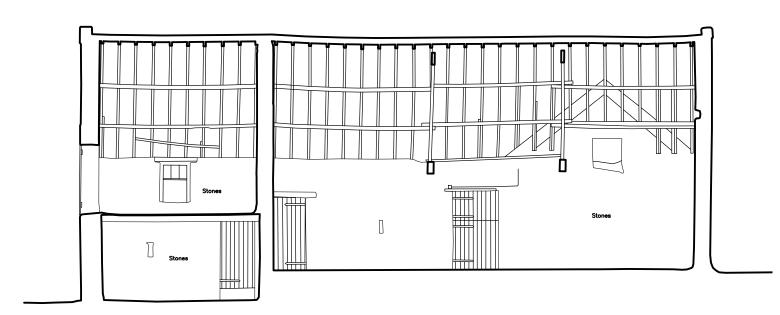
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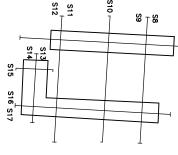




Section S12 - 1:100



Section S13 - 1:100

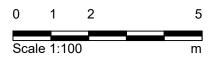


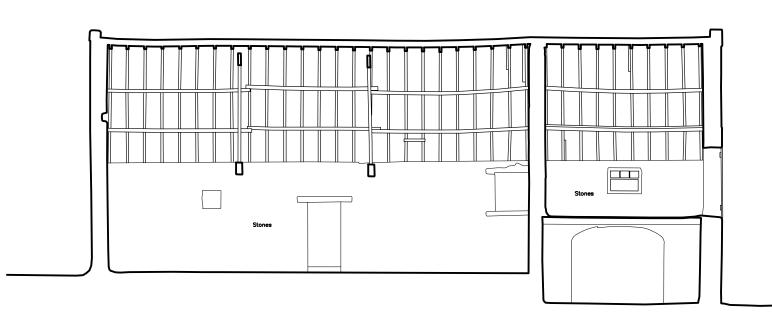
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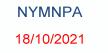
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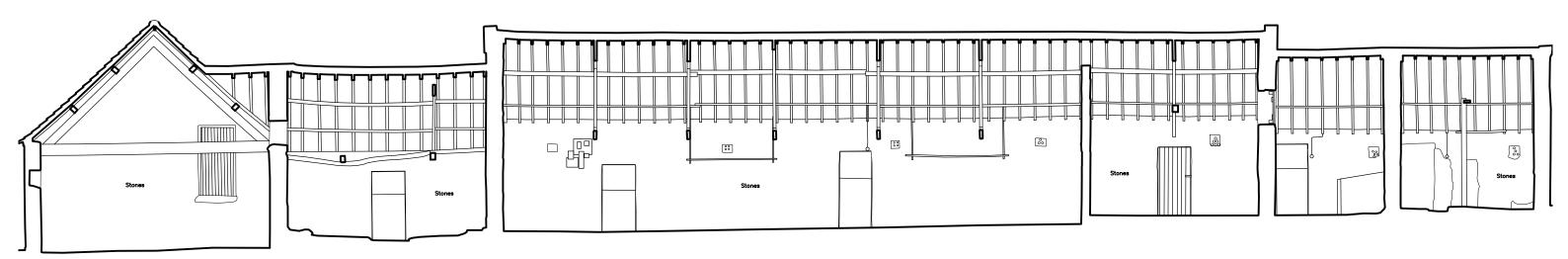




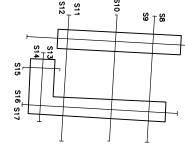




Section S14 - 1:100



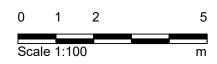
Section S16 - 1:100



Key Plan

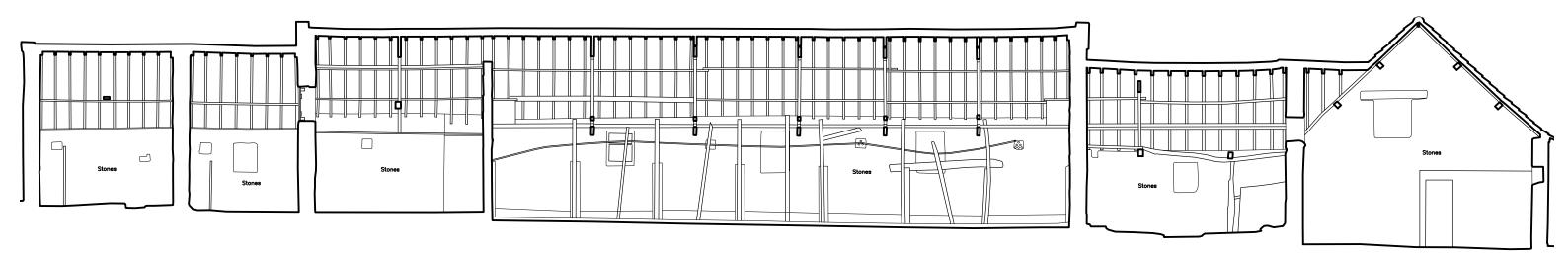
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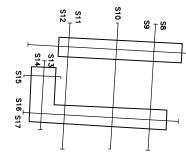


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Section S17 - 1:100

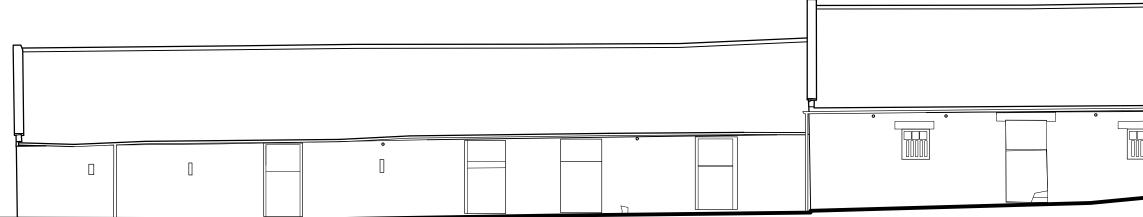


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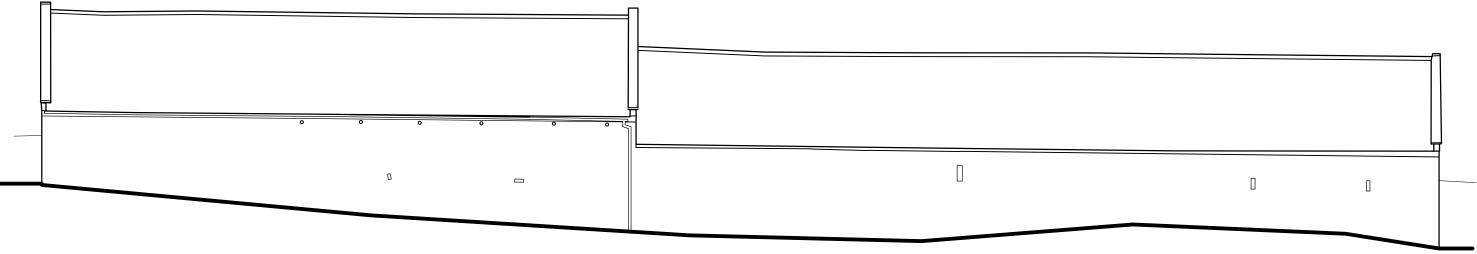
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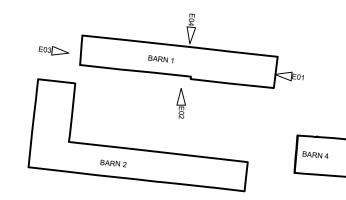


<u>E02 - 1:100</u>



<u>E04 - 1:100</u>

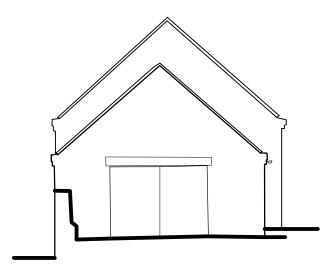
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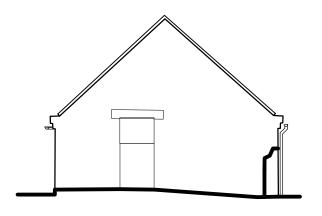
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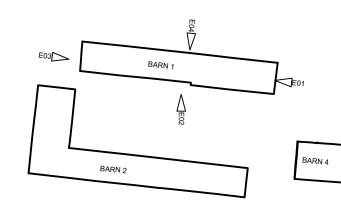


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<u>E03 - 1:100</u>



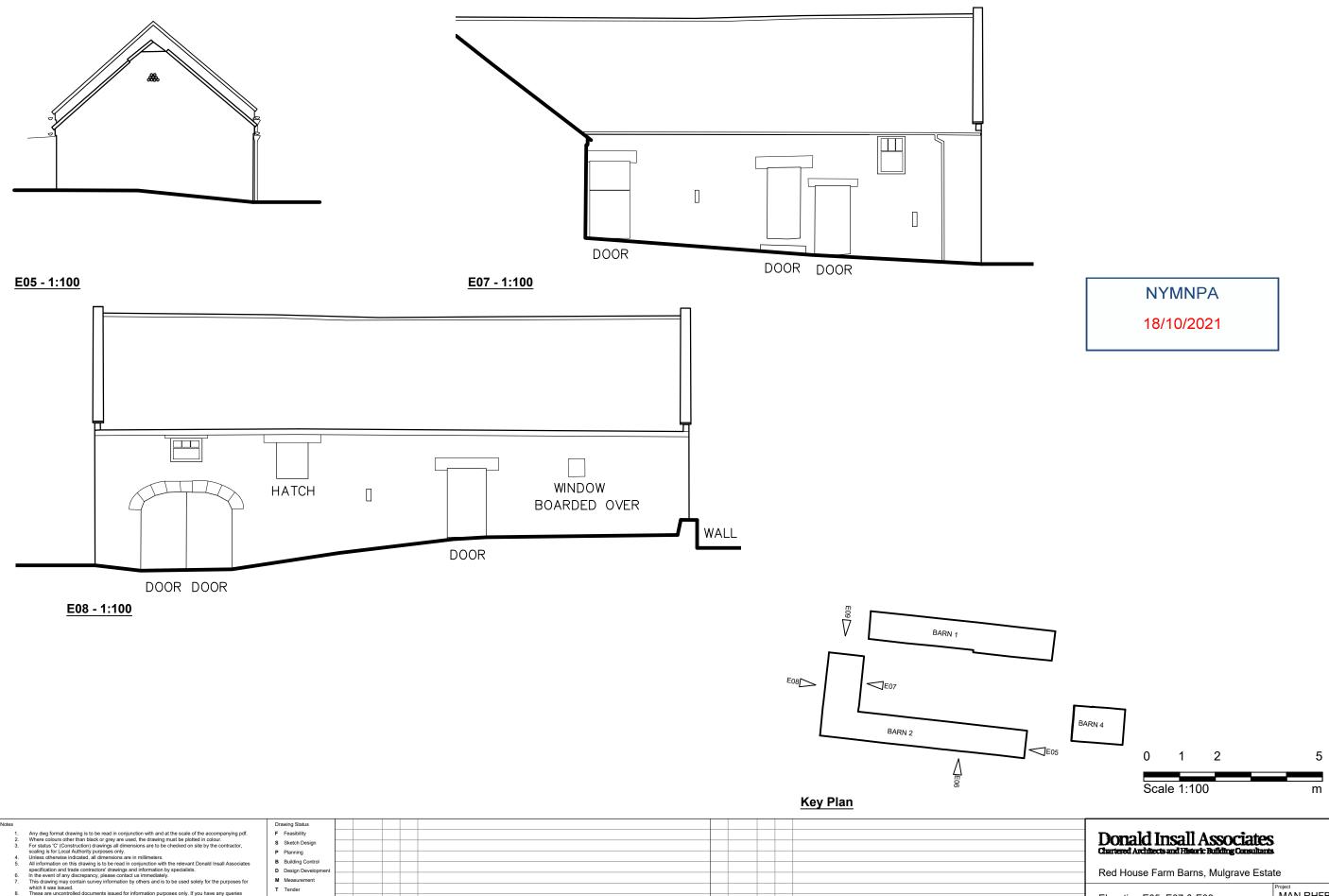
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Key Plan

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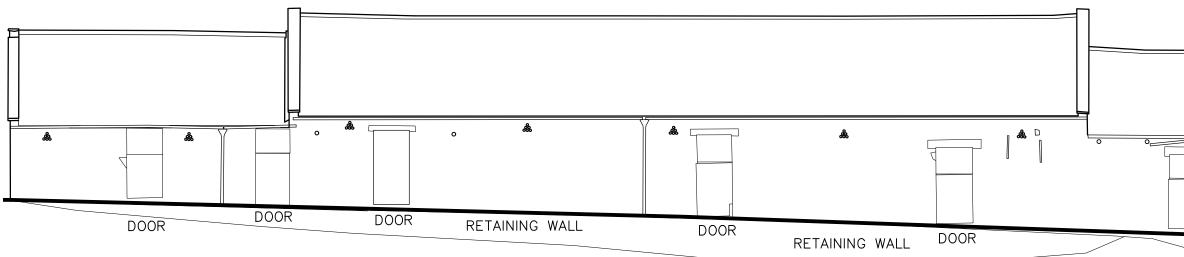
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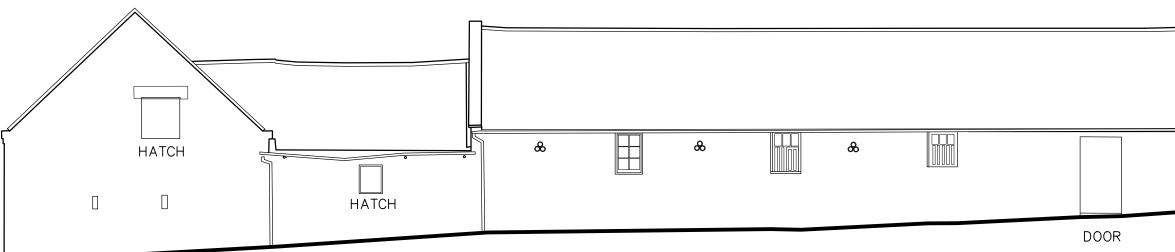
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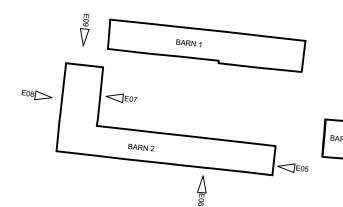






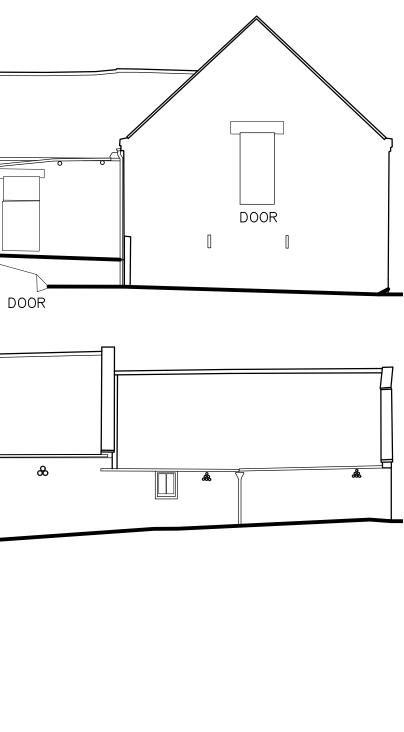
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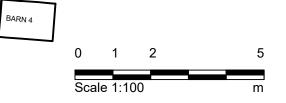
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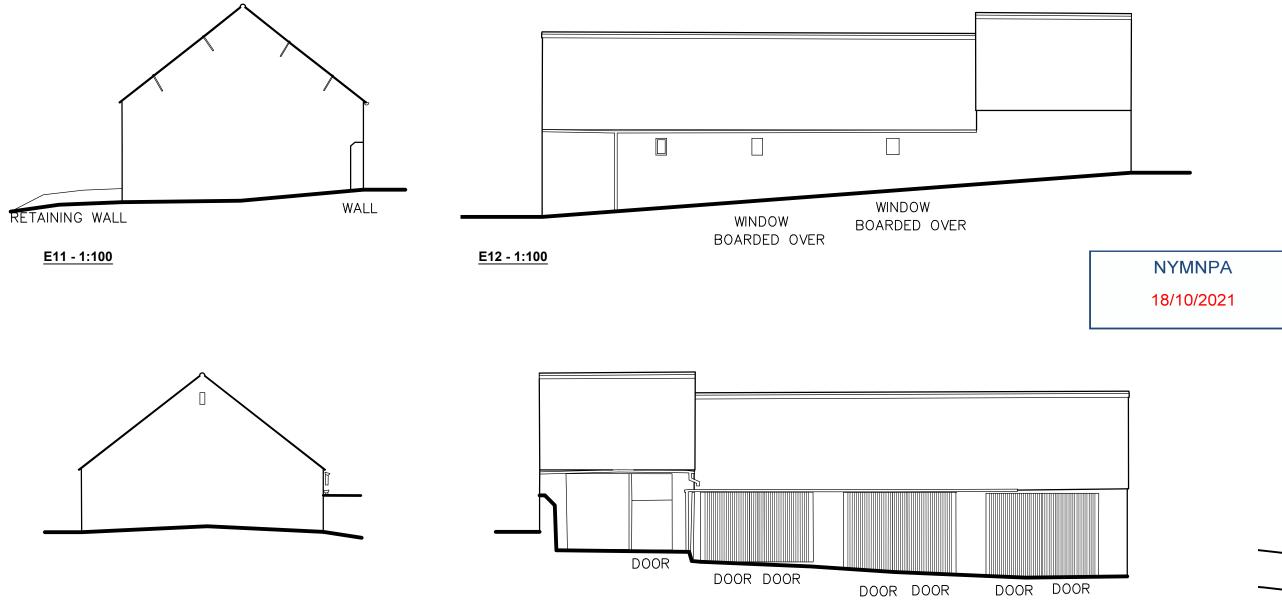


Key Plan

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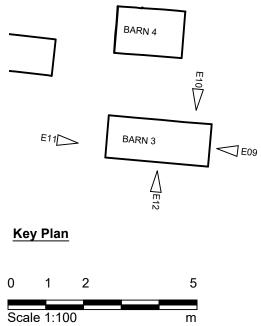


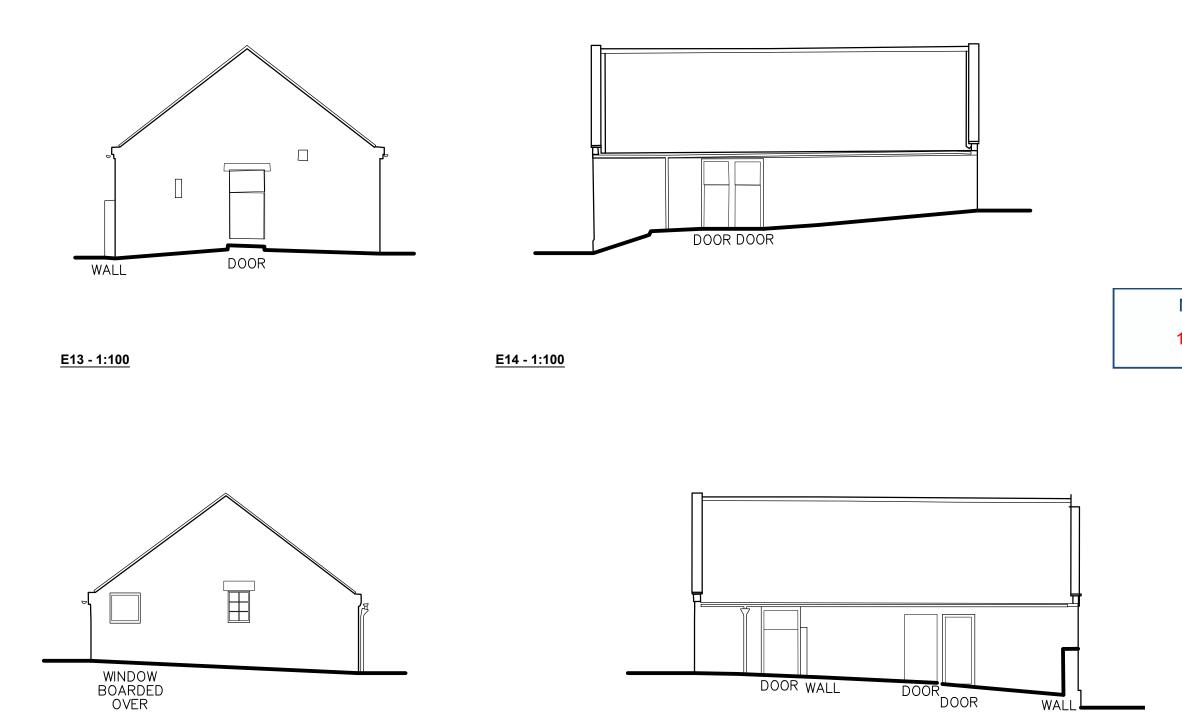


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<u>E10 - 1:100</u>

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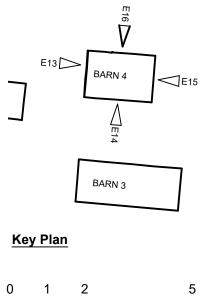


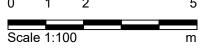
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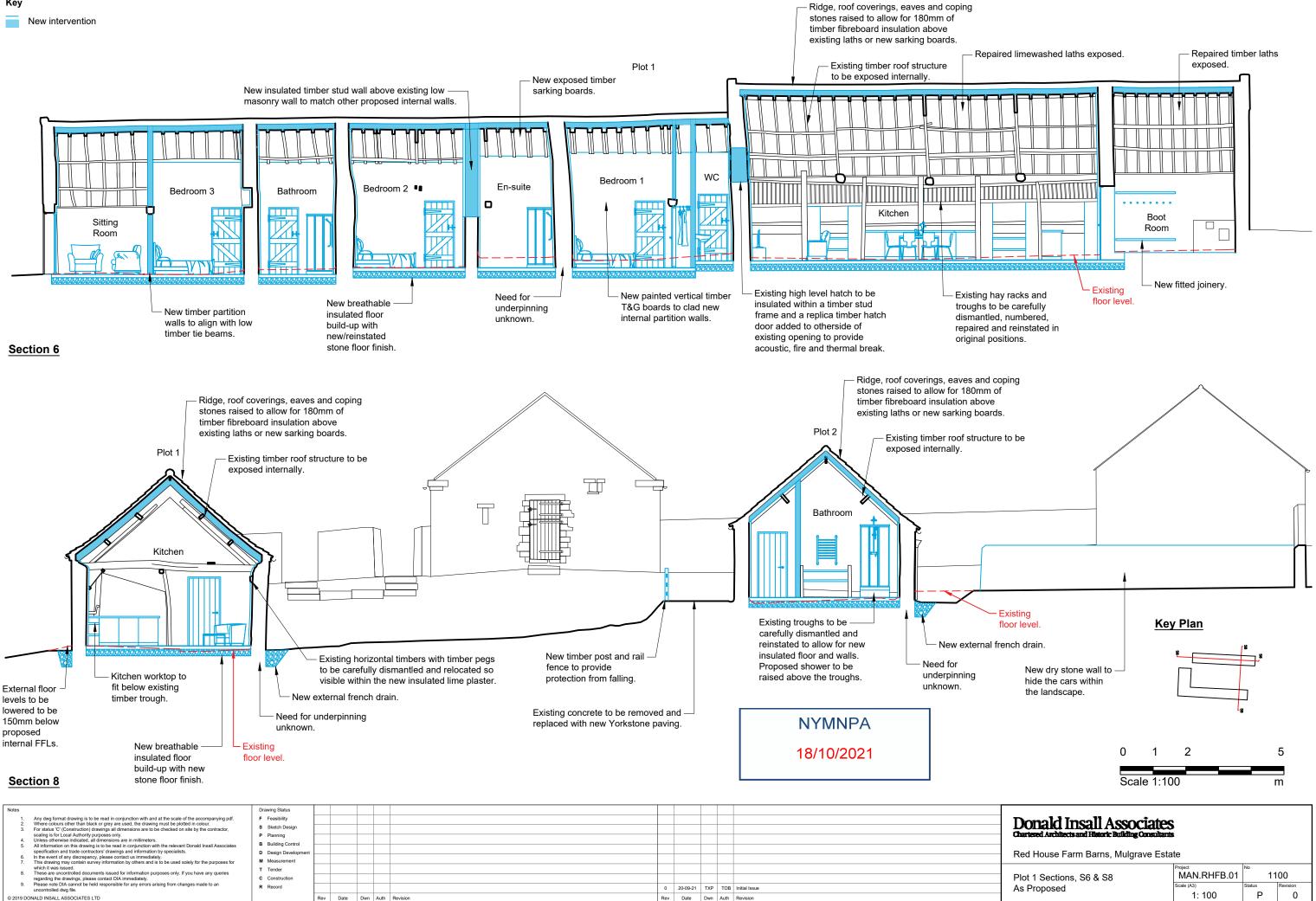
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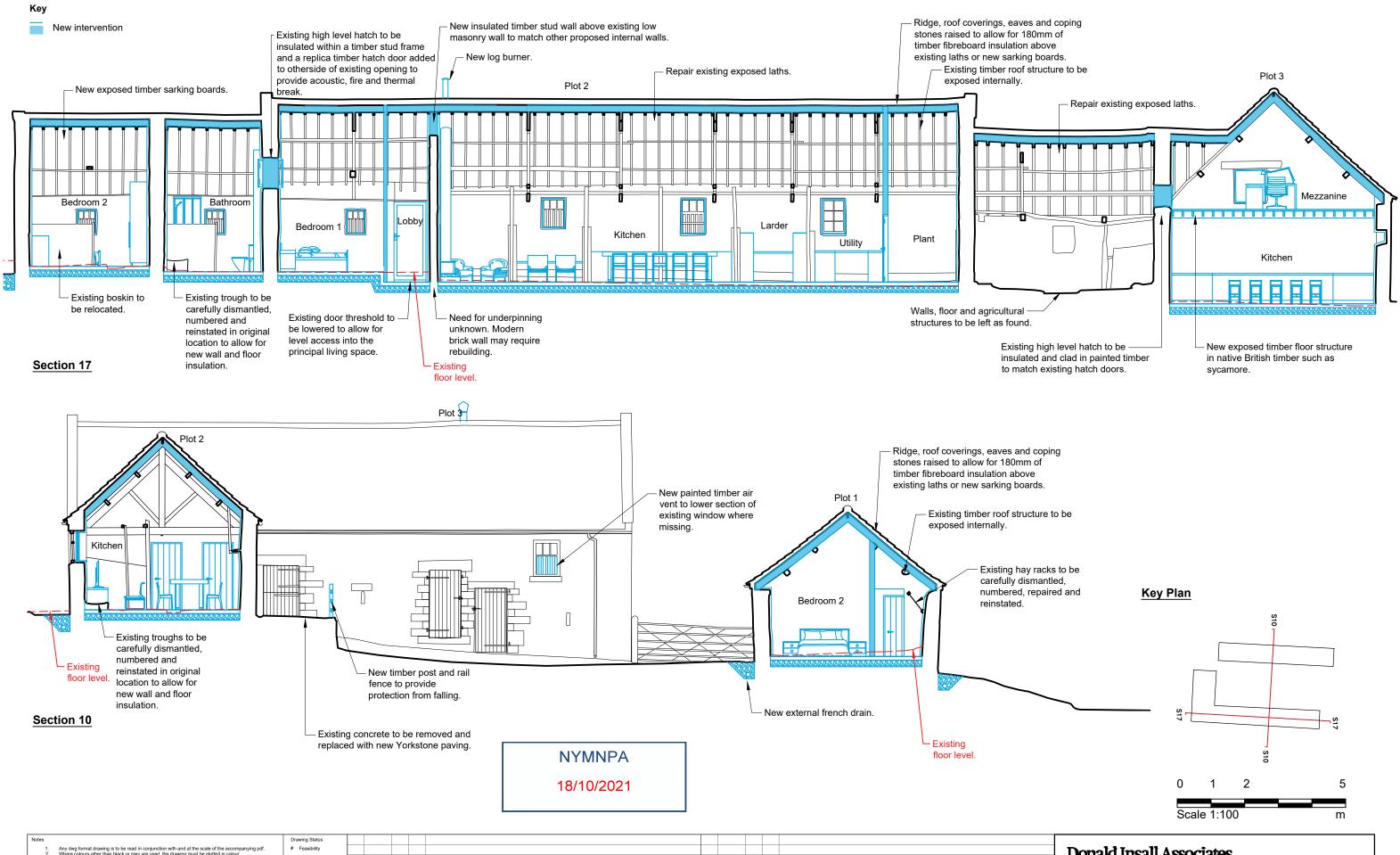








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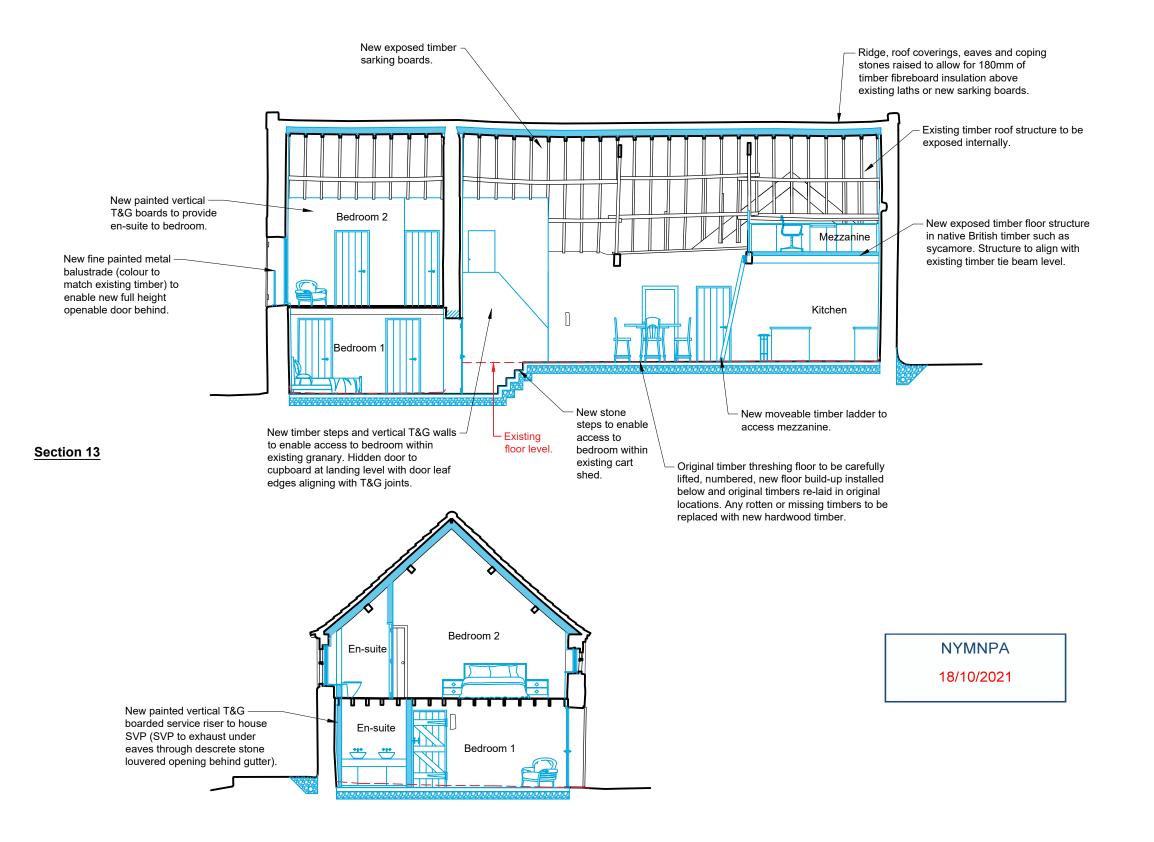


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Red House Farm Barns, Mulgrave Estate

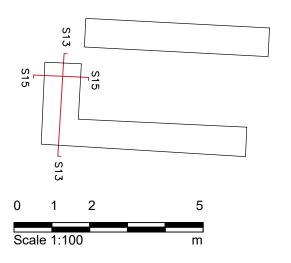
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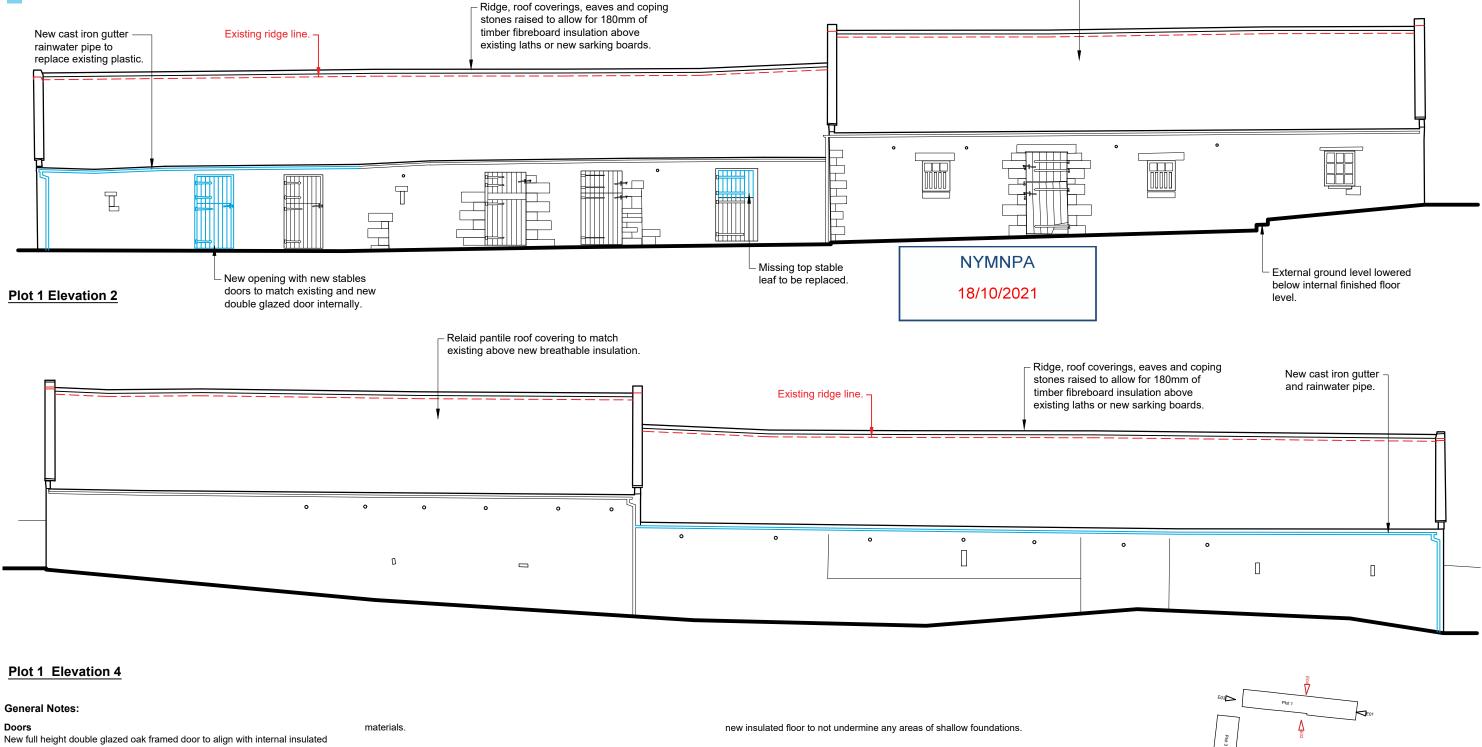
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General Notes:

Doors

lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

Windows

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

Masonry Walls

4. 5.

6. 8

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60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cemetitious

External Ground Level and French Drains

French drains are to be installed to the perimeters of wall external walls. Ground levels are to be generally lowered to 150mm below the internal finished floor level.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed with rise and fall brackets.

Underpinning

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

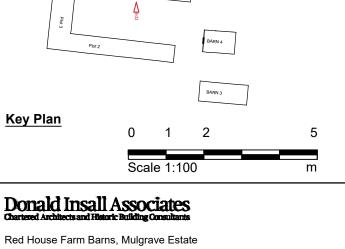
Roof

New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. Existing pantiles to be reused where possible. New pantiles to match existing where required.

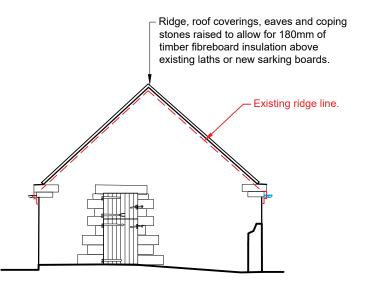
SVP and vents

All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).

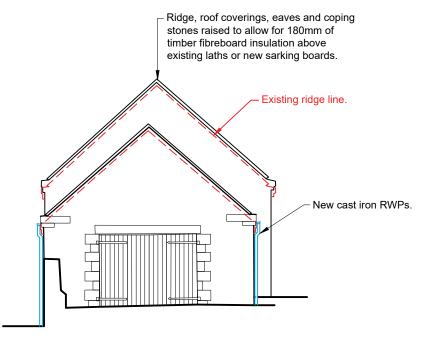
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Plot 1 Elevation 1



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Plot 1 Elevation 3

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General Notes:

Doors

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

Windows

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

Masonry Walls

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cemetitious materials.

External Ground Level and French Drains

French drains are to be installed to the perimeters of wall external walls. Ground levels are to be generally lowered to 150mm below the internal finished floor level.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed with rise and fall brackets.

Underpinning

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the new insulated floor to not undermine any areas of shallow foundations.

Roof

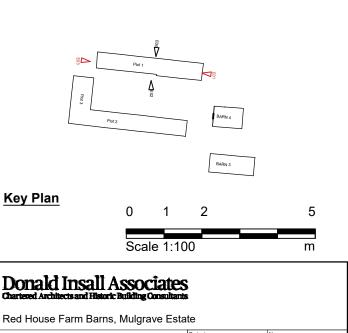
New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. Existing pantiles to be reused where possible. New pantiles to match existing where required.

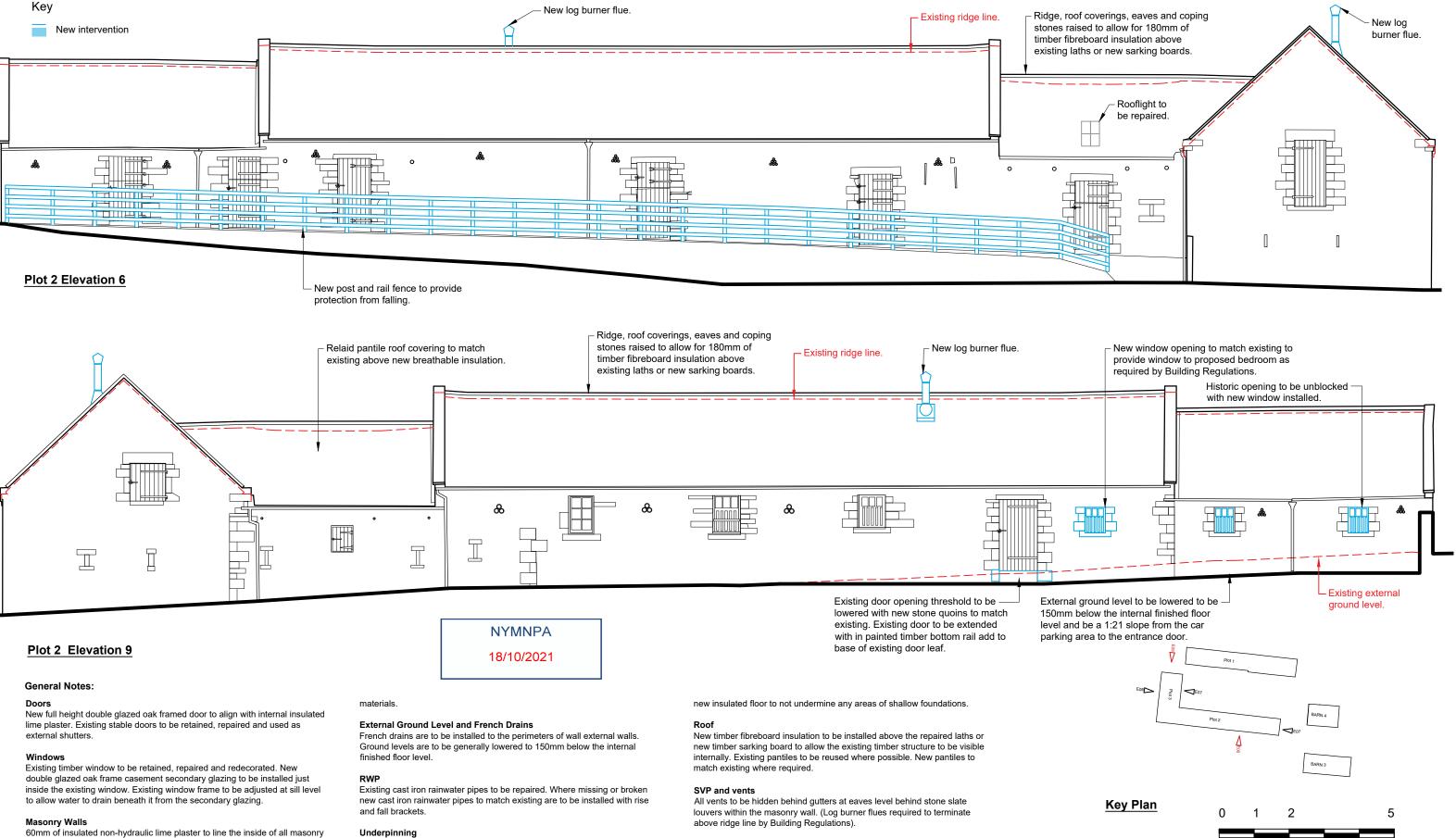
SVP and vents

All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).

Key

New intervention





walls including internal masonry walls. All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cemetitious

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8.	These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact DIA immediately.	C Construction					
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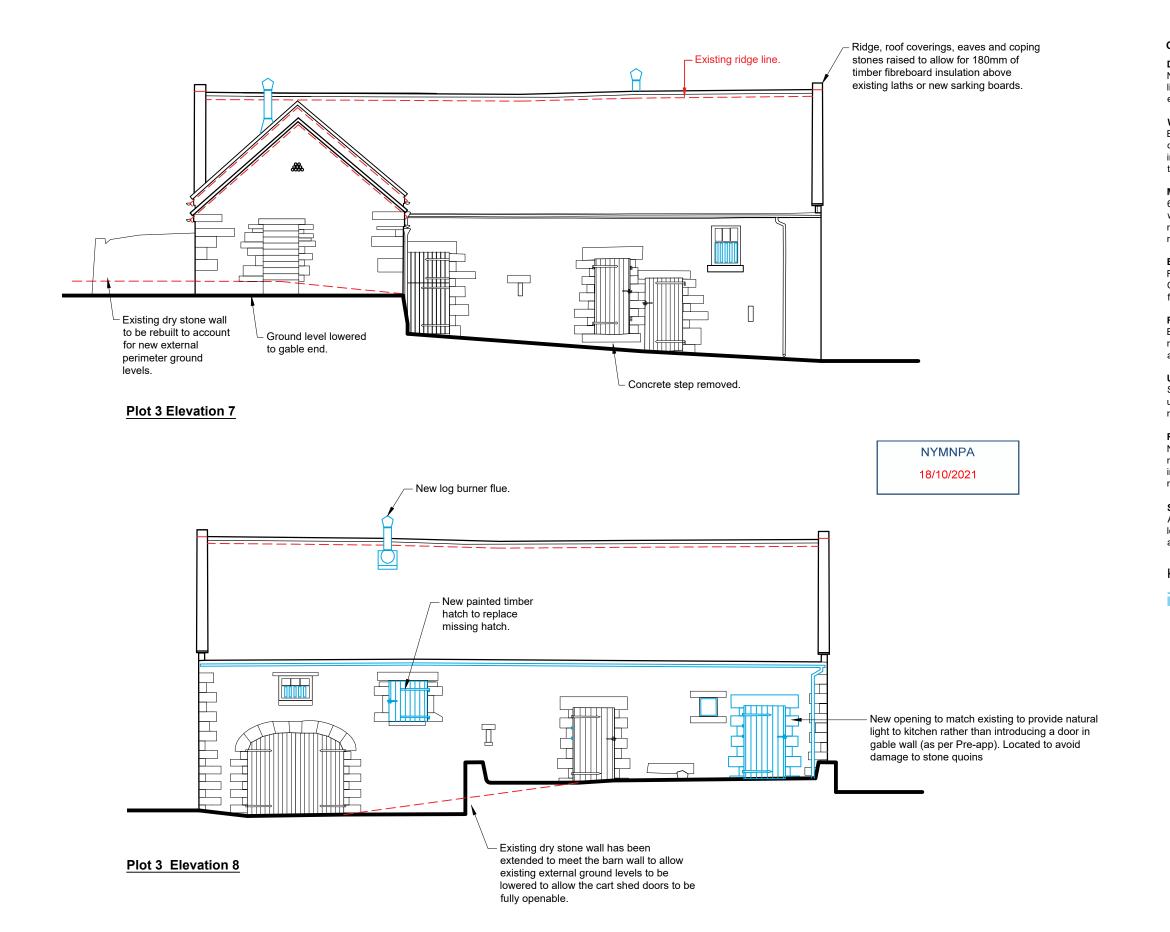
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Donald Insall Associates Chartered Architects and Historic Building

Red House Farm Barns, Mulgrave Estate

Elevation 6 & 9	MAN.RHFB.01	^{No} 22	03
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General Notes:

Doors

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

Windows

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

Masonry Walls

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RWP

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Underpinning

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the new insulated floor to not undermine any areas of shallow foundations.

Roof

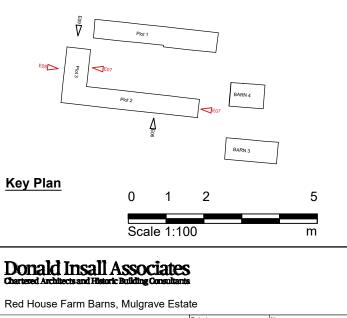
New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. Existing pantiles to be reused where possible. New pantiles to match existing where required.

SVP and vents

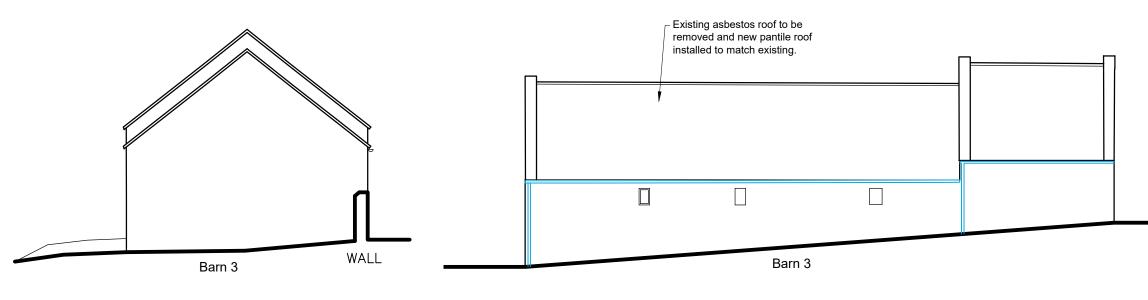
All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).

Key

New intervention

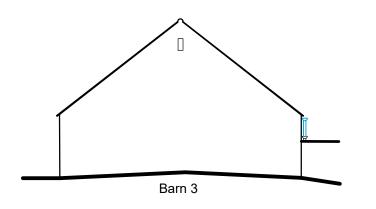


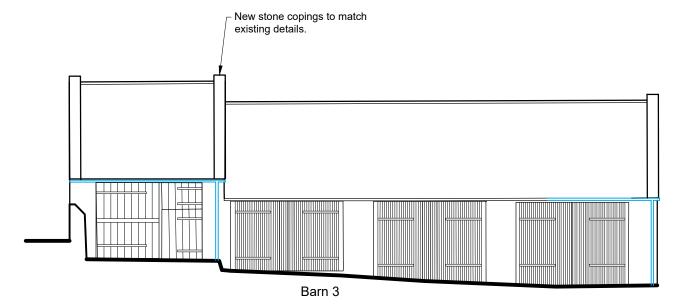
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Elevation 9

Elevation 10

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General Notes

Doors

To be repaired or new brace and ledge timber doors to match existing.

Windows

Existing windows to be repaired where required. No new windows to be installed.

Masonry Walls

All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cemetitious materials.

Floors

New crushed stone to go over any mud floors.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

Internal Partition Walls

New painted timber vertical tongue and groove partition walls with new masonry plinths.

Existing internal agricultural structures

to remain in situ.

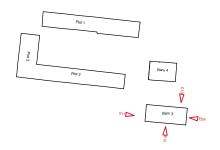
Roof

Corrugated asbestos roof to be replaced with new pantile roof to match existing roofs with new stone coping stones raised above pantiles to match existing details on other barns on the site.

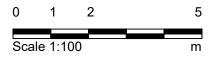
Key

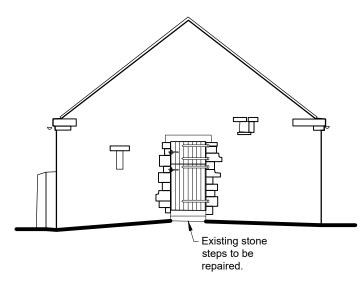


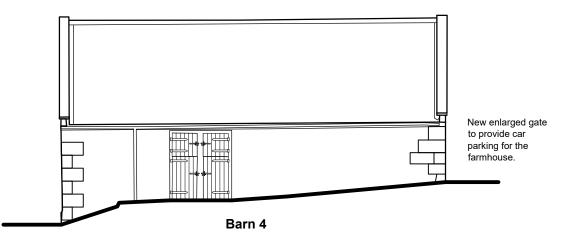
New intervention



Key Plan

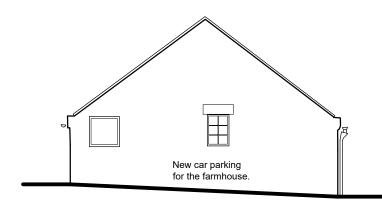


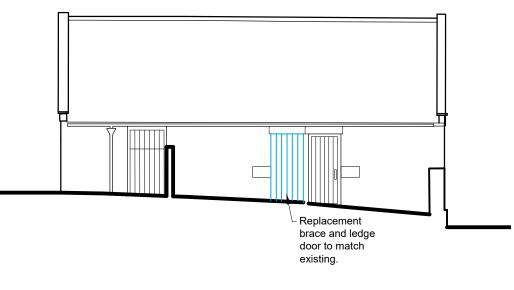




Elevation 13

Elevation 14





Elevation 15

Elevation 16



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General Notes

Doors

To be repaired or new brace and ledge timber doors to match existing.

Windows

Existing windows to be repaired where required. No new windows to be installed.

Masonry Walls All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cemetitious materials.

RWP

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

Existing internal agricultural structures to remain in situ.

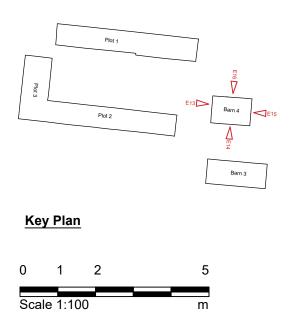
Roof

Recently repaired, minor repairs where required.

Key

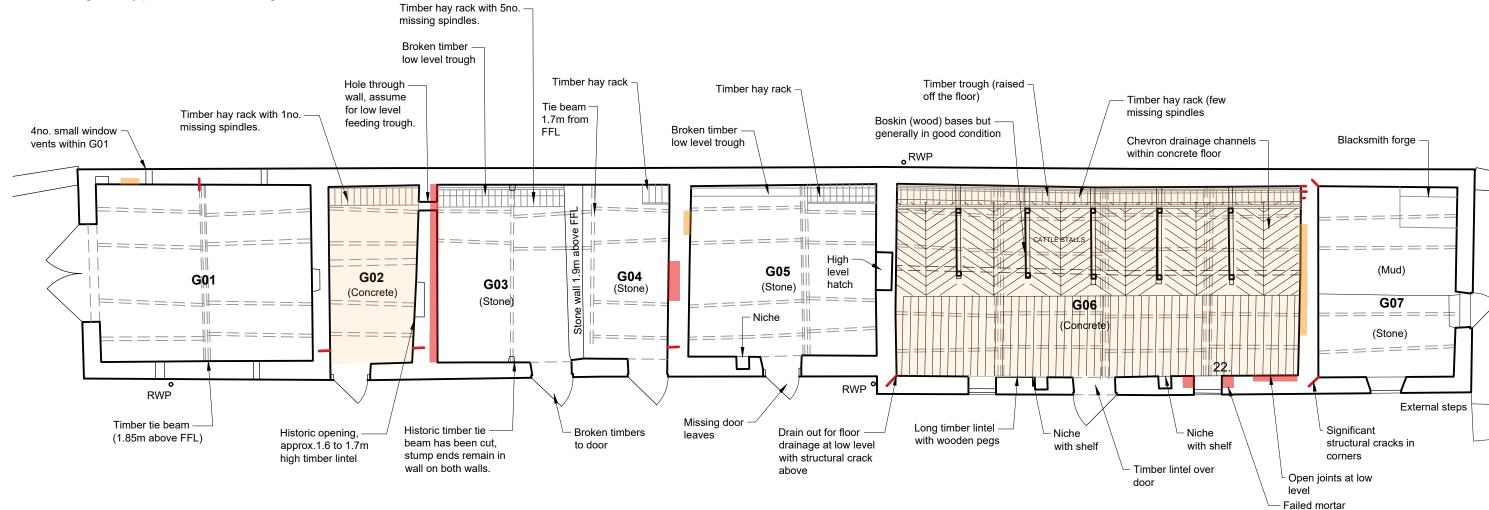


New intervention



General Notes

- No foundations ٠
- Rusting fixings + hinges •
- Flaking + rotting timber •
- Limewash to interiors .
- Internally mud mortar evident with large chunks of lime ٠
- Farm connected to mains sewage ٠
- Doors generally painted brace and ledge •



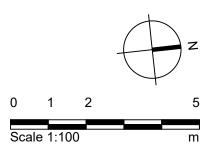
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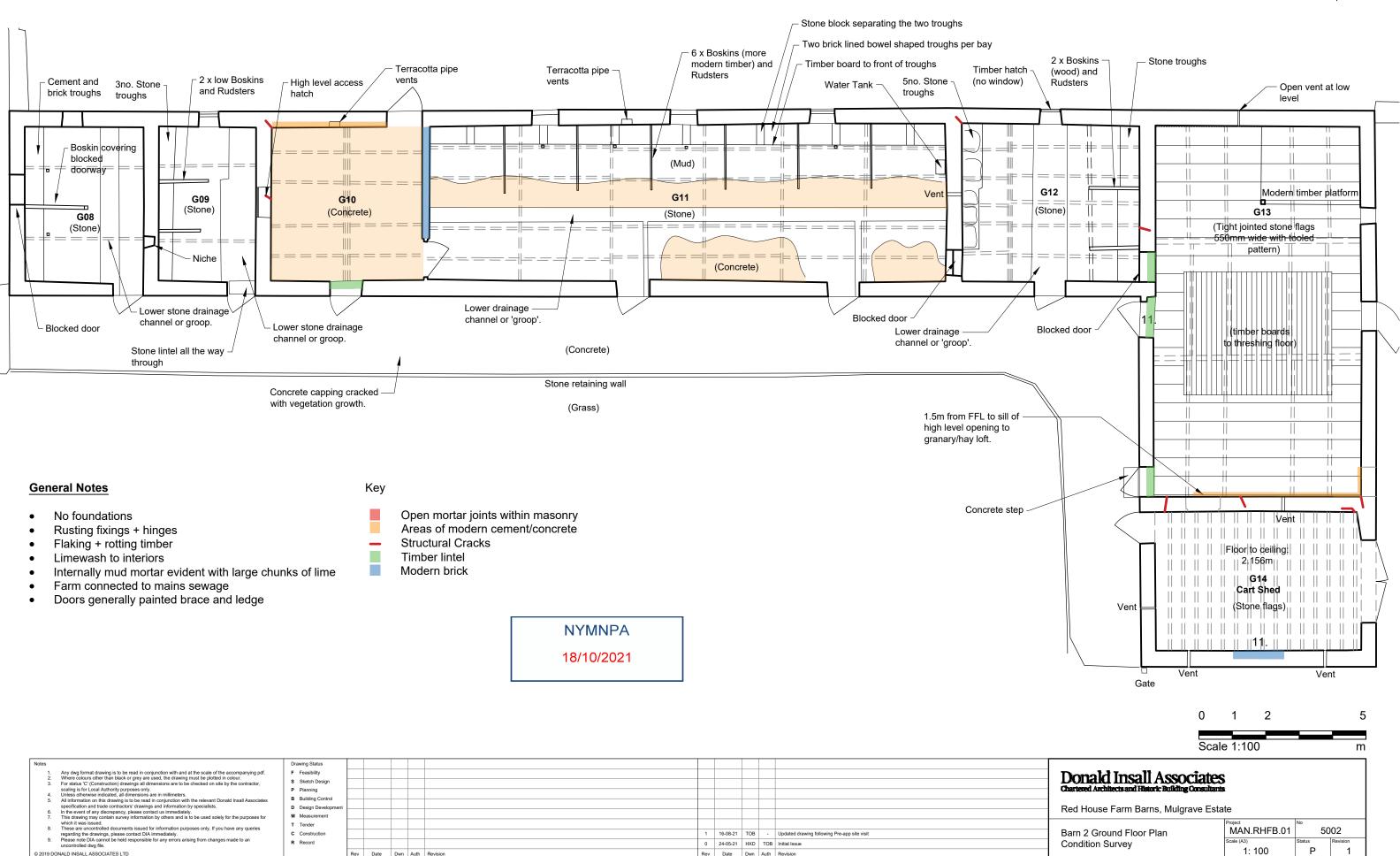
Key



Open mortar joints within masonry Areas of modern cement/concrete Structural Cracks



around window





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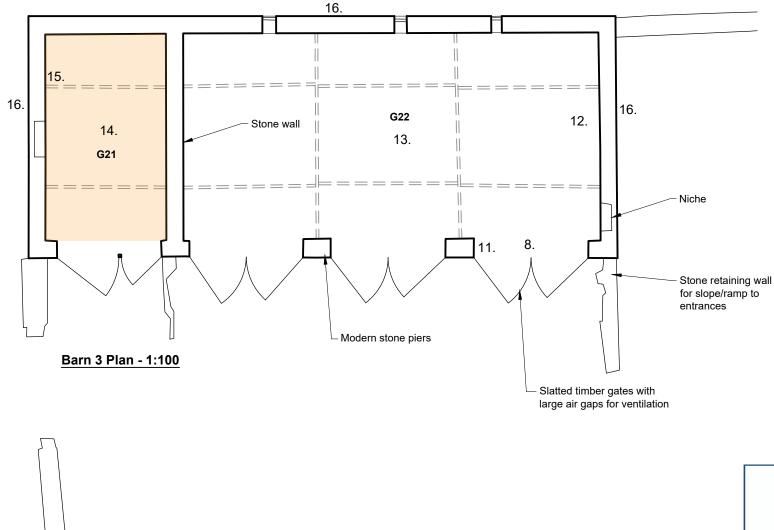


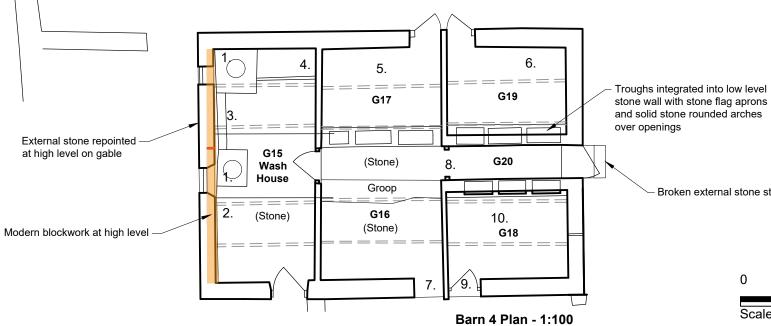
Key

- 1. Wash tub: stocking hole on side and round timber lid on top of masonry structure.
- 2. Modern structural metal tie rod
- 3. Mostly missing and degraded Range with stone lintel over fireplace
- Stone trough 4.
- 5. Modern gray membrane to roof
- Rotten timber to hay loft floor above 6.
- Brace and ledge door has rotten and fallen away 7.
- Timber lintel 8.
- 9. Brace and ledge door
- 10. Stone floor
- 11. Metal strap down stone pier
- 12. Weathered stone
- 13. Mud floor
- 14. Concrete floor
- 15. Cracked stone
- 16. Historic stone

General Notes

• Roof generally modern or recently renewed





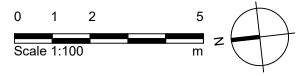
Key

- **Open Joints**
- Areas of modern cement/concrete
- Cracks _
- 1 Failed Membrane
- Hole in roof

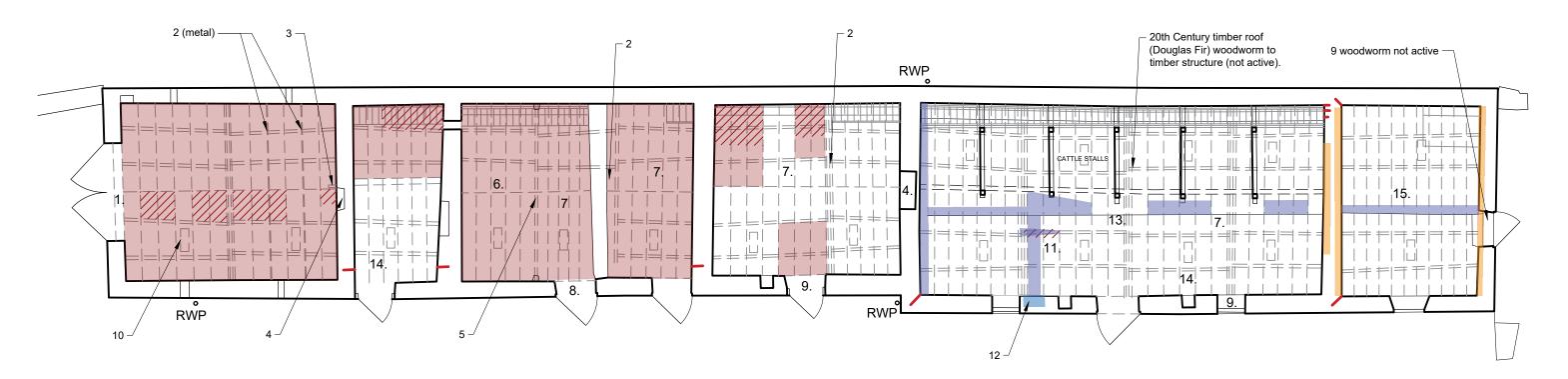
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Broken external stone steps



NYMNPA 18/10/2021



Key

1. Steel beam

- Low tie beam 2.
- 3. Timber
- High level opening with timber hatch 4.
- Raised modern timber truss. Original tie 5. beam cut at low level.
- 6. Small non-structural timber ridge beam
- Limewashed roof timbers 7.
- Stone lintel 8.
- 9. Timber lintel

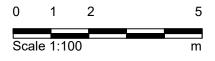
- 10. Glass pantile rooflight
- 11. Rotting purlin
- 12. Loose stones around timber
- 13. Swallow's nest
- 14. 20th Century sawn laths with limewash, butt jointed laths, overlapped ends, lime mortar above to hold pantiles.
- 15. 20th Century laths and lime mortar above. Modern timber rafters with historic purlins. No limewash.

Open Joints

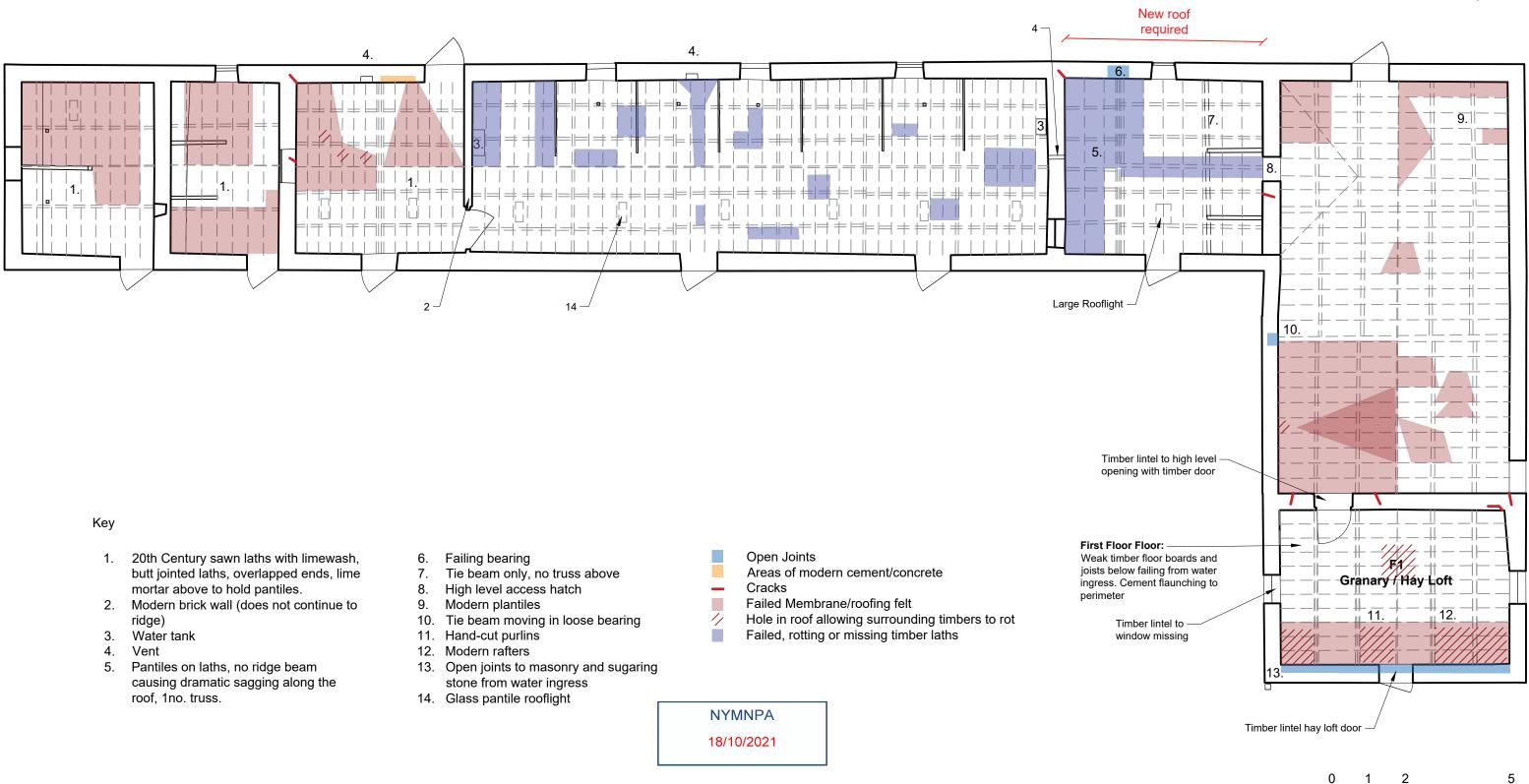
- Areas of modern cement/concrete Cracks
- Failed Membrane/roofing felt
- // Hole in roof allowing surrounding timbers to rot Failed, rotting or missing timber laths

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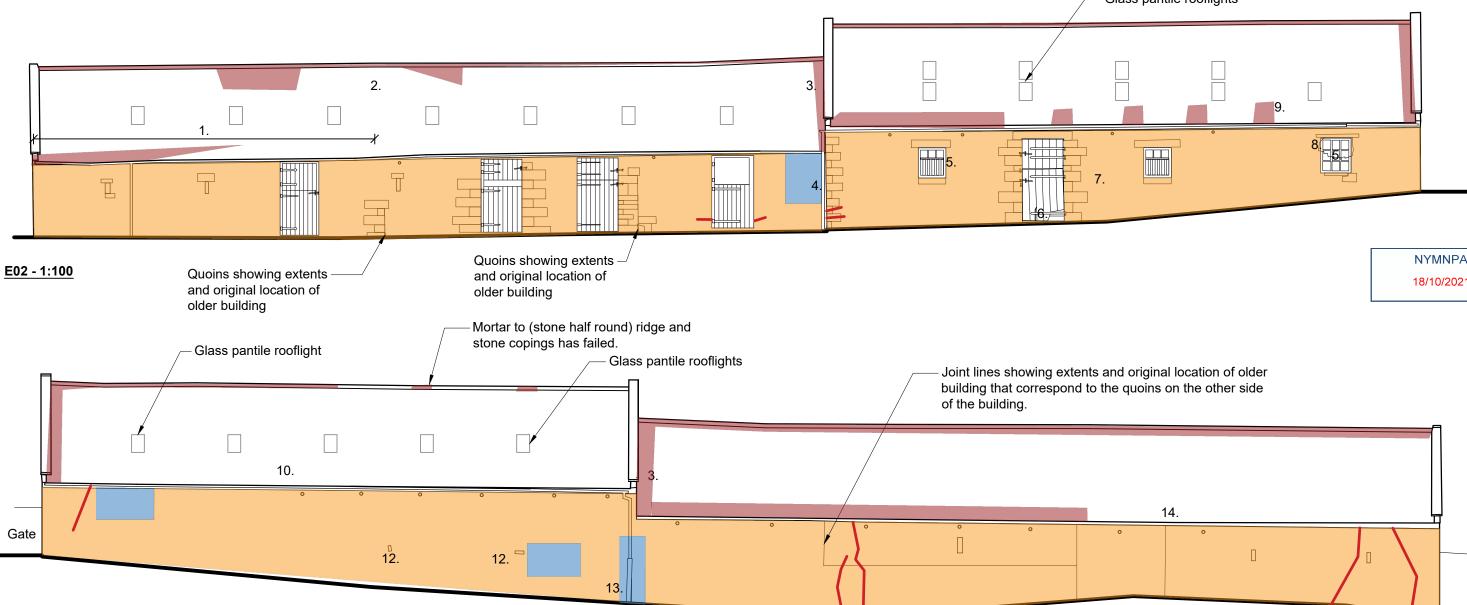


Notes . 1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf. 2. Where colours other than black or grey are used, the drawing must be plotted in colour. 3. For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only. 4. Unless otherwise indicated, all dimensions are in millimeters. 5. All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates	Drawing Status F Feasibility S Sketch Design P Planning B Building Control						Donald Insall Associates Chartered Architects and Historic Building Consultant	5		
 All information on this drawing is to be read in conjunction with the relevant Lohard insail Associates specification and trade contractors' drawings and information by specialists. In the event of any discrepancy, please contact us immediately. This drawing may contain survey information by others and is to be used solely for the purposes for 	D Design Development M Measurement						Red House Farm Barns, Mulgrave Esta	ate		
which it was issued. 8. These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact DIA immediately.	T Tender C Construction						Barn 2 Reflected Ceiling Plan	MAN.RHFB.01		012
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Scale 1:100

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E04 - 1:100

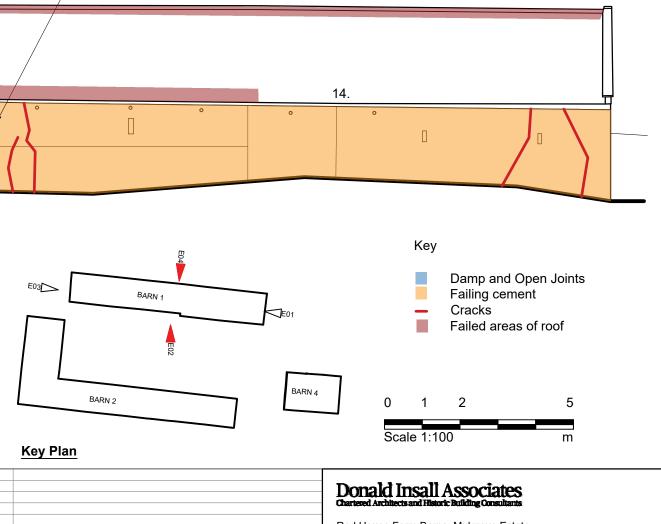
Key

- Area of plastic RWP with original brackets 1.
- 2. Undulating structure
- Cement fillet 3.
- Rusting 4.
- Missing glass and rotten timber 5.
- Rotting base to door 6.
- 7. Metal fixings to wall
- Plywood 8.
- 9. Chipped pan tiles and missing mortar
- 10. Pantiles
- 11. Glass pantile rooflights
- 12. Rusting iron tie with weathered stone around

- 13. Broken bottom and rusting RWP
- 14. No gutter to this side of roof

General Notes

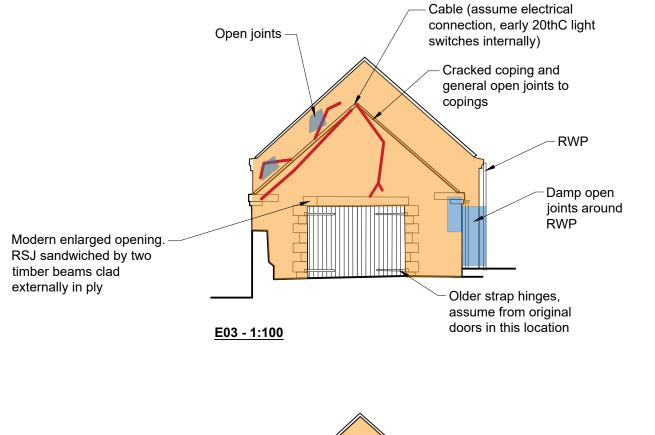
- Rusting cast iron half round gutters ٠
- Glass pantile rooflights shown indicatively •



Notes	Drawing Status										
 Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf. 	F Feasibility									Donald Insall Associate	n
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Glass pantile rooflights

NYMNPA 18/10/2021

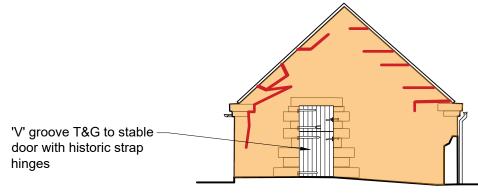


General Notes

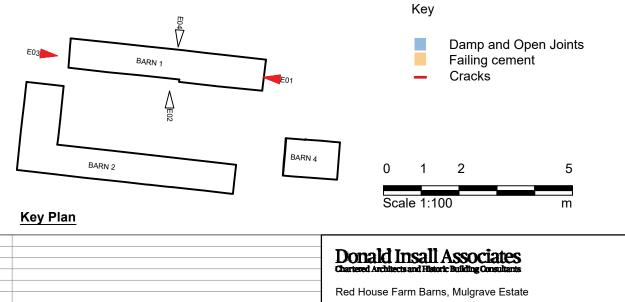
- Rusting cast iron half round gutters •
- Glass pantile rooflights shown indicatively ٠

NYMNPA

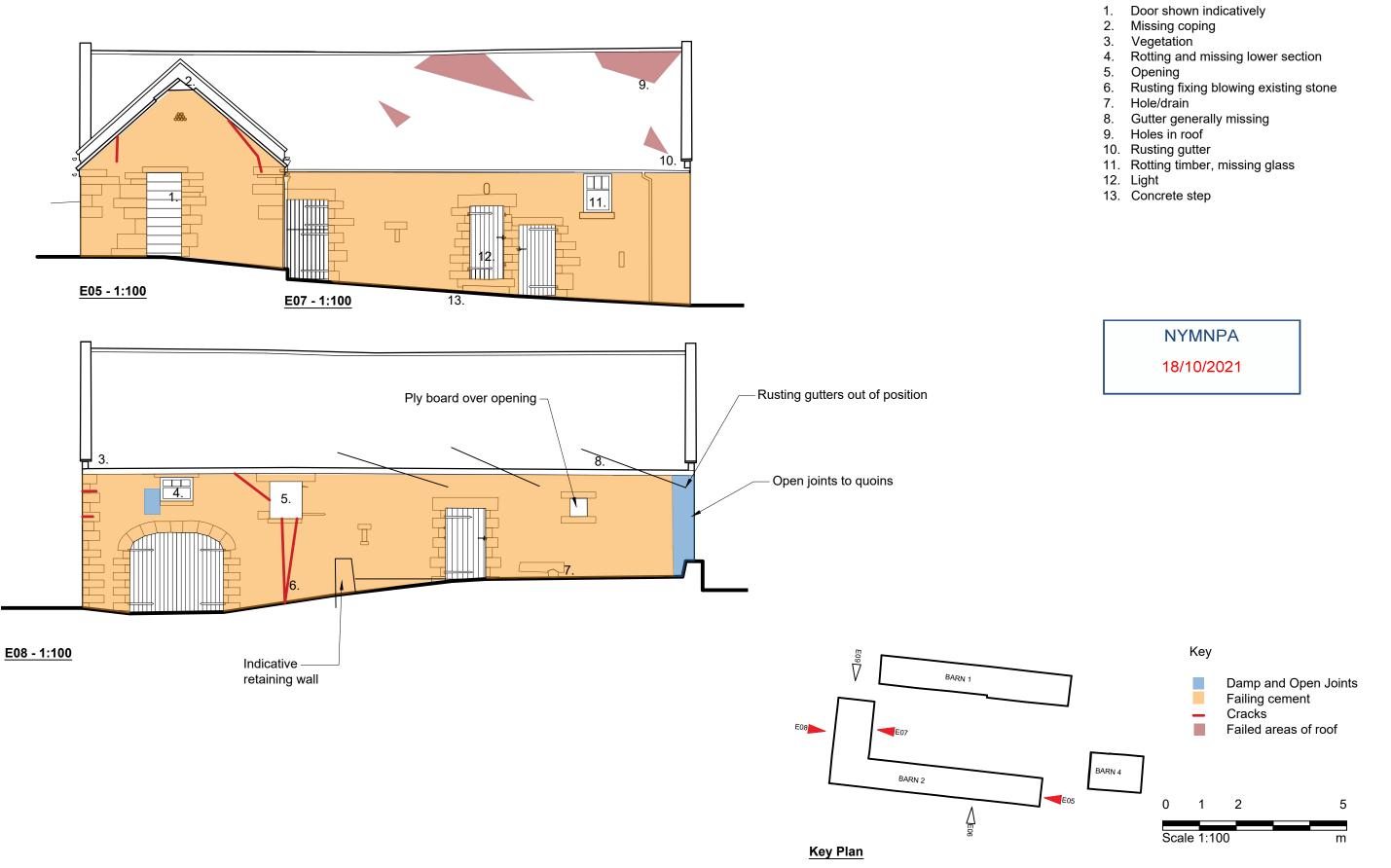
18/10/2021



E01 - 1:100



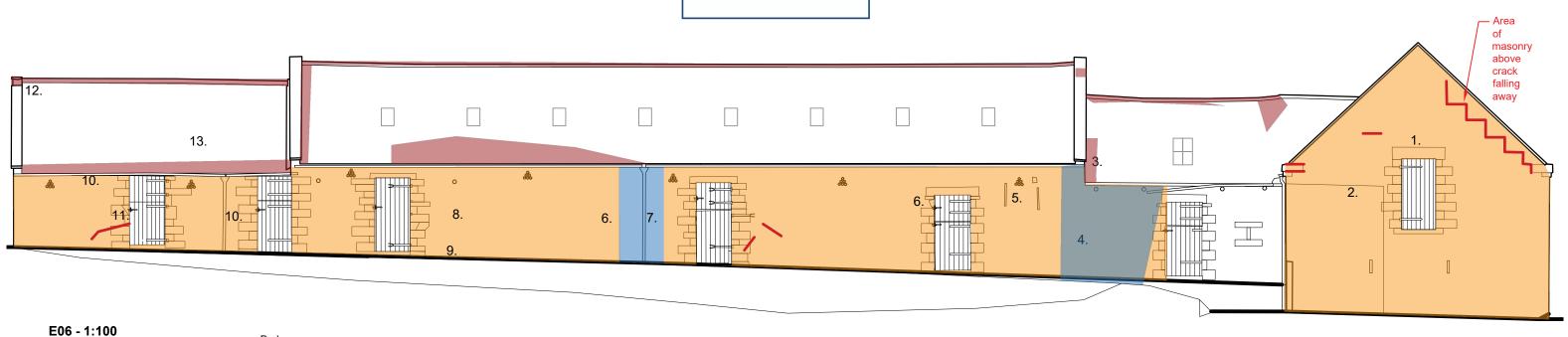
Notes 1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf. 2. Where colours other than black or grey are used, the drawing must be plotted in colour. 3. For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only. 4. Unless otherwise indicated, all dimensions are in millimeters.	Drawing Status F Feasibility S Sketch Design P Planning B Building Control							Donald Insall Associate Chartered Architects and Historic Building Consult	es tanta
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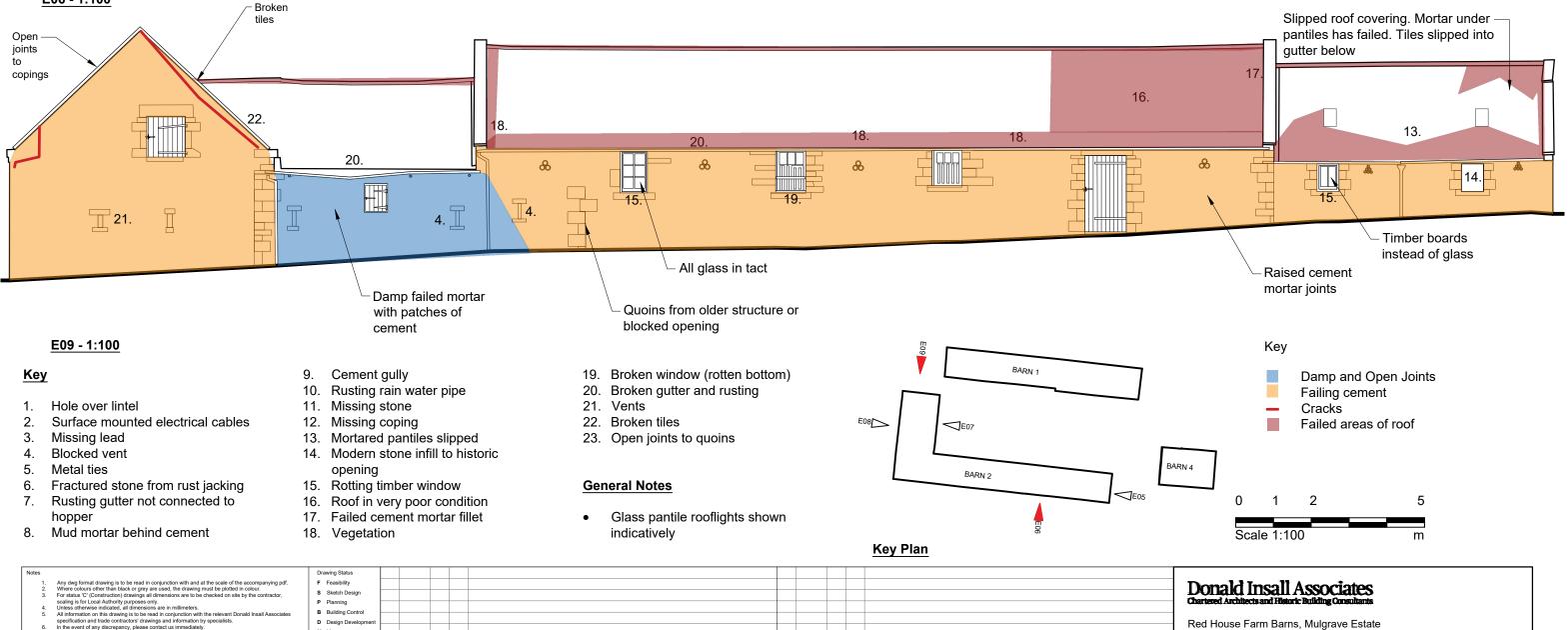


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<u>Key</u>

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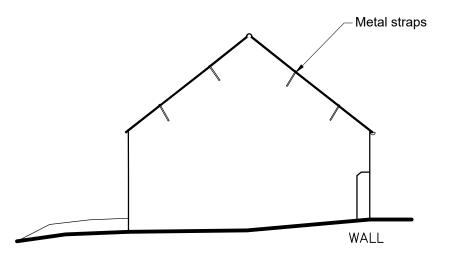


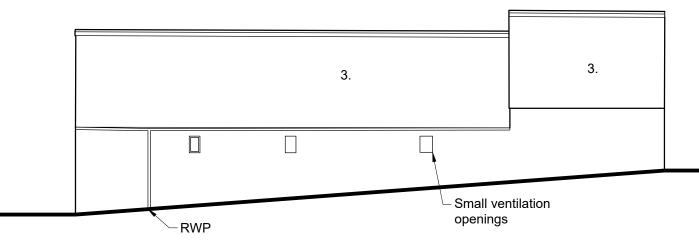




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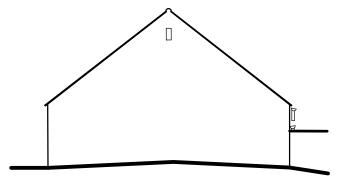
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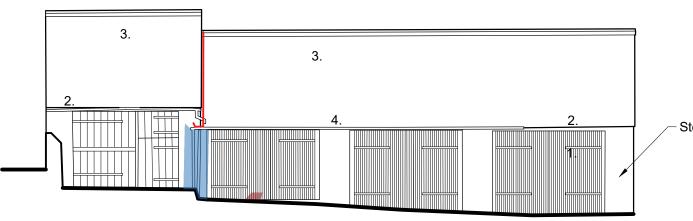




<u>E11 - 1:100</u>







<u>E09 - 1:100</u>

<u>E10 - 1:100</u>



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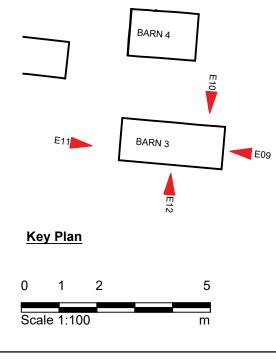
Key

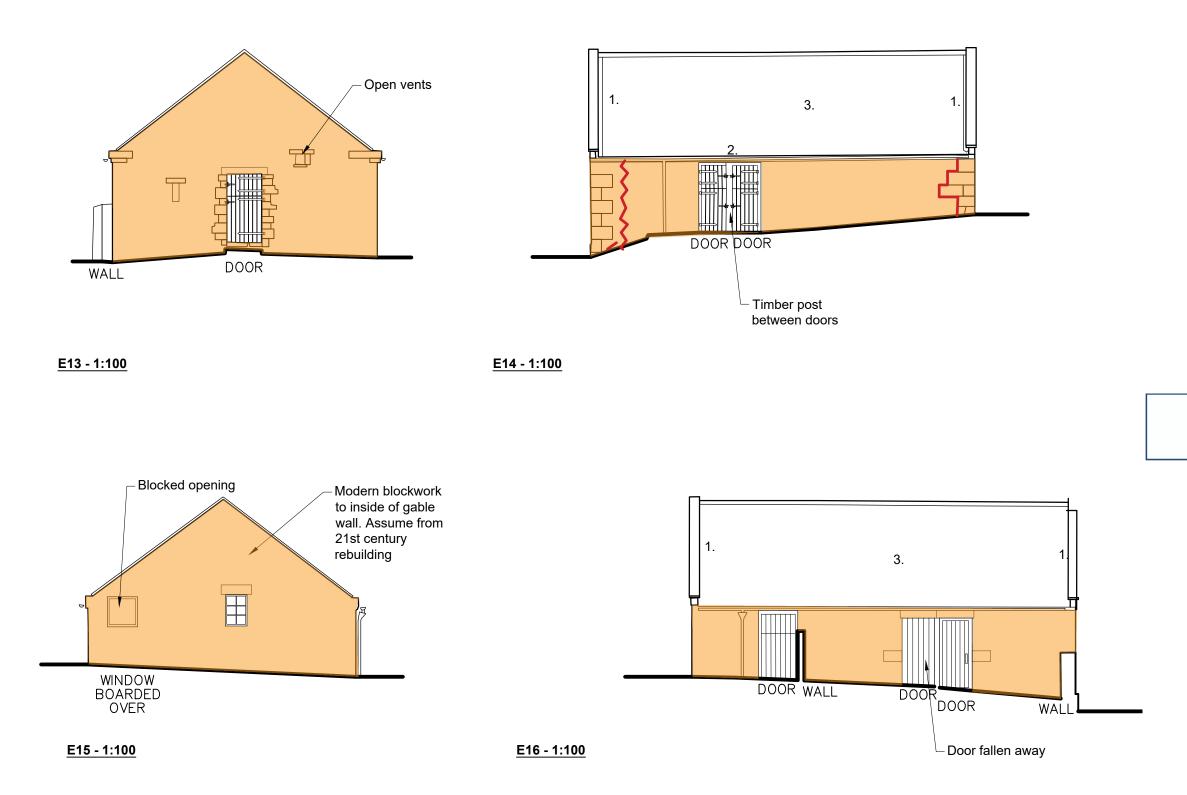
- Open timber gates
 Missing gutter
 Asbestos roof
 Rusting gutter

Key

- Damp and Open Joints Failing cement Cracks Failed or missing area of material

Stone





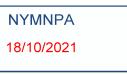
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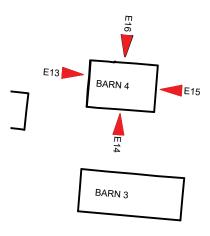
Key

- 1. Lead flashing to sides of copings
- Rusting gutters
- 2. 3. 21st century roof repairs to pantile roof

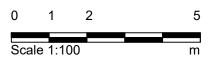
Key

- Damp and Open Joints
- Failing cement
- Cracks _
 - Failed or missing area of material





Key Plan



Donald Insall Associates Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

Elevation E13, E14, E15 & E16	MAN.RHFB.01	⁵ 5230			
Condition Survey	Scale (A3) 1: 100	P	Revision 0		