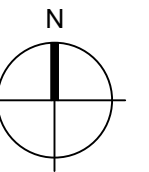


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NYMNP  
 18/10/2021



- Notes**
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**Drawing Status**

F	Feasibility
S	Sketch Design
P	Planning
B	Building Control
D	Design Development
M	Measurement
T	Tender
C	Construction
R	Record

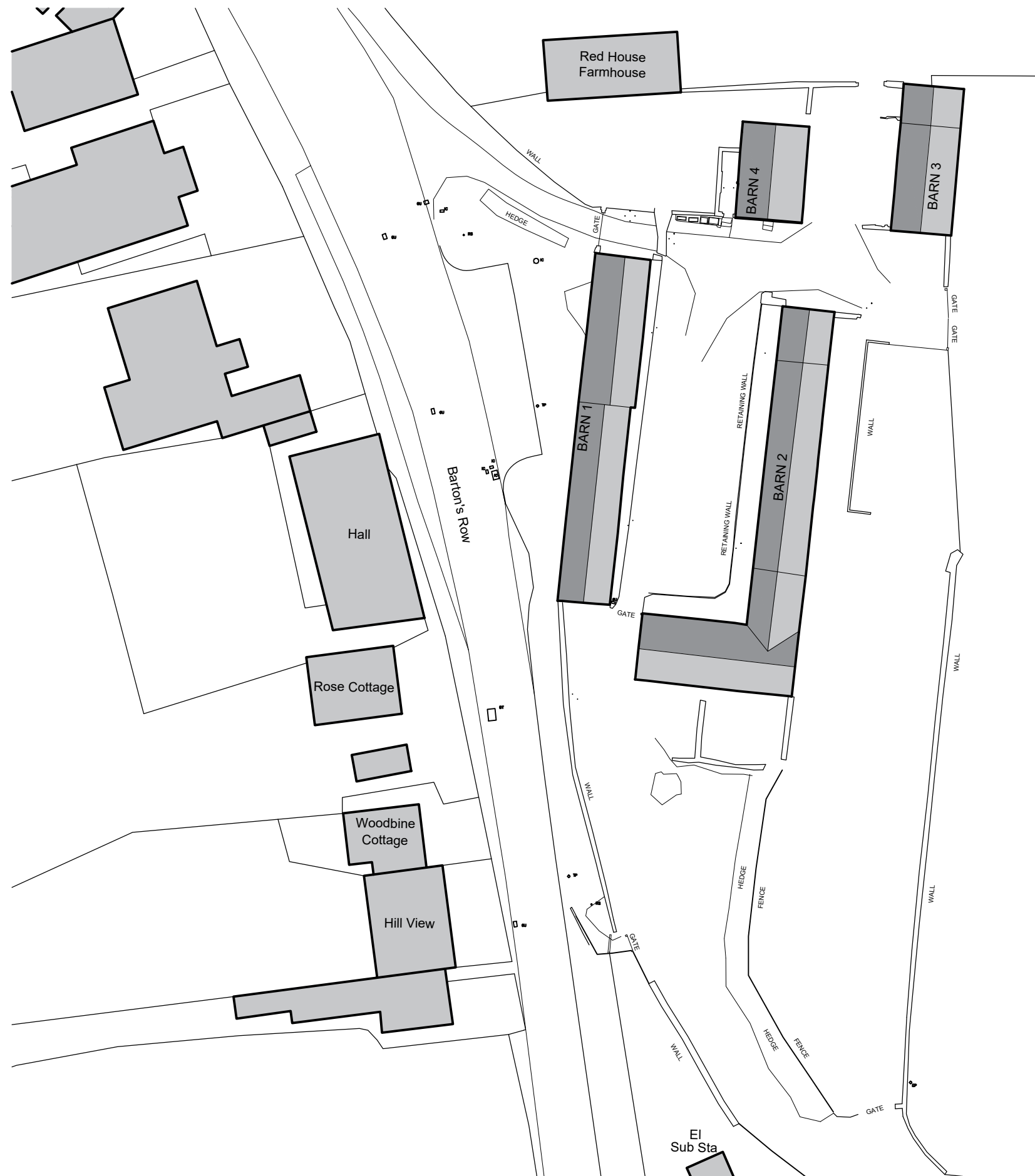
Rev	Date	Dwn	Auth	Revision
2	14-10-21	TOB	-	Site boundary update
1	29-09-21	TOB	-	Updated following Pre-app to include parking for Red House Farmhouse
0	24-05-21	HXD	TOB	Initial Issue

**Donald Insall Associates**  
 Chartered Architects and Historic Building Consultants

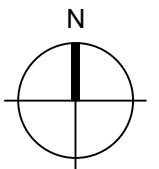
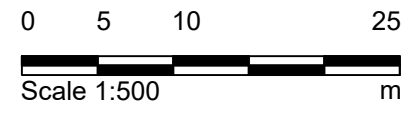
Red House Farm Barns, Mulgrave Estate

Project	MAN.RHFB.01	No	8000
Scale (A3)	1:1250	Status	P
		Revision	2

Site Location Plan



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18/10/2021



**Notes**

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**Drawing Status**

F Feasibility  
S Sketch Design  
P Planning  
B Building Control  
D Design Development  
M Measurement  
T Tender  
C Construction  
R Record

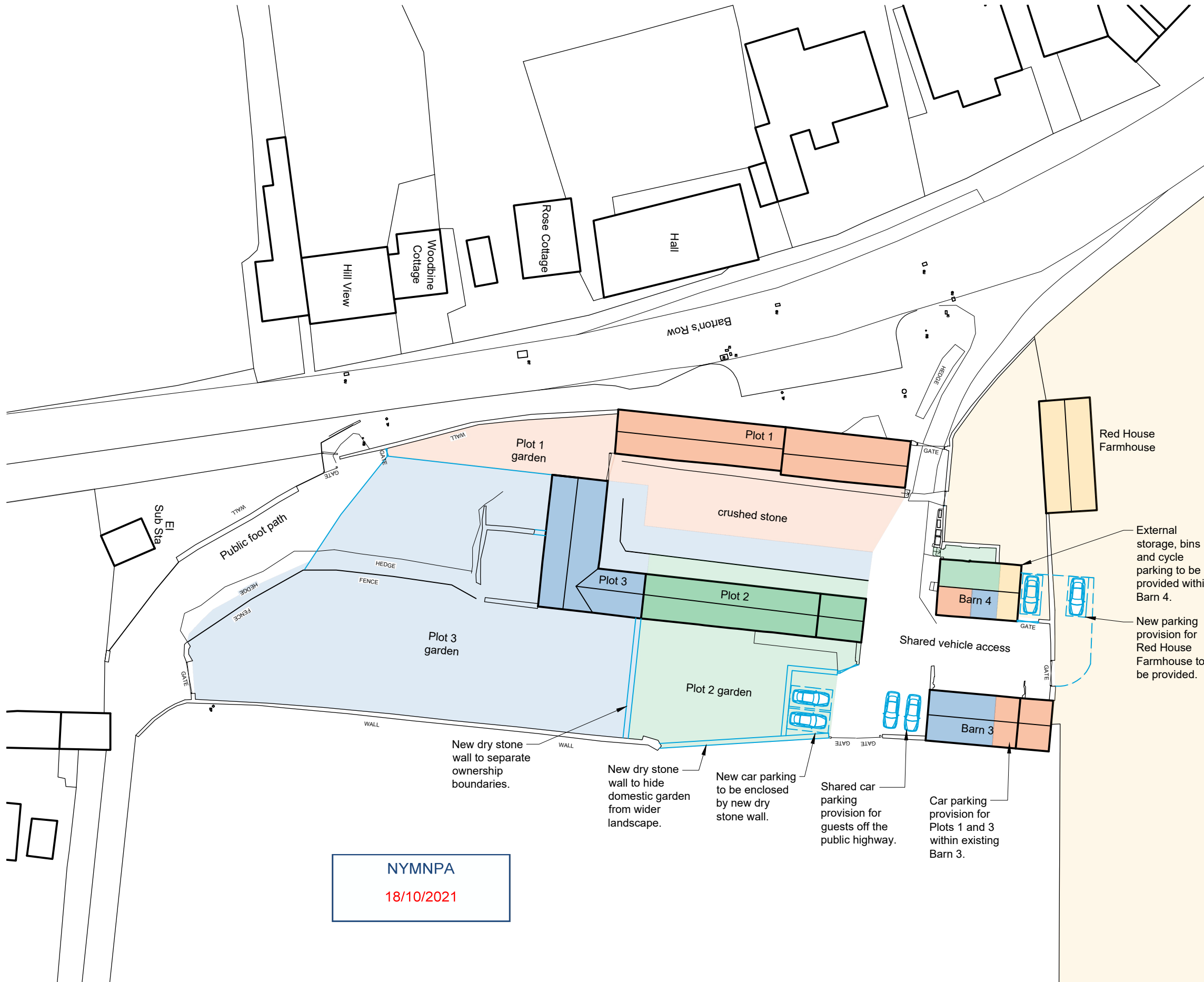
Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
1	02-07-21	TOB		Updated for Pre-app
0	24-05-21	HXD	TOB	Initial Issue

**Donald Insall Associates**  
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Red House Farm Barns, Mulgrave Estate

Site Plan As Existing	Project	MAN.RHFB.01	No	1000
	Scale (A3)	1:500	Status	P
			Revision	1



**NOTES**

**Key**

- Plot 1 : 3 bed, 2 bath
- Plot 3 : 2 bed, 2 bath, 1 home office
- Plot 2 : 2 bed, 1 bath
- Red House Farmhouse
- New intervention

**General Notes**

- Farm Yard and vehicle tracks**  
New local crushed stone to match existing
- Walkways and Paths**  
New Yorkstone paving flags
- Waste and Recycling**  
Within Barn 4
- Boundary wall treatments**  
Dry stone wall and post and rail timber fencing
- Ground Source Heat Pumps**  
Below ground infrastructure to be installed within gardens of each plot or within the areas of farm yard owned by each plot if garden is not big enough.

External storage, bins and cycle parking to be provided within Barn 4.

New parking provision for Red House Farmhouse to be provided.

New dry stone wall to separate ownership boundaries.

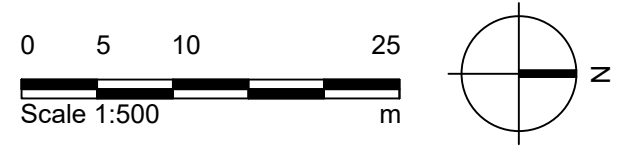
New dry stone wall to hide domestic garden from wider landscape.

New car parking to be enclosed by new dry stone wall.

Shared car parking provision for guests off the public highway.

Car parking provision for Plots 1 and 3 within existing Barn 3.

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**Notes**

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S	Sketch Design			
P	Planning			
B	Building Control			
D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

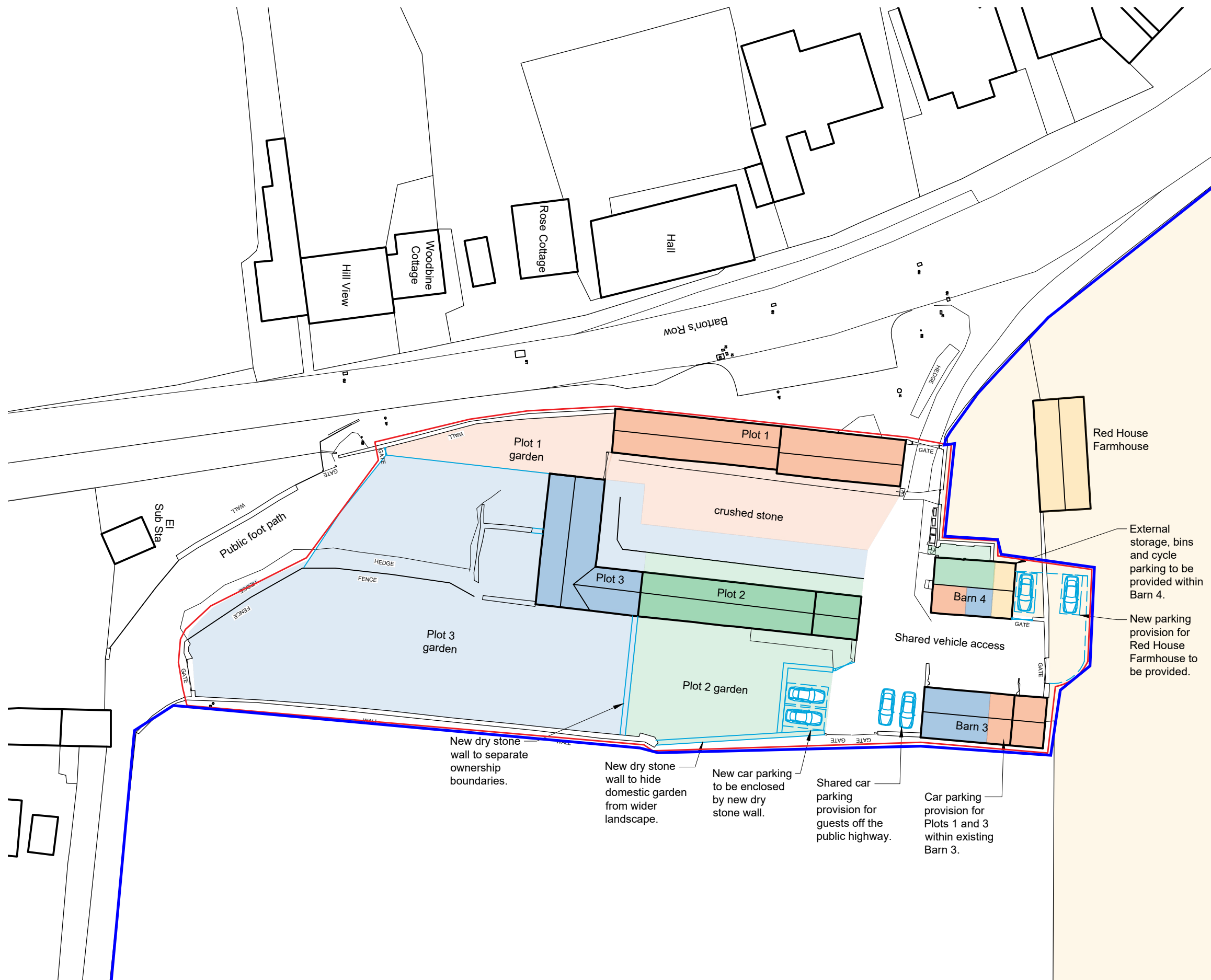
Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
0	24-09-21	TXP	TOB	Initial Issue

**Donald Insall Associates**  
Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

Site Plan	Project	MAN.RHFB.01	No	4000
As Proposed	Scale (A3)	1:500	Status	3P
			Revision	0



**NOTES**

**Key**

- Plot 1 : 3 bed, 2 bath
- Plot 3 : 2 bed, 2 bath, 1 home office
- Plot 2 : 2 bed, 1 bath
- Red House Farmhouse
- New intervention
- Site Boundary

**General Notes**

**Farm Yard and vehicle tracks**

New local crushed stone to match existing

**Walkways and Paths**

New Yorkstone paving flags

**Waste and Recycling**

Within Barn 4

**Boundary wall treatments**

Dry stone wall and post and rail timber fencing

**Ground Source Heat Pumps**

Below ground infrastructure to be installed within gardens of each plot or within the areas of farm yard owned by each plot if garden is not big enough.

**NYMNPA**  
18/10/2021

External storage, bins and cycle parking to be provided within Barn 4.

New parking provision for Red House Farmhouse to be provided.

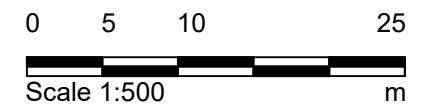
New dry stone wall to separate ownership boundaries.

New dry stone wall to hide domestic garden from wider landscape.

New car parking to be enclosed by new dry stone wall.

Shared car parking provision for guests off the public highway.

Car parking provision for Plots 1 and 3 within existing Barn 3.



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**Drawing Status**

F	Feasibility
S	Sketch Design
P	Planning
B	Building Control
D	Design Development
M	Measurement
T	Tender
C	Construction
R	Record

Rev	Date	Dwn	Auth	Revision
1	14-10-21	TOB		Site boundary line added
0	24-09-21	TXP	TOB	Initial Issue

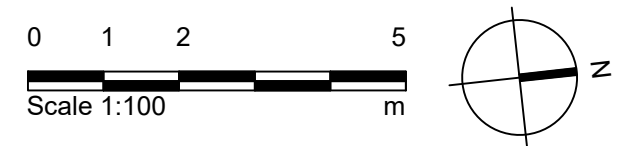
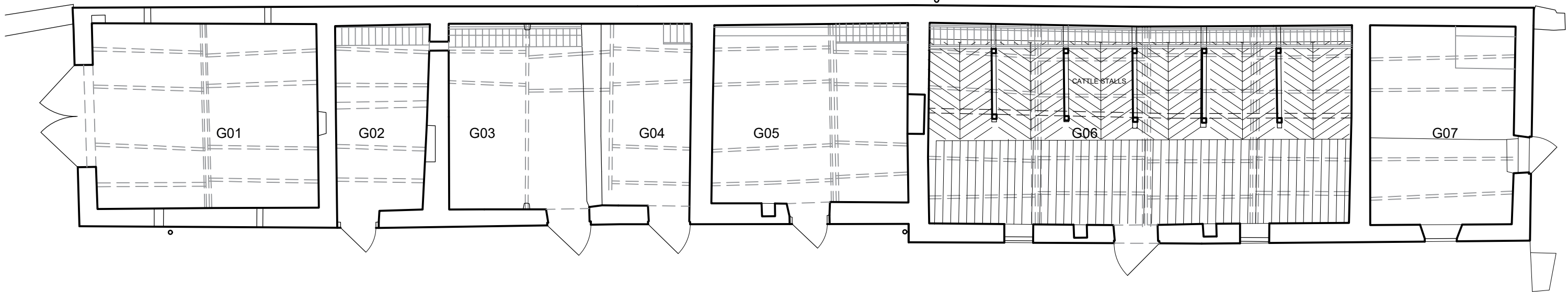
Rev	Date	Dwn	Auth	Revision

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Red House Farm Barns, Mulgrave Estate

Site Plan As Proposed	Project MAN.RHFB.01	No 4000
Scale (A3) 1:500	Status 3P	Revision 1

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18/10/2021



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S	Sketch Design			
P	Planning			
B	Building Control			
D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

Rev	Date	Dwn	Auth	Revision
0	24-05-21	HXD	TOB	Initial Issue

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Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

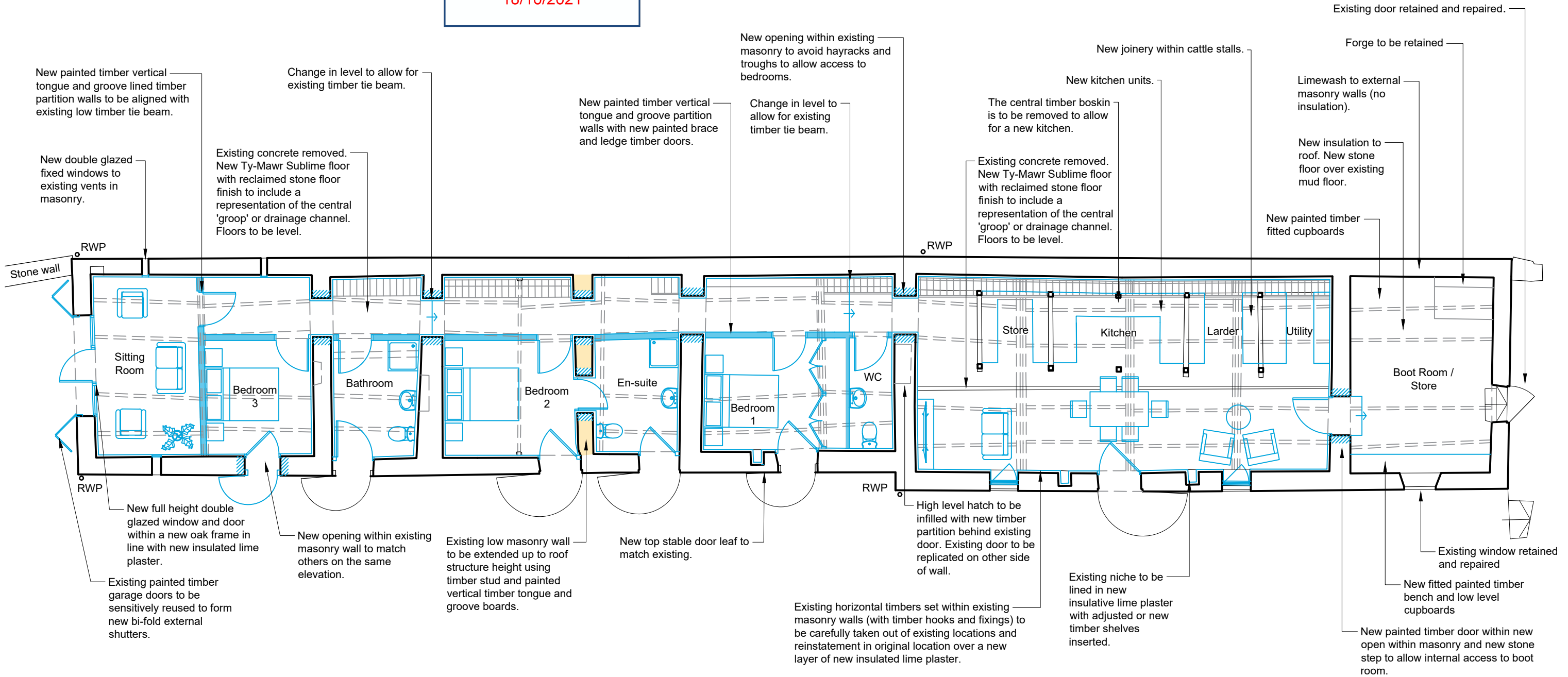
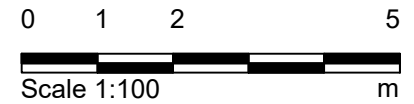
Barn 1 Ground Floor Plan As Existing	Project MAN.RHFB.01	No 1001
	Scale (A3) 1: 100	Status P

Revision 0
---------------

**Key**

■ New intervention

NYMNPA  
18/10/2021



**General Notes**

**Doors**

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

**Windows**

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

**Masonry Walls**

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in

non-hydraulic hot lime mortar following the removal of all cementitious materials.

**Floors**

Existing concrete removed or Existing stone floor to be recorded, numbered and carefully lifted. New insulated Ty-Mawr Sublime floor installed. Existing stones to be put back in original locations within a new level floor to include a representation of the central 'groop' or drainage channels. Or where there are not existing stones new reclaimed stone floor finish to be installed to match the existing stones.

**RWP**

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

**Internal Partition Walls**

New painted timber vertical tongue and groove partition walls with new painted brace and ledge timber doors.

**Existing internal agricultural structures**

Existing timber troughs, boskins, rudsters and hayracks to be recorded, pieces numbered, carefully dismantled and reinstate in original positions following any necessary repairs to rotten areas and the installation of the new wall insulation and floor finish.

**Underpinning**

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

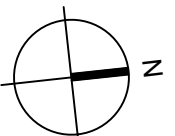
new insulated floor to not undermine any areas of shallow foundations.

**Roof**

New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. New elements to be limewashed if existing timbers are limewashed adjacent.

**SVP and vents**

All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).



Notes
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Drawing Status
F Feasibility
S Sketch Design
P Planning
B Building Control
D Design Development
M Measurement
T Tender
C Construction
R Record

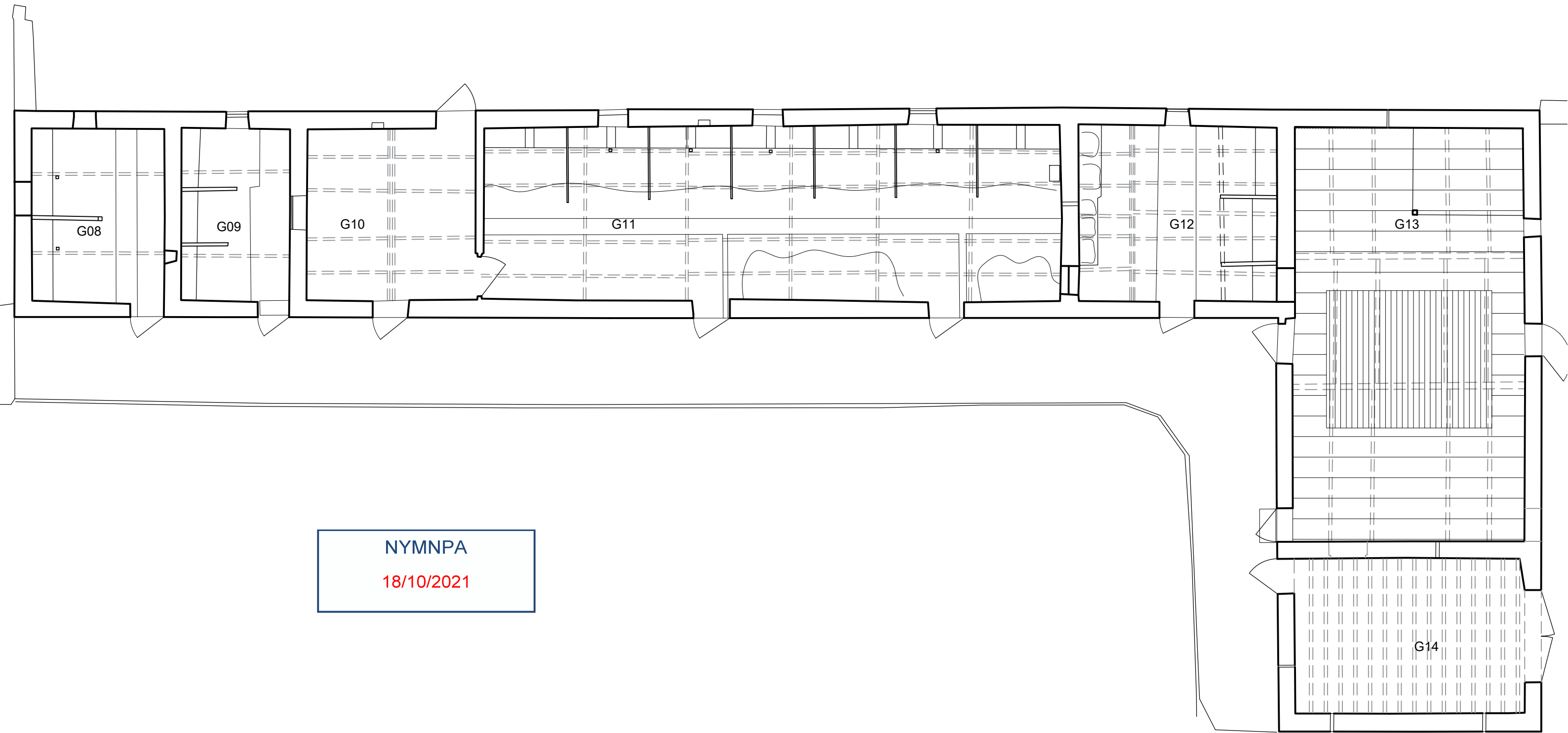
Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
0	17-09-21	TXP	TOB	Initial Issue

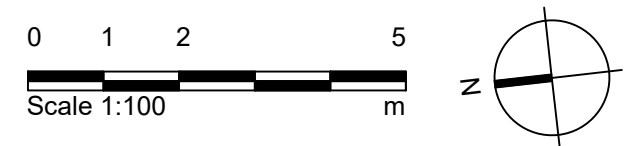
**Donald Insall Associates**  
Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

Plot 1, Ground Floor Plan As Proposed	Project MAN.RHFB.01	No 2001
	Scale (A3) 1: 100	Status P
		Revision 0



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18/10/2021



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D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

Rev	Date	Dwn	Auth	Revision
1	16-08-21	TOB	-	Updated drawing following Pre-app site visit
0	24-05-21	HXD	TOB	Initial Issue

Donald Insall Associates

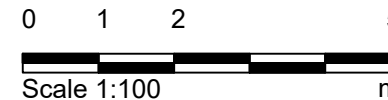
Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

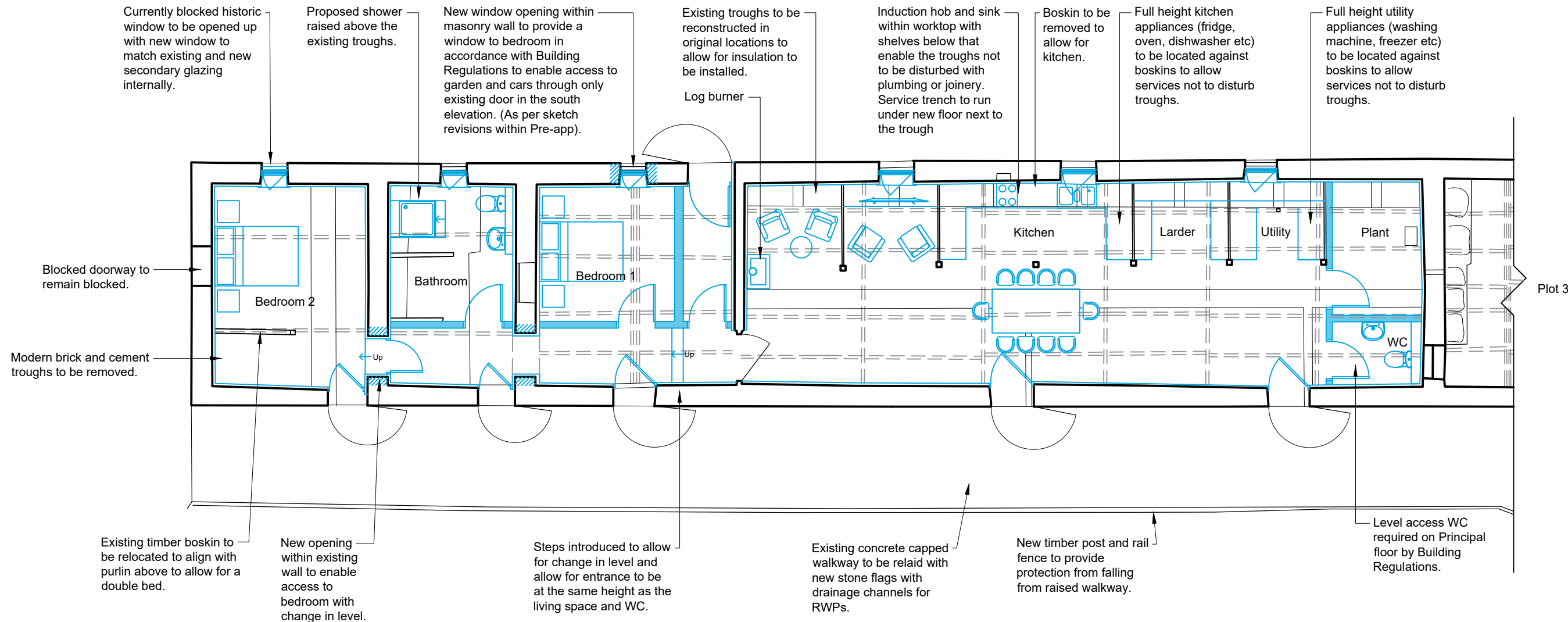
<p>Barn 2 Ground Floor Plan As Existing</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 0.7em;">Project</td> <td style="font-size: 0.7em;">MAN.RHFB.01</td> <td style="font-size: 0.7em;">No</td> <td style="font-size: 0.7em;">1002</td> </tr> <tr> <td style="font-size: 0.6em;">Scale (A3)</td> <td style="font-size: 0.6em;">1: 100</td> <td style="font-size: 0.6em;">Status</td> <td style="font-size: 0.6em;">P</td> </tr> <tr> <td style="font-size: 0.6em;">Revision</td> <td style="font-size: 0.6em;"></td> <td style="font-size: 0.6em;">Revision</td> <td style="font-size: 0.6em;">1</td> </tr> </table>	Project	MAN.RHFB.01	No	1002	Scale (A3)	1: 100	Status	P	Revision		Revision	1
Project	MAN.RHFB.01	No	1002										
Scale (A3)	1: 100	Status	P										
Revision		Revision	1										

**Key**

■ New intervention



NYMNP  
18/10/2021



**General Notes**

**Doors**  
New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

**Windows**  
Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

**Masonry Walls**  
60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in

non-hydraulic hot lime mortar following the removal of all cementitious materials.

**Floors**  
Existing concrete removed or Existing stone floor to be recorded, numbered and carefully lifted. New insulated Ty-Mawr Sublime floor installed. Existing stones to be put back in original locations within a new level floor to include a representation of the central 'groop' or drainage channels. Or where there are not existing stones new reclaimed stone floor finish to be installed to match the existing stones.

**RWP**  
Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

**Internal Partition Walls**  
New painted timber vertical tongue and groove partition walls with new painted brace and ledge timber doors.

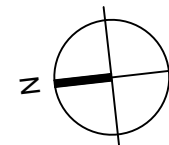
**Existing internal agricultural structures**  
Existing timber troughs, boskins, rudsters and hayracks to be recorded, pieces numbered, carefully dismantled and reinstate in original positions following any necessary repairs to rotten areas and the installation of the new wall insulation and floor finish.

**Underpinning**  
Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

new insulated floor to not undermine any areas of shallow foundations.

**Roof**  
New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. New elements to be limewashed if existing timbers are limewashed adjacent.

**SVP and vents**  
All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).



**Notes**

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Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
0	17-09-21	TXP	TOB	Initial Issue


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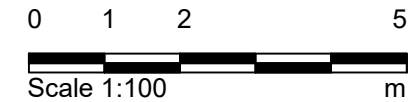
Red House Farm Barns, Mulgrave Estate

Project	MAN.RHFB.01	No	2002
Scale (A3)	1: 100	Status	P
		Revision	0

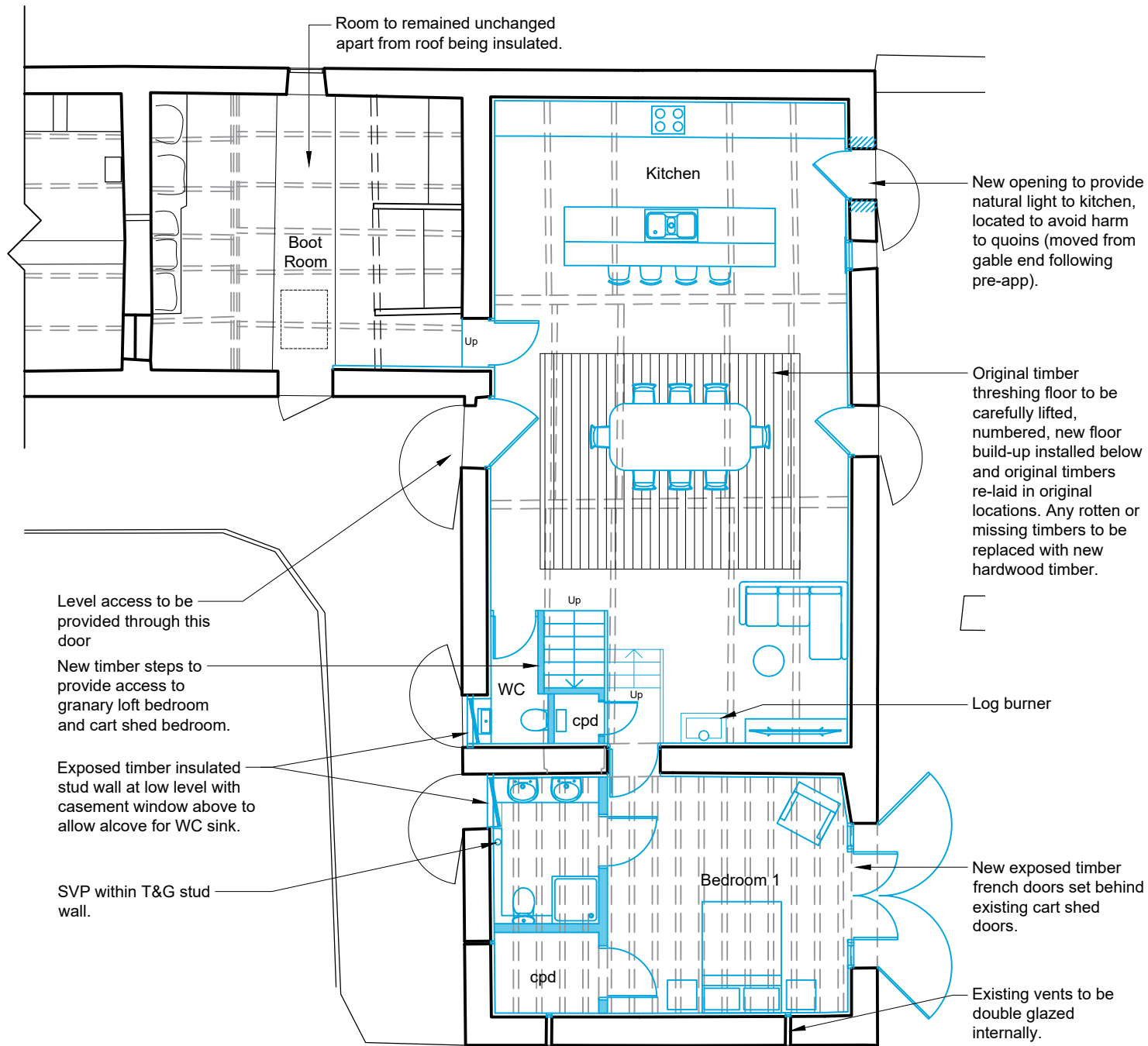
Plot 2, Ground Floor Plan  
As Proposed



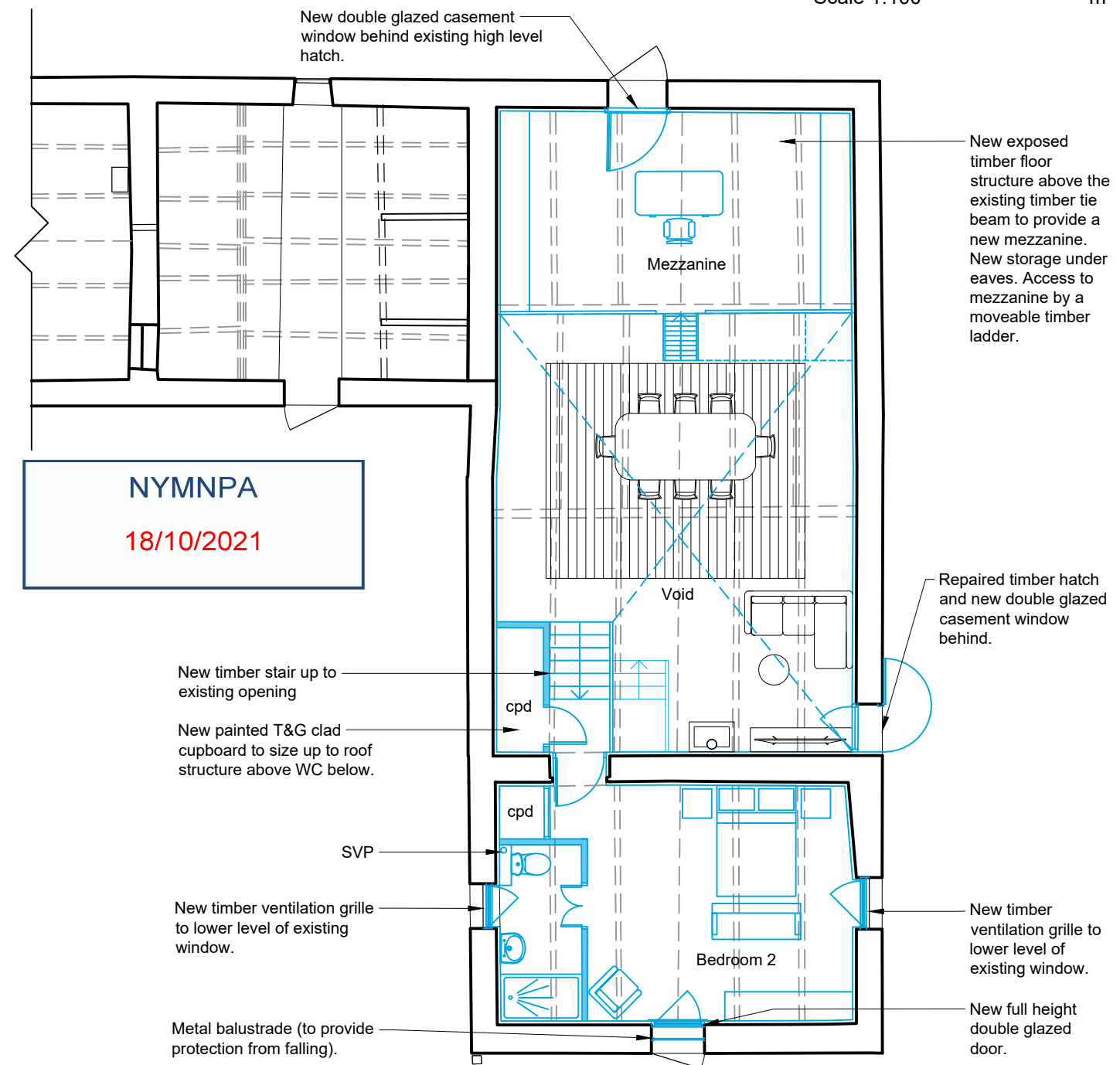
**Key**  
 New intervention



**Ground Floor**



**First Floor**



**General Notes**

**Doors**  
 New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

**Windows**  
 Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

**Masonry Walls**  
 60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in

non-hydraulic hot lime mortar following the removal of all cementitious materials.

**Floors**  
 Existing concrete removed or Existing stone floor to be recorded, numbered and carefully lifted. New insulated Ty-Mawr Sublime floor installed. Existing stones to be put back in original locations within a new level floor to include a representation of the central 'groop' or drainage channels. Or where there are not existing stones new reclaimed stone floor finish to be installed to match the existing stones.

**RWP**  
 Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

**Internal Partition Walls**  
 New painted timber vertical tongue and groove partition walls with new painted brace and ledge timber doors.

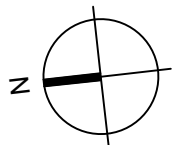
**Existing internal agricultural structures**  
 Existing timber troughs, boskins, rudsters and hayracks to be recorded, pieces numbered, carefully dismantled and reinstate in original positions following any necessary repairs to rotten areas and the installation of the new wall insulation and floor finish.

**Underpinning**  
 Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

new insulated floor to not undermine any areas of shallow foundations.

**Roof**  
 New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. New elements to be limewashed if existing timbers are limewashed adjacent.

**SVP and vents**  
 All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).



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C	Construction
R	Record

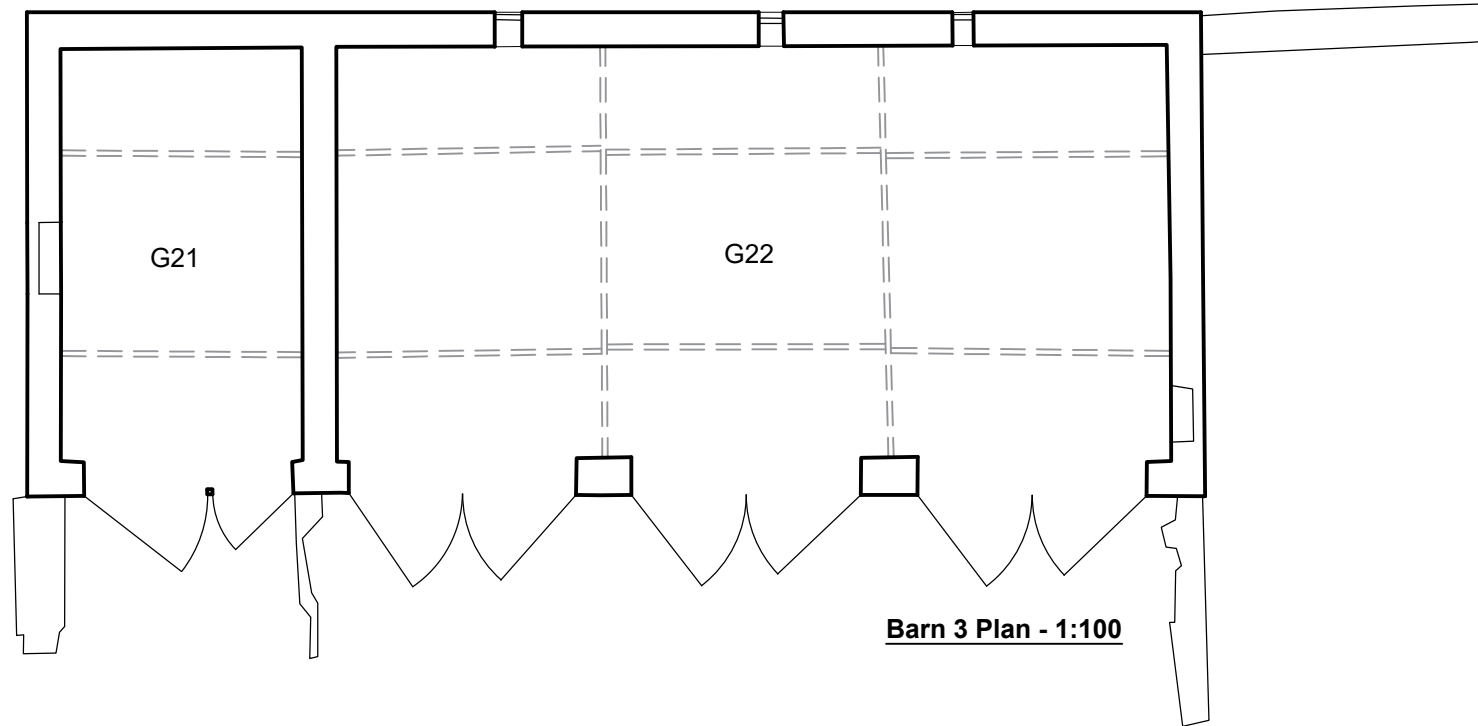
Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
0	17-09-21	TXP	TOB	Initial Issue

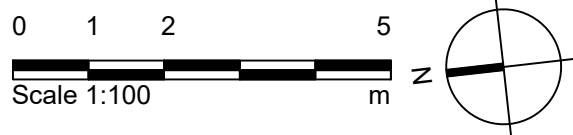
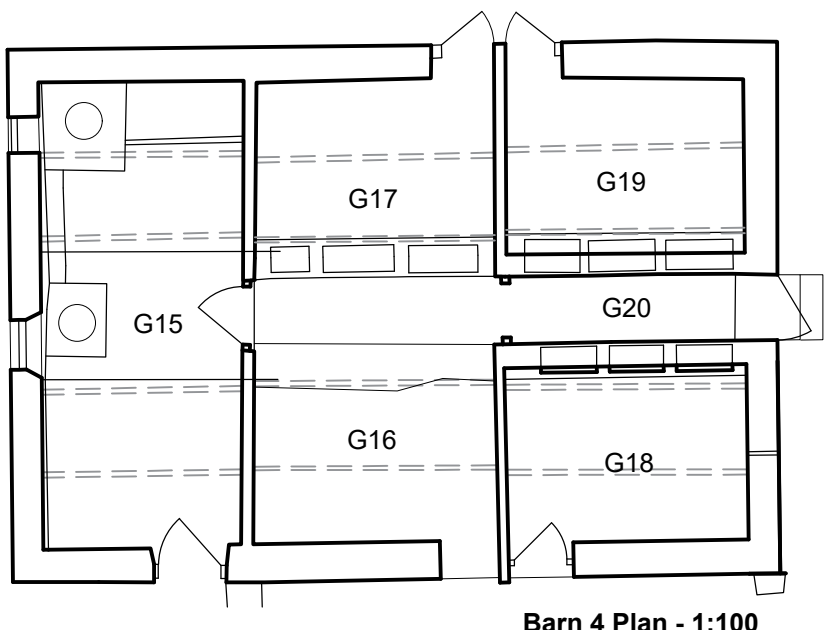
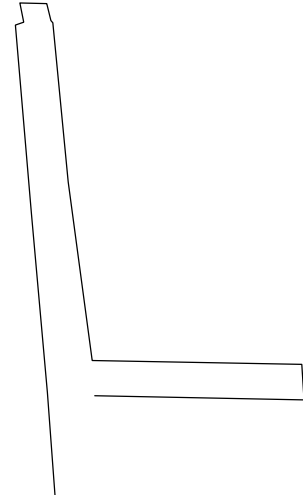
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Red House Farm Barns, Mulgrave Estate

Plot 3, Ground and First Floor Plan As Proposed	Project MAN.RHFB.01	No 2002
Scale (A3) 1: 100	Status P	Revision 0



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S	Sketch Design			
P	Planning			
B	Building Control			
D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

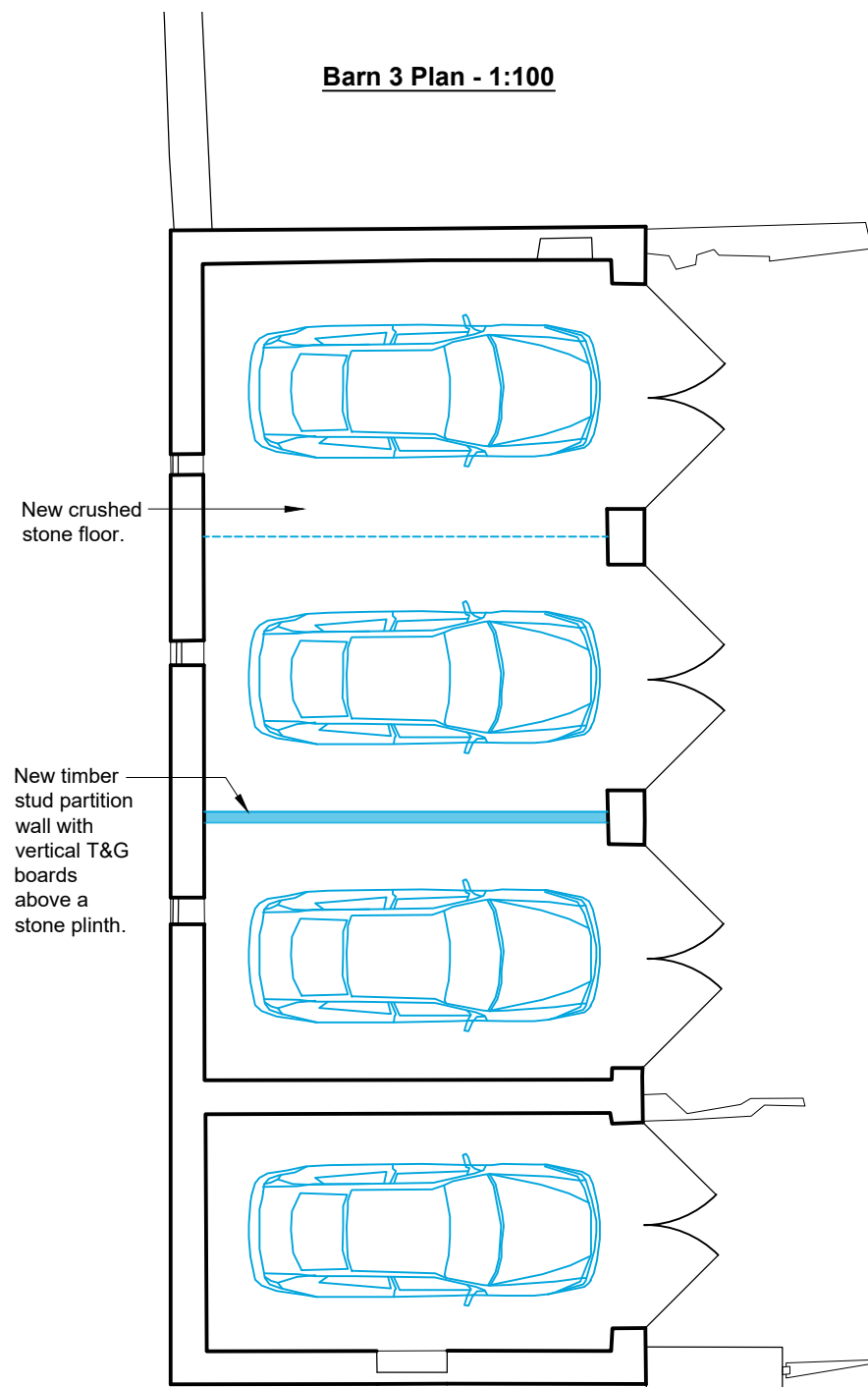
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0	24-05-21	HXD	TOB	Initial Issue

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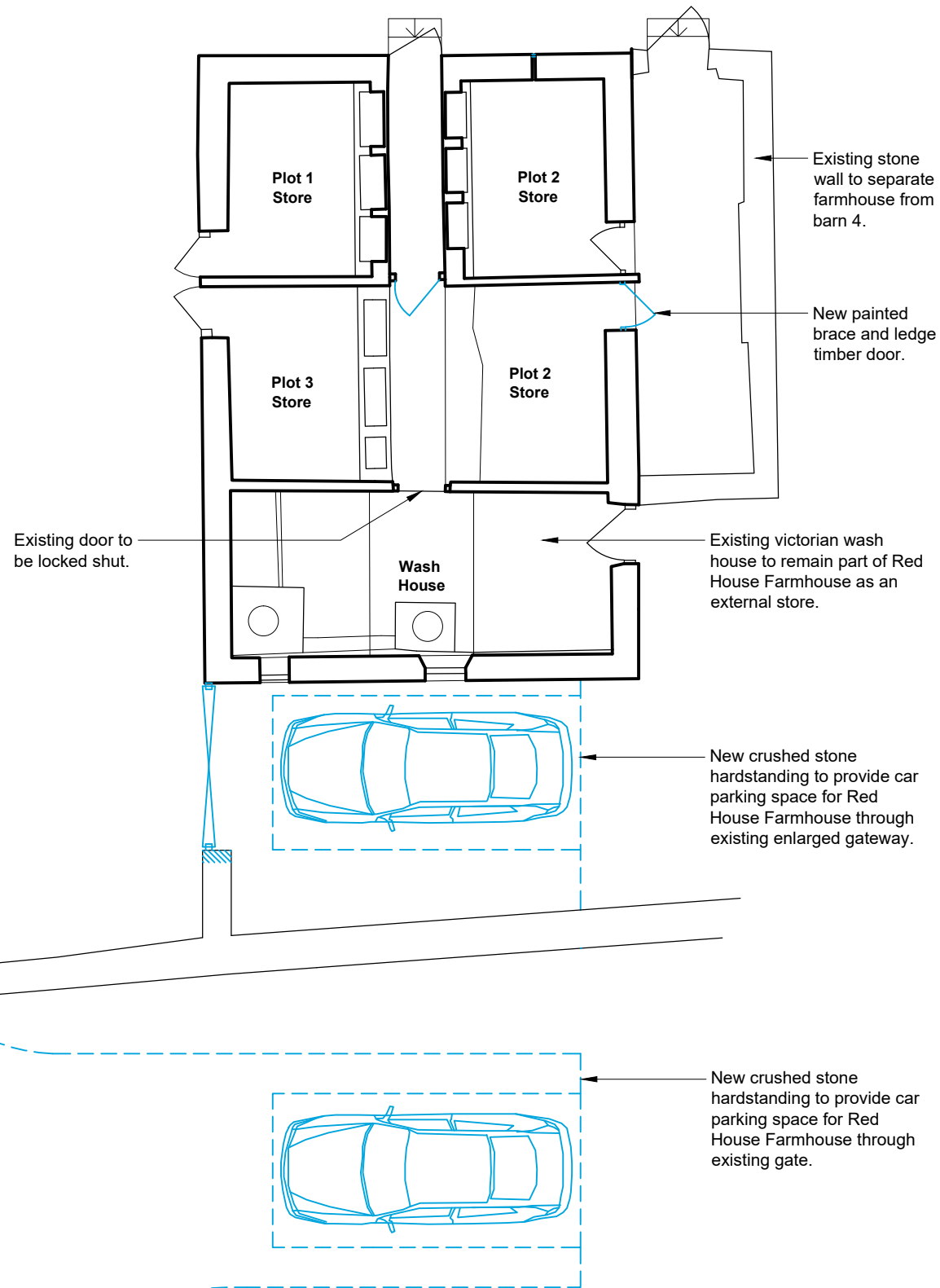
Red House Farm Barns, Mulgrave Estate

Barn 3 & 4 Ground Floor Plan As Existing	Project	MAN.RHFB.01	No	1003
	Scale (A3)	1: 100	Status	P
			Revision	1

**Barn 3 Plan - 1:100**



**Barn 4 Plan - 1:100**



**General Notes**

**Doors**

To be repaired or new brace and ledge timber doors to match existing.

**Windows**

Existing windows to be repaired where required. No new windows to be installed.

**Masonry Walls**

All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cementitious materials.

**Floors**

New crushed stone to go over any mud floors.

**RWP**

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

**Internal Partition Walls**

New painted timber vertical tongue and groove partition walls with new masonry plinths.

**Existing internal agricultural structures**

to remain in situ.

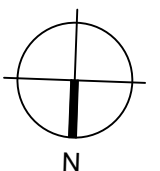
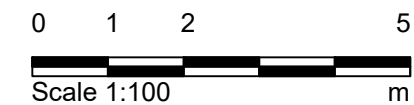
**Roof**

Corrugated asbestos roof to be replaced with new pantile roof to match existing roofs with new stone coping stones raised above pantiles to match existing details on other barns on the site.

**Key**

■ New intervention

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- M Measurement
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- C Construction
- R Record

Rev	Date	Dwn	Auth	Revision
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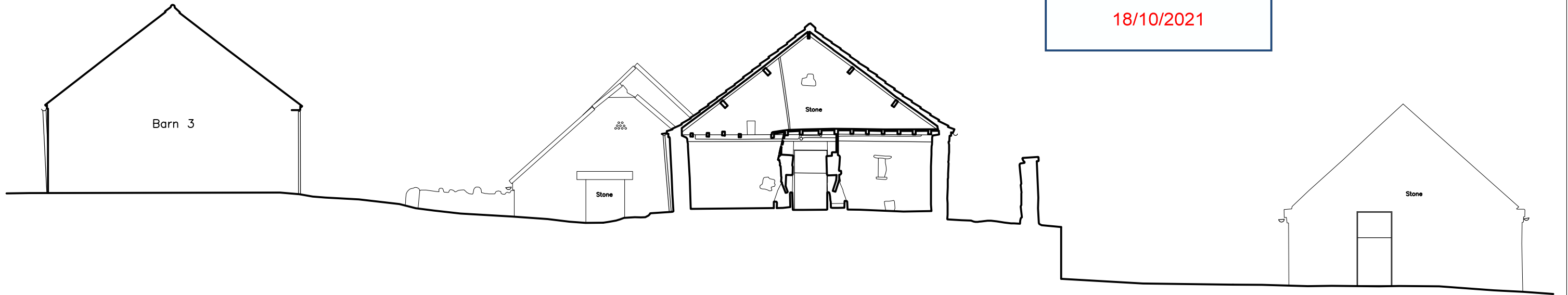
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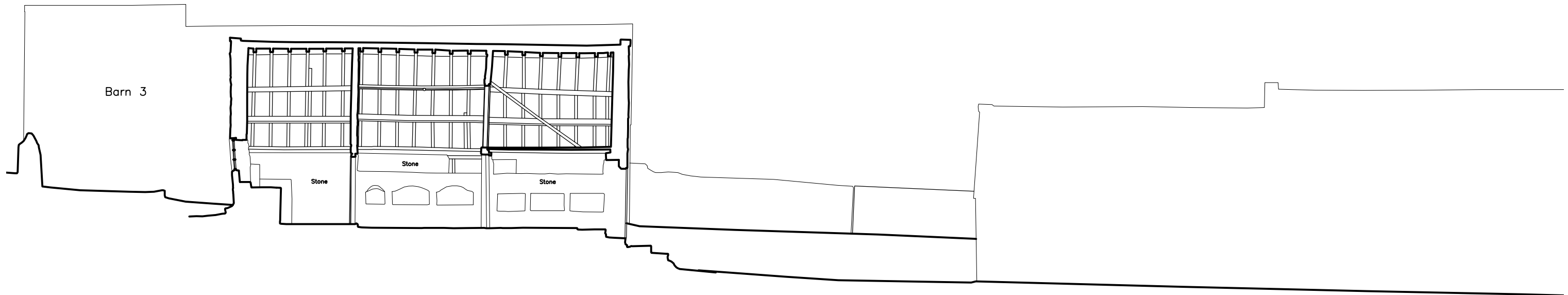
Barn 3 and 4 Ground Floor Plan As Proposed	Project MAN.RHFB.01	No 2004
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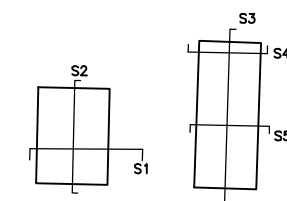
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Section S1 - 1:100



Section S2 - 1:100



Key Plan



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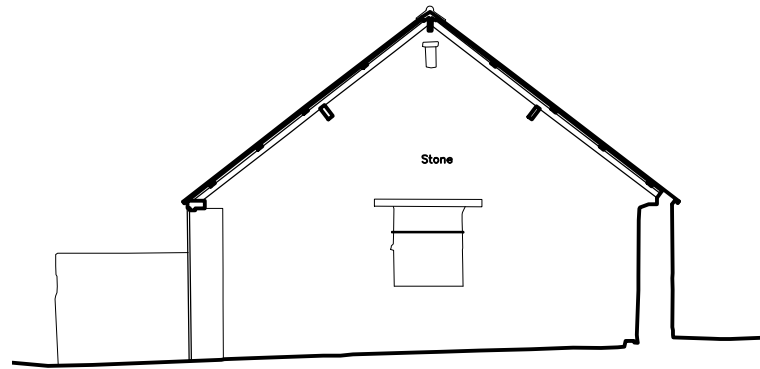
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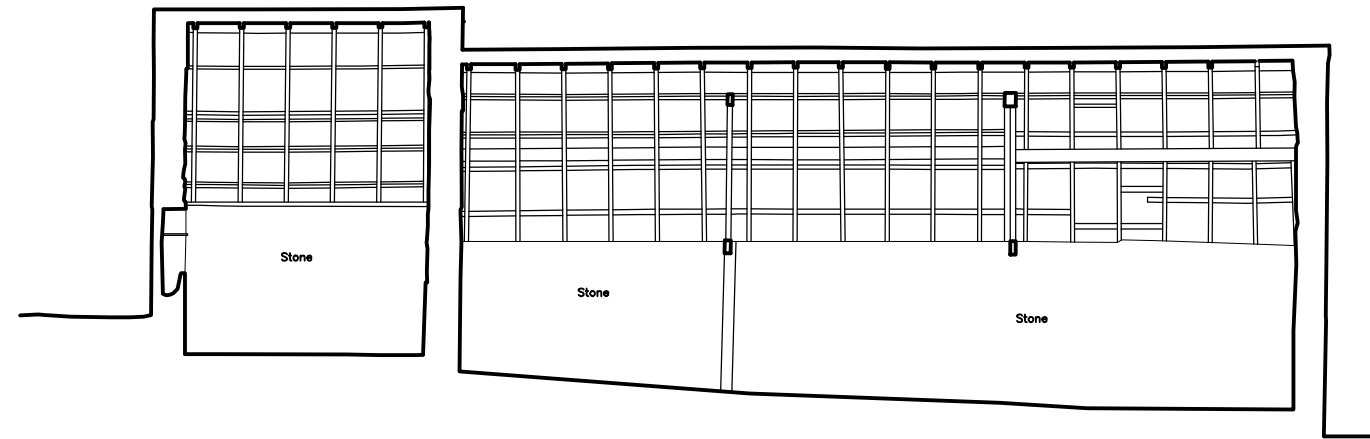
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Sections S1 & S2  
 As Existing

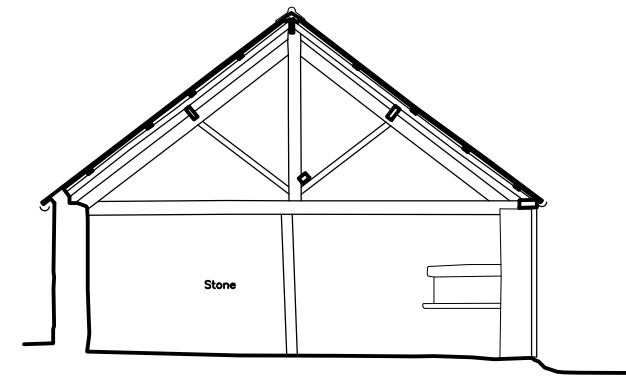


**Section S4 - 1:100**

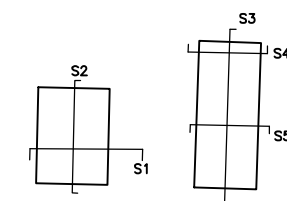
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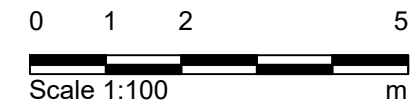
**Section S3 - 1:100**



**Section S5 - 1:100**



**Key Plan**



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P	Planning								
B	Building Control								
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M	Measurement								
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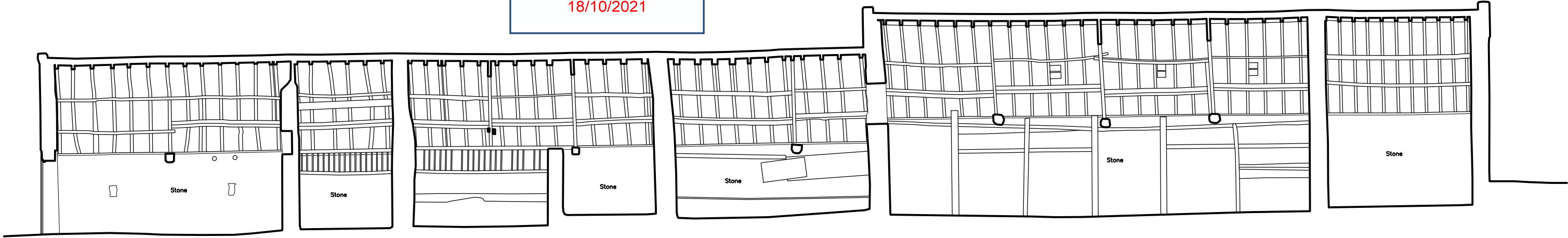
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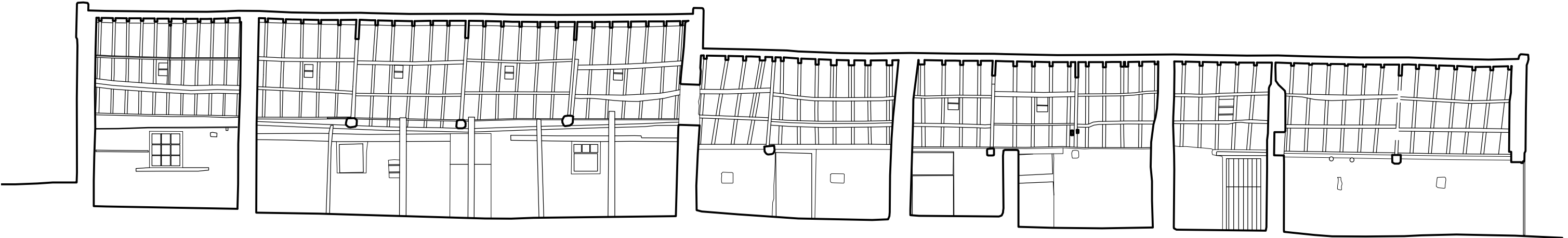
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Sections S3, S4 & S5  
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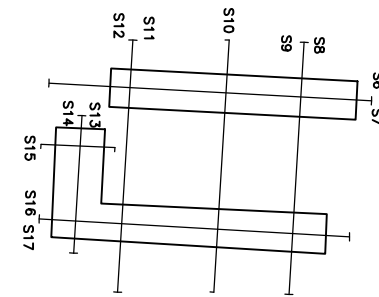
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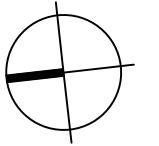
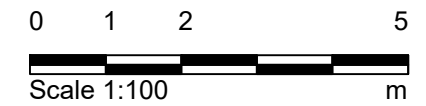
**Section S6 - 1:100**



**Section S7 - 1:100**



**Key Plan - 1:100**



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D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

Rev	Date	Dwn	Auth	Revision
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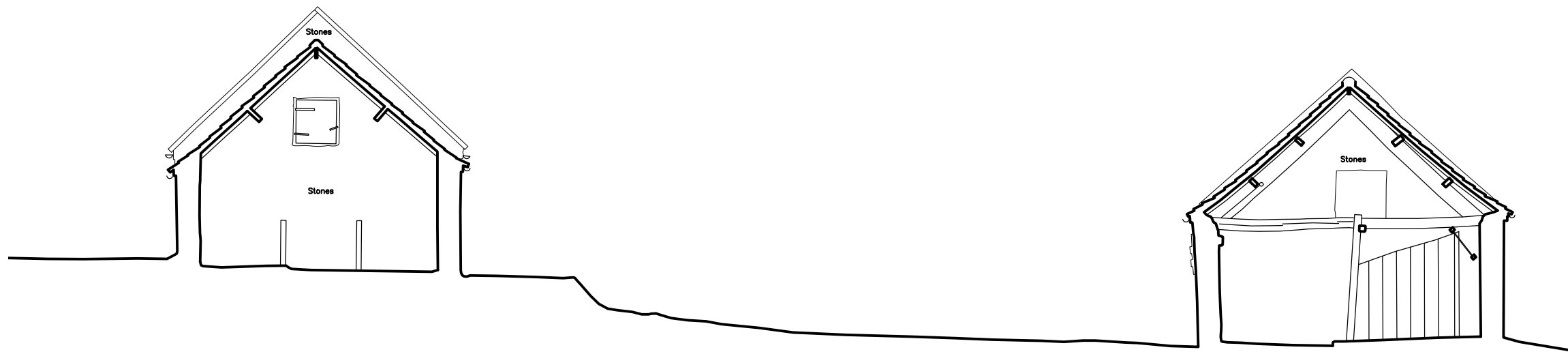
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Sections S6 & S7  
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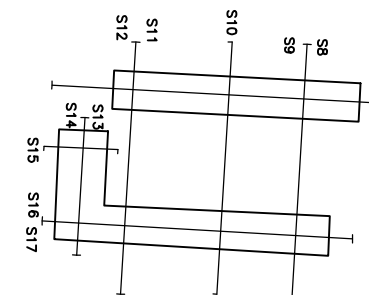


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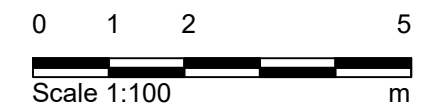
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**Section S9 - 1:100**



**Key Plan**



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C	Construction			
R	Record			

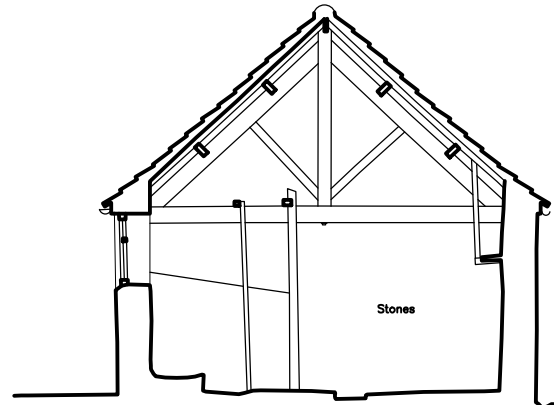
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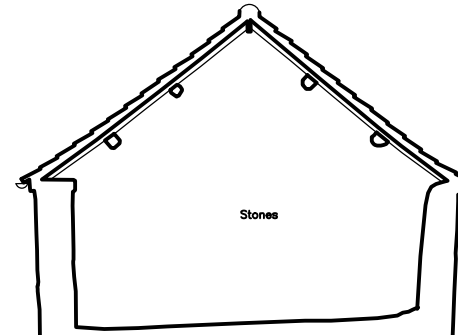
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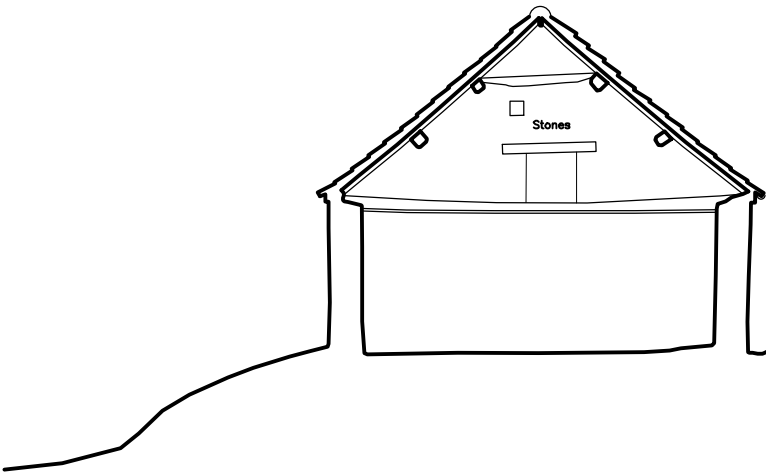
Sections S8 & S9  
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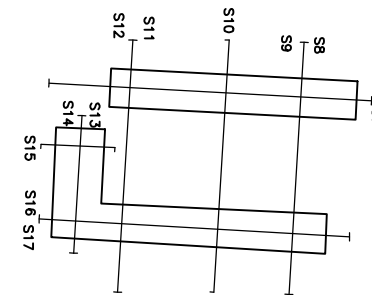
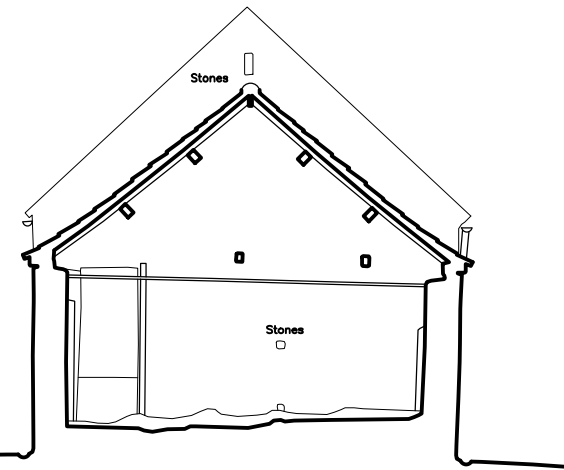
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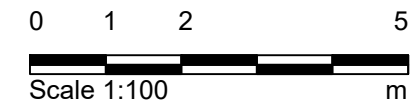
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**Section S11 - 1:100**



**Key Plan**



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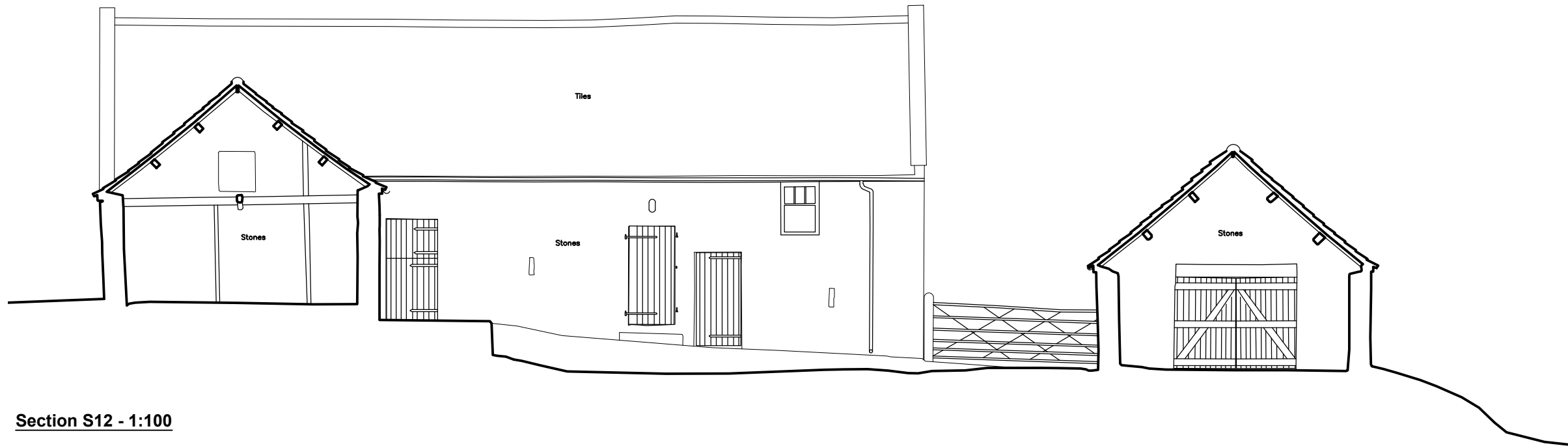
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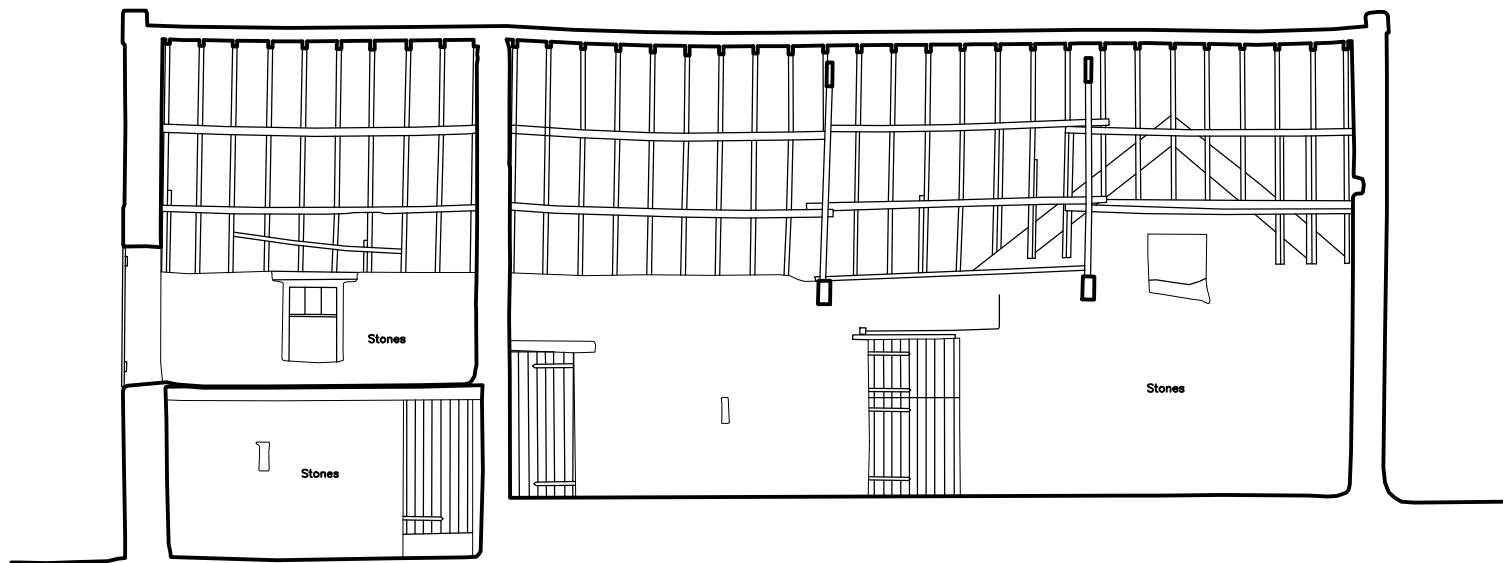
Sections S10 & S11  
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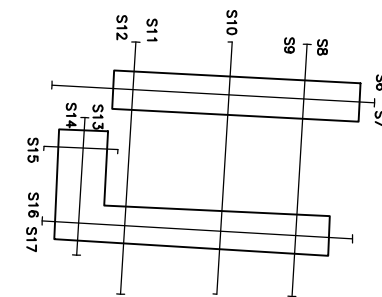


**Section S12 - 1:100**

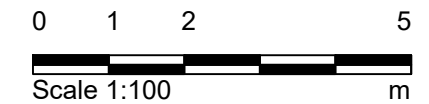
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**Section S13 - 1:100**



**Key Plan**



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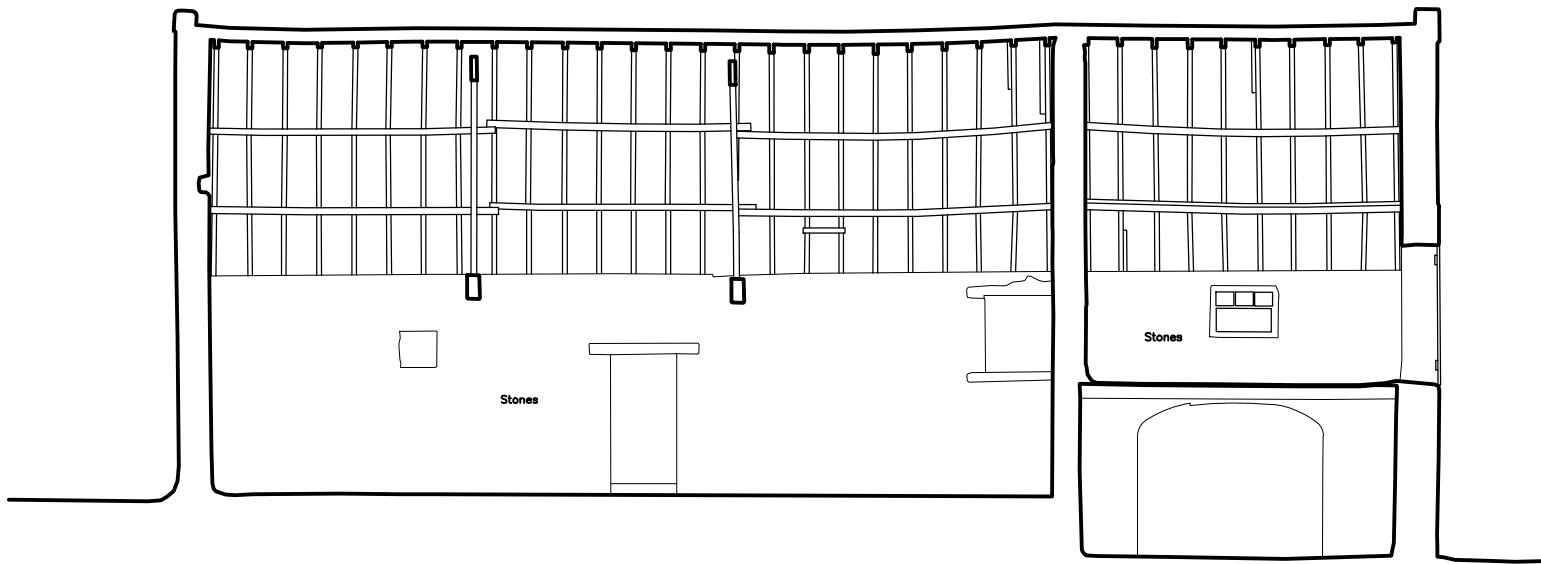
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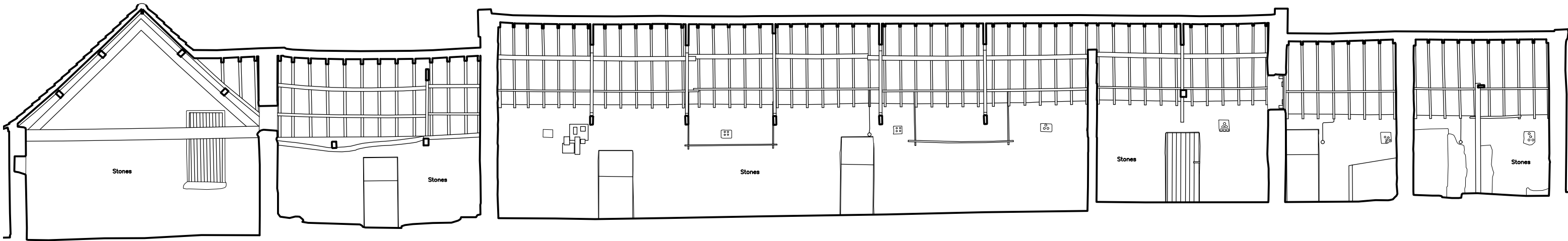
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Sections S12 & S13  
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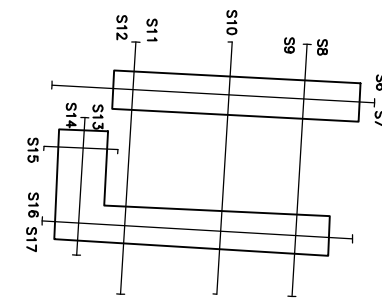


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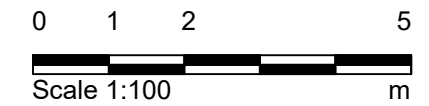
**Section S14 - 1:100**



**Section S16 - 1:100**



**Key Plan**



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Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
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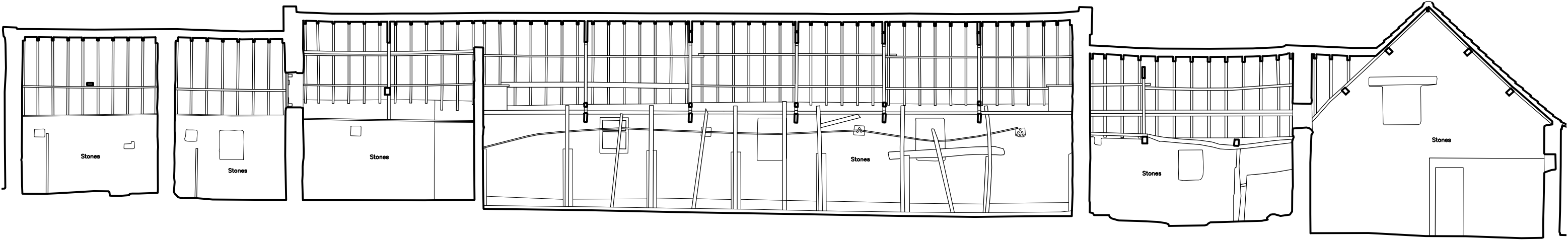
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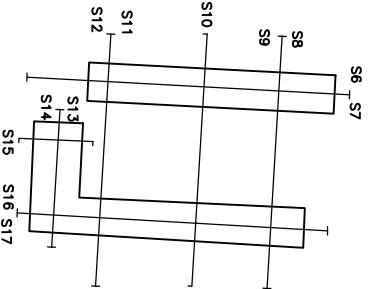
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Sections S14 & S16  
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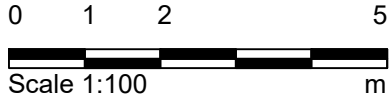
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**Section S17 - 1:100**



**Key Plan**



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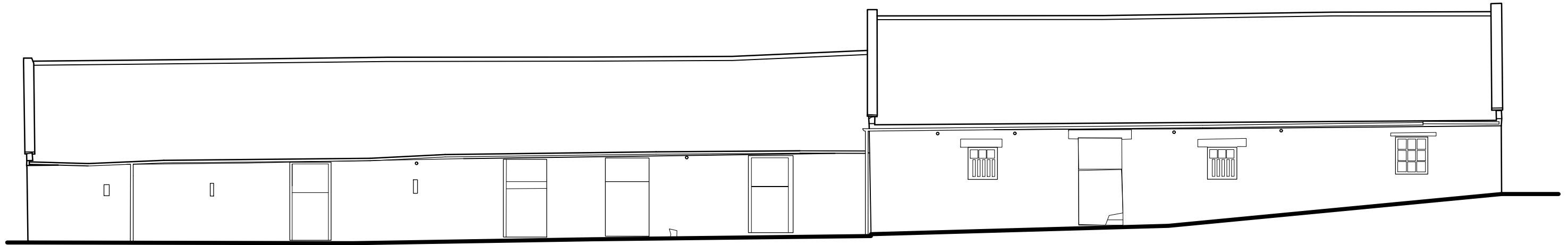
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Drawing Status					Revision				
Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
					0	24-05-21	HXD	TOB	Initial Issue

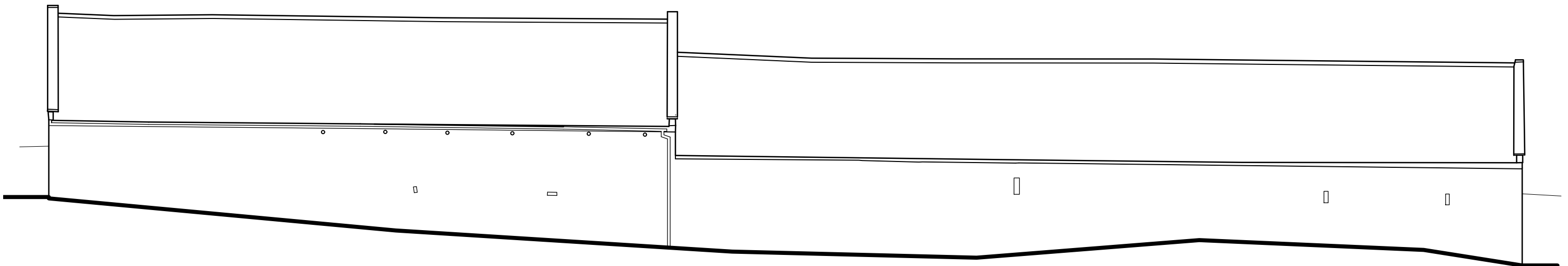
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Red House Farm Barns, Mulgrave Estate

Section S17 As Existing	Project MAN.RHFB.01	No 1107
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		Revision 0

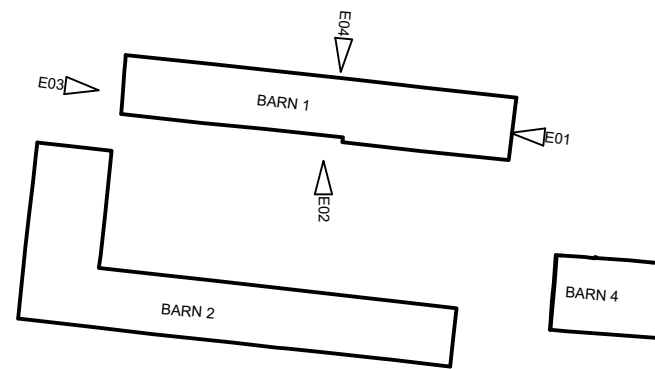


**E02 - 1:100**

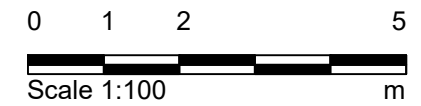


**E04 - 1:100**

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**Key Plan**



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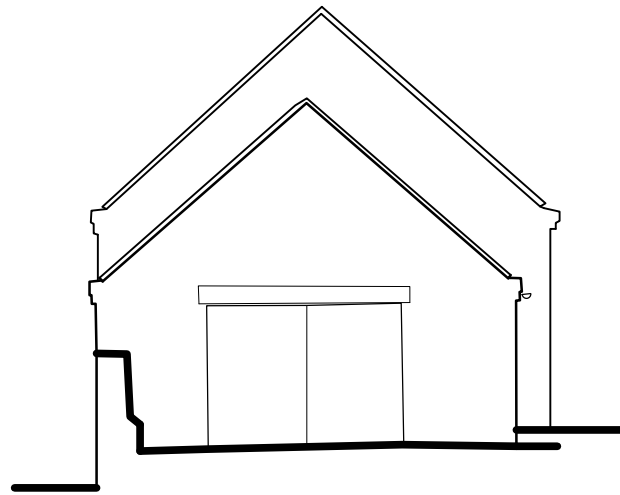
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Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
					0	24-05-21	HXD	TOB	Initial Issue

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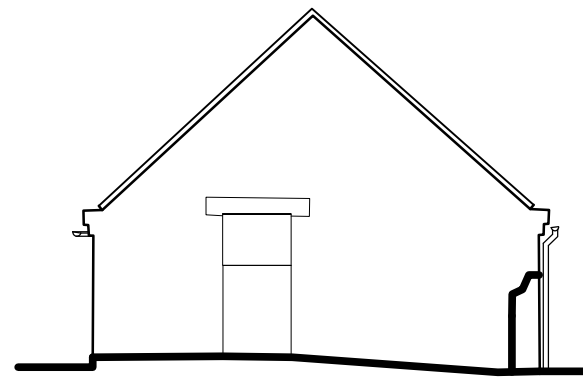
Red House Farm Barns, Mulgrave Estate

Elevation E02 & E04 As Existing	Project MAN.RHFB.01	No 1200
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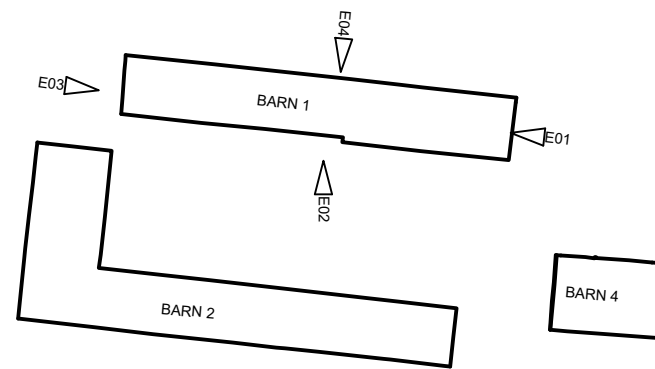


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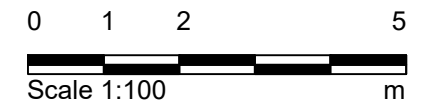
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**E01 - 1:100**



**Key Plan**



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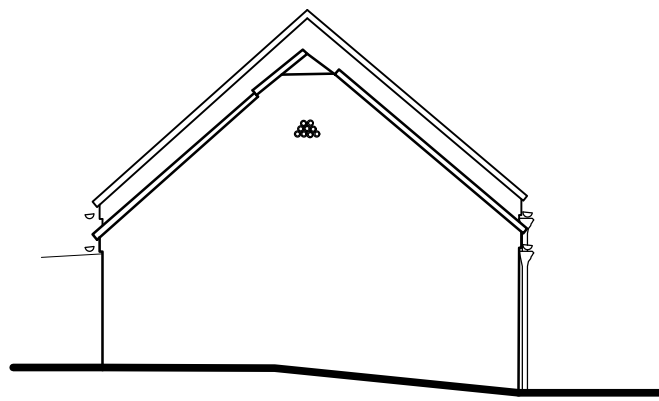
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S	Sketch Design			
P	Planning			
B	Building Control			
D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
0	24-05-21	HXD	TOB	Initial Issue					

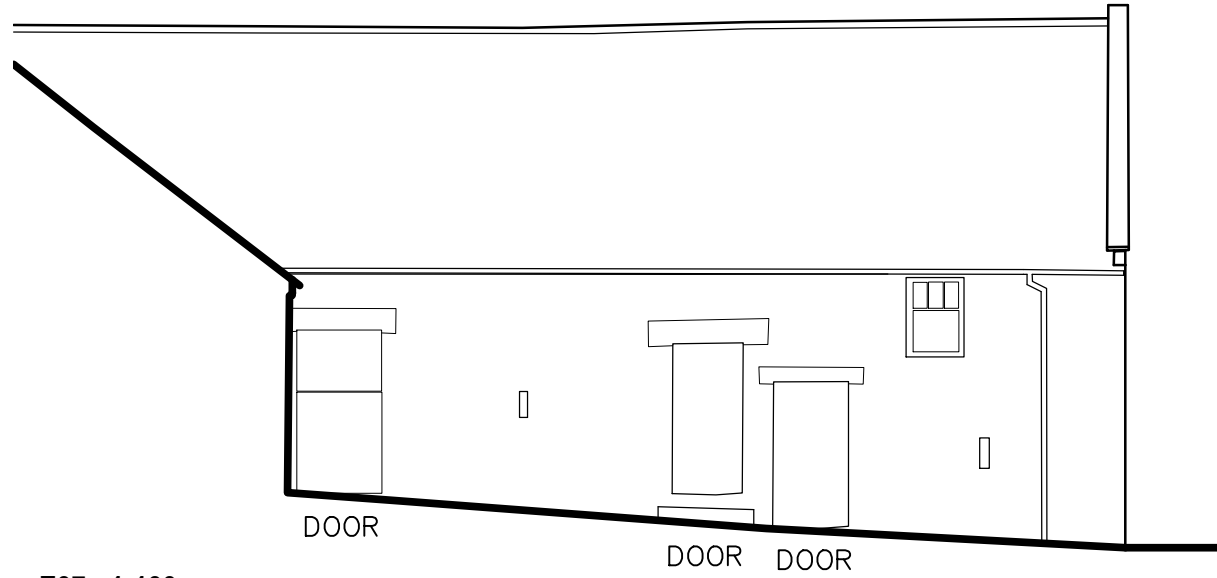
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Elevation E01 & E03 As Existing	Project	MAN.RHFB.01	No	1201
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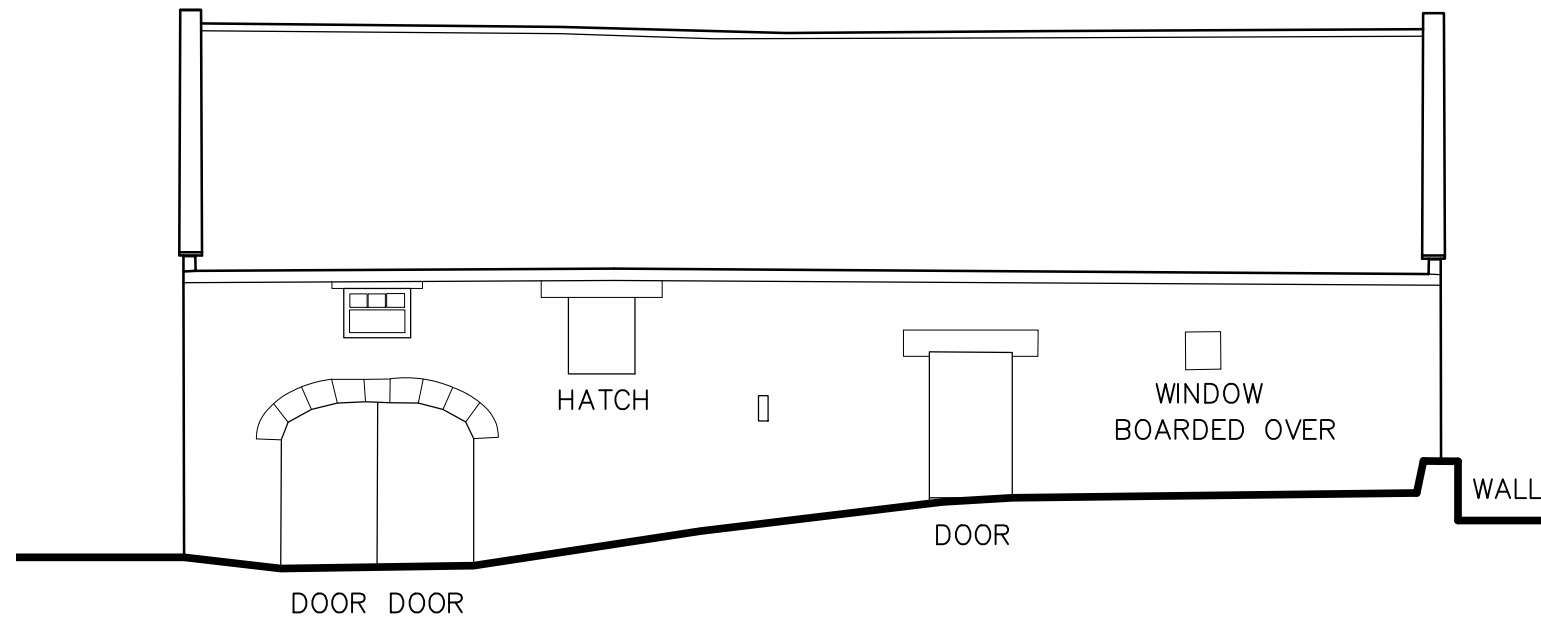


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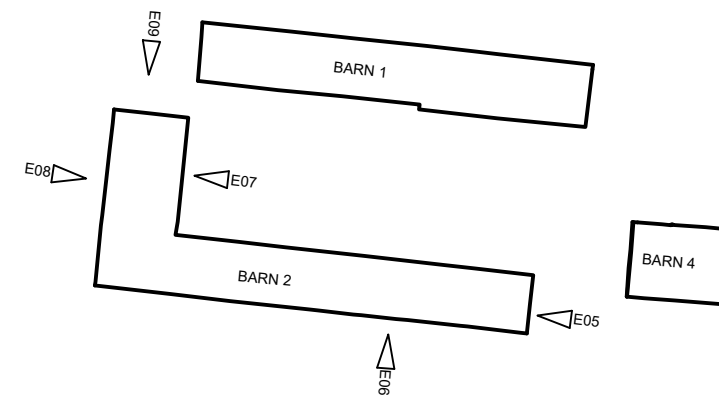


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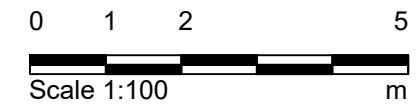
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**E08 - 1:100**



**Key Plan**



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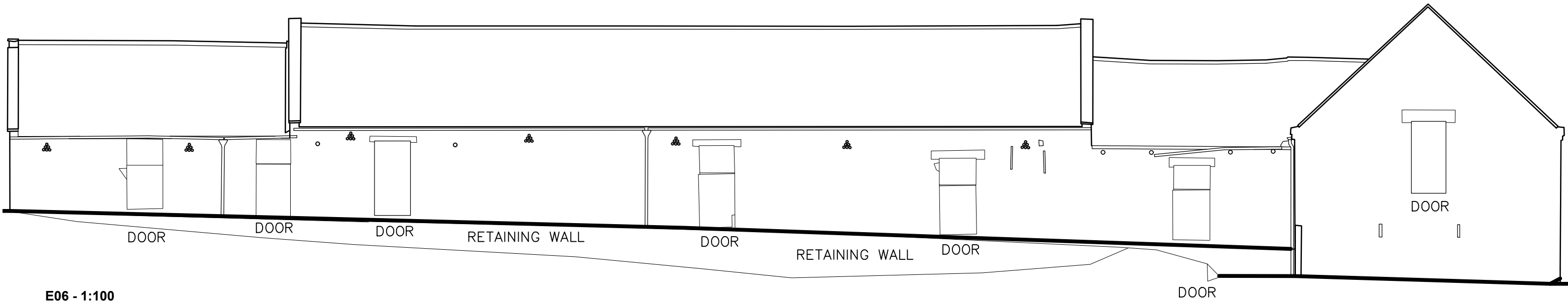
F Feasibility  
 S Sketch Design  
 P Planning  
 B Building Control  
 D Design Development  
 M Measurement  
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 C Construction  
 R Record

Rev	Date	Dwn	Auth	Revision
0	24-05-21	HXD	TOB	Initial Issue

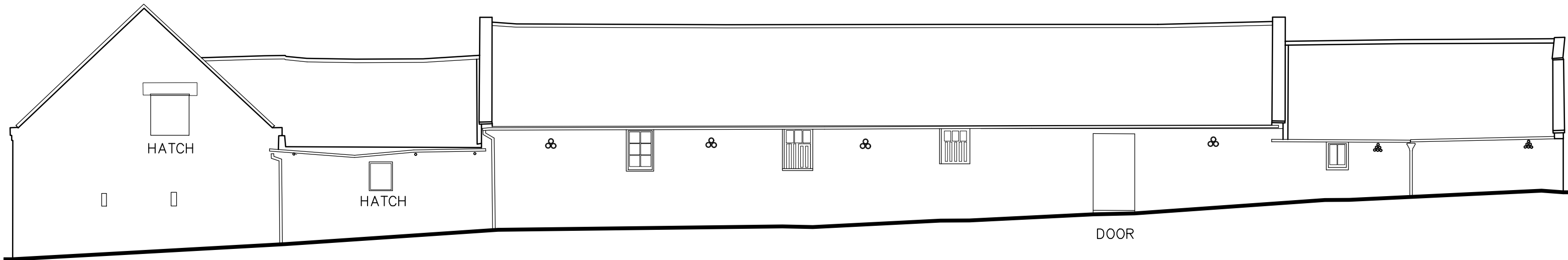
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Elevation E05, E07 & E08 As Existing	Project MAN.RHFB.01	No 1210
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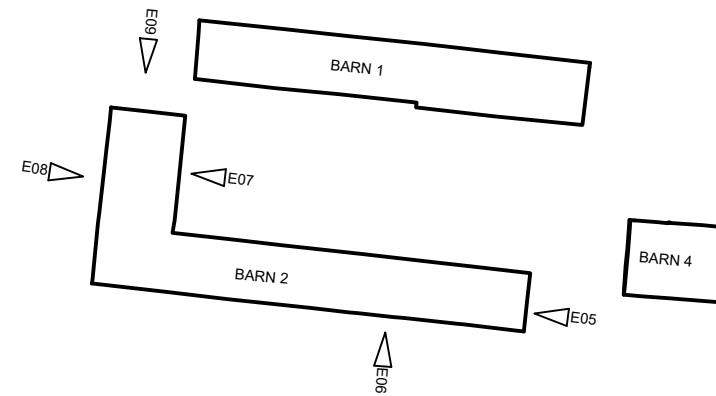


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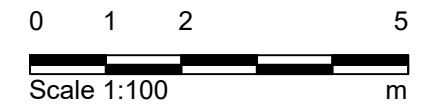


**E09 - 1:100**

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**Key Plan**



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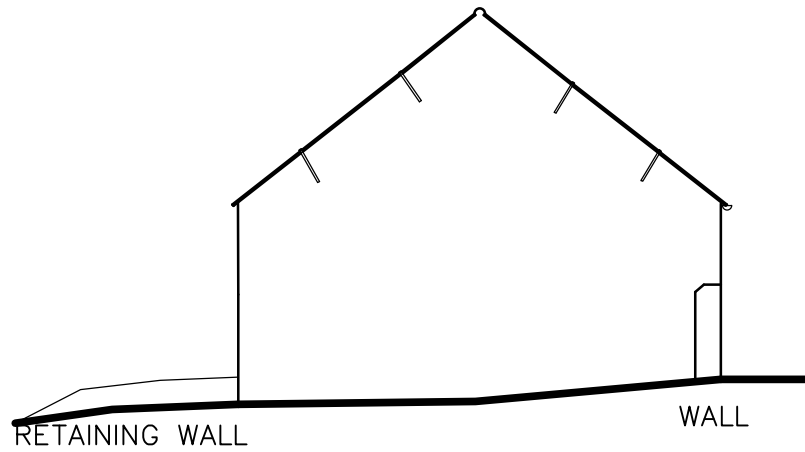
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P	Planning								
B	Building Control								
D	Design Development								
M	Measurement								
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R	Record								

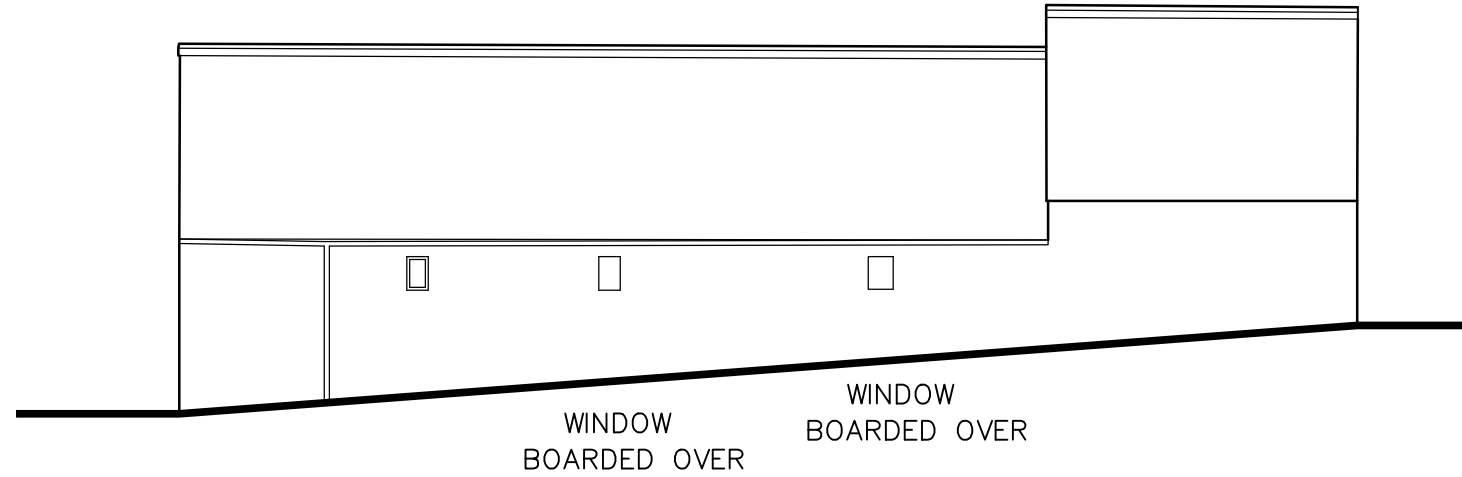
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	Scale (A3) <b>1:100</b>	Status <b>P</b>
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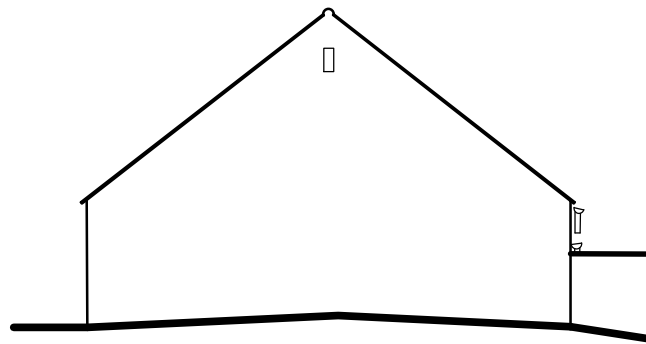


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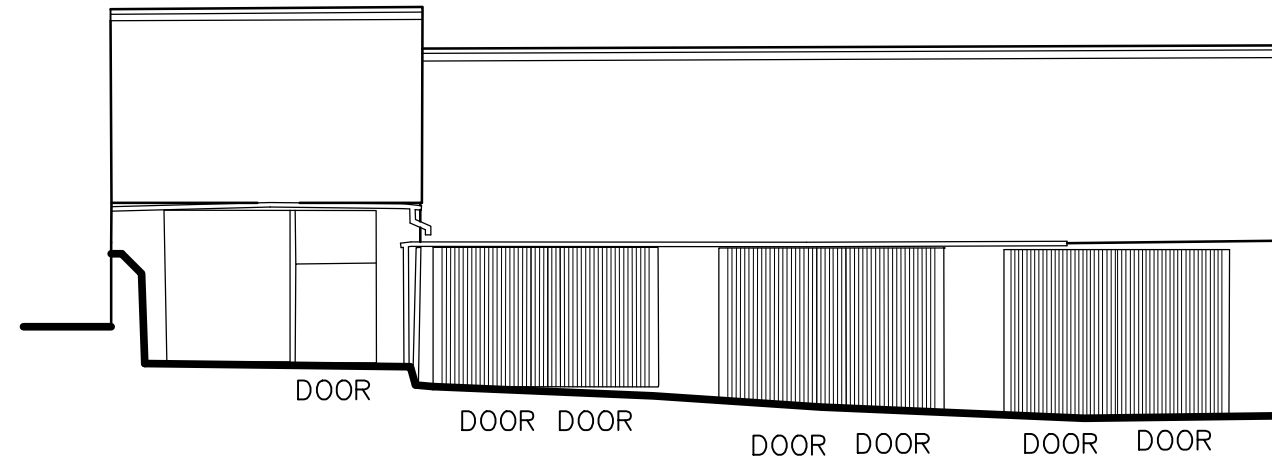


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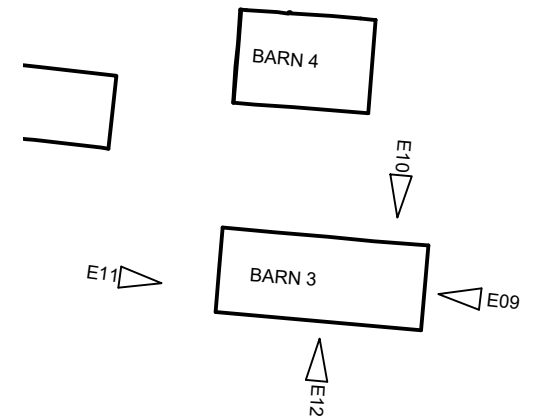
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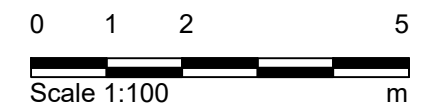
**E09 - 1:100**



**E10 - 1:100**



**Key Plan**



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C	Construction
R	Record

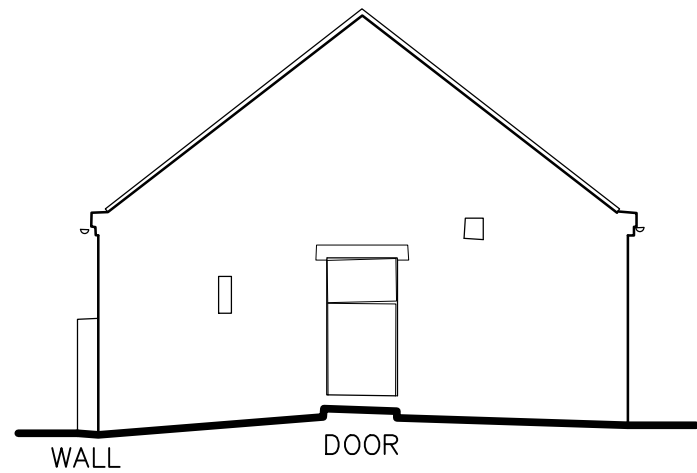
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0	24-05-21	HXD	TOB	Initial Issue

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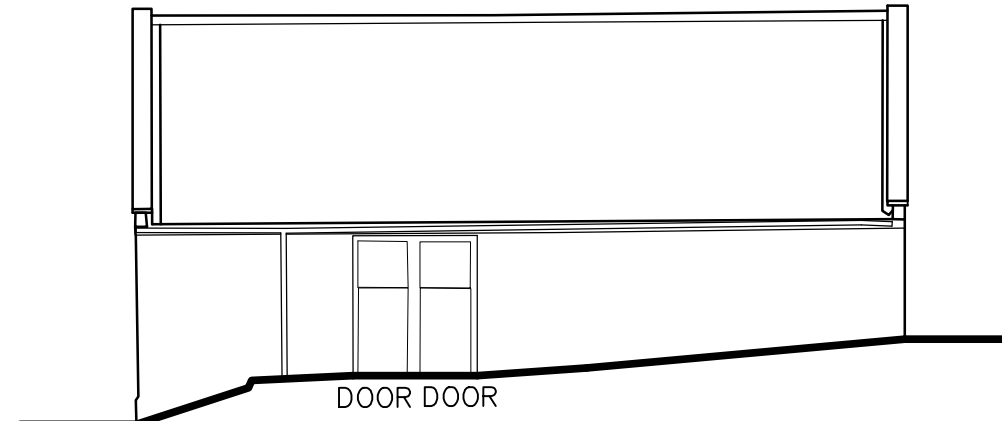
Red House Farm Barns, Mulgrave Estate

Elevation E09, E10, E11 & E12 As Existing	Project MAN.RHFB.01	No 1220
	Scale (A3) 1:100	Status P
		Revision 0



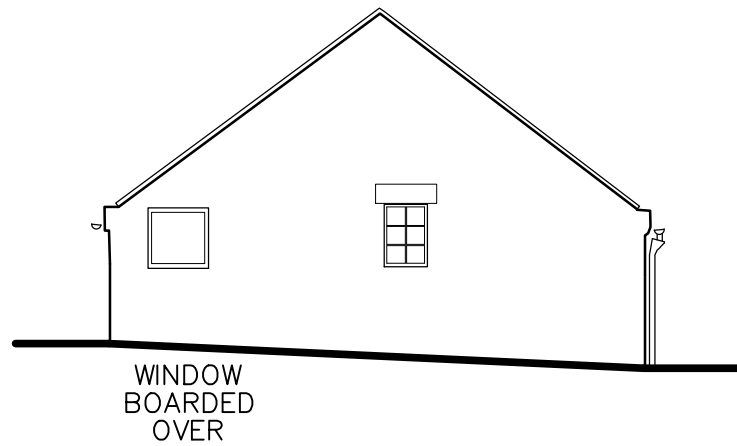


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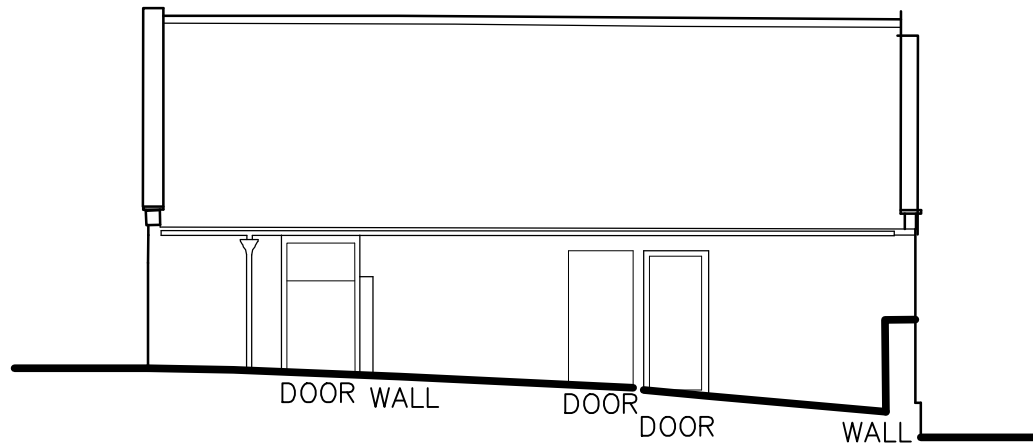


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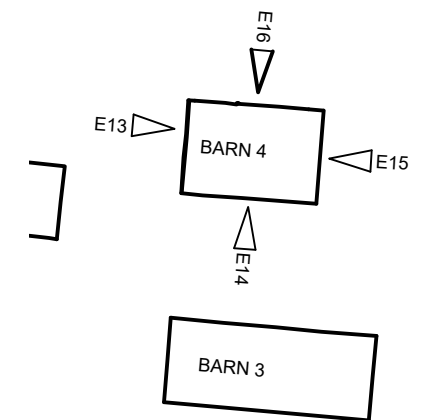
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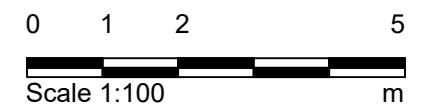
**E15 - 1:100**



**E16 - 1:100**



**Key Plan**



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C	Construction			
R	Record			

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0	24-05-21	HXD	TOB	Initial Issue

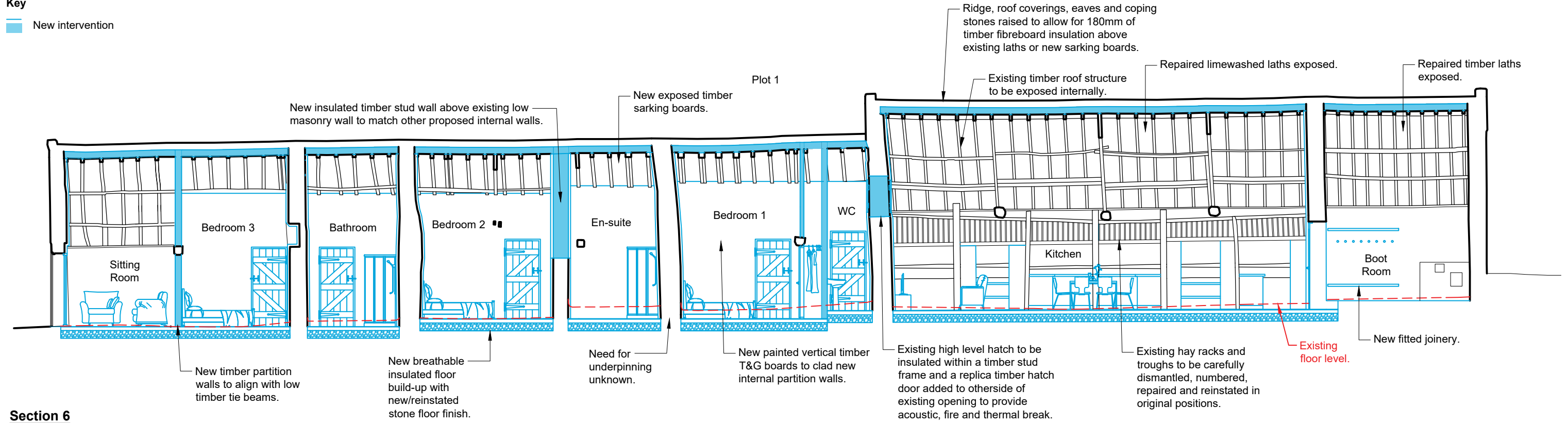
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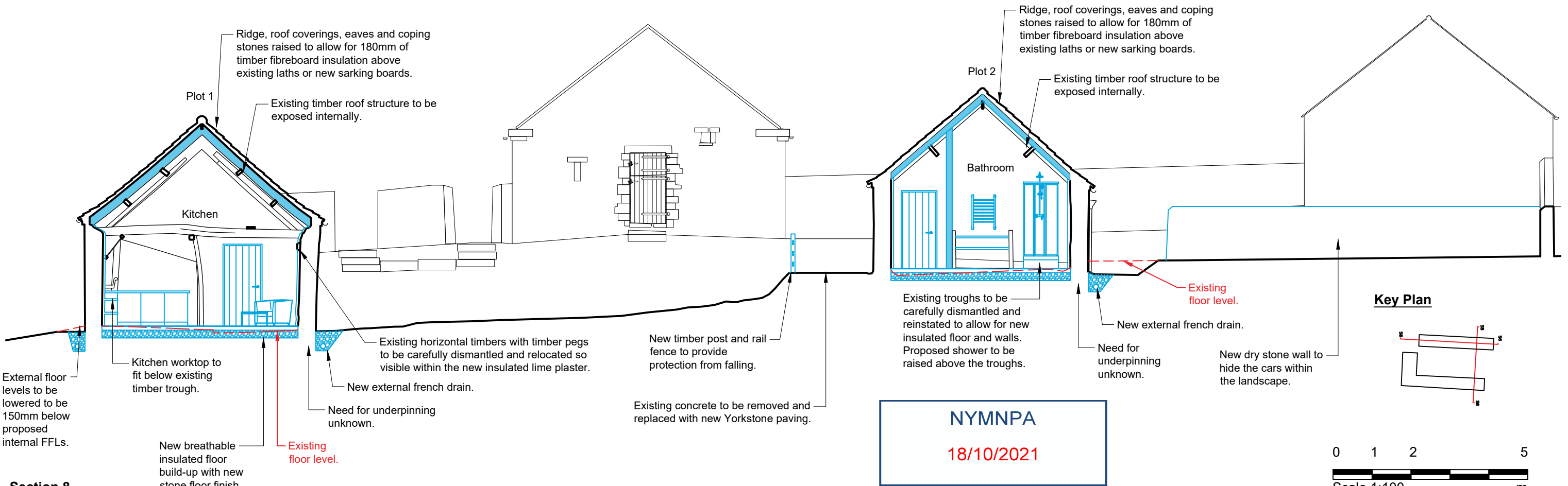
Elevation E13, E14, E15 & E16 As Existing	Project MAN.RHFB.01	No 1230
	Scale (A3) 1:100	Status P
		Revision 0

**Key**

■ New intervention



**Section 6**



**Section 8**

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C	Construction
R	Record

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0	20-09-21	TXP	TOB	Initial Issue

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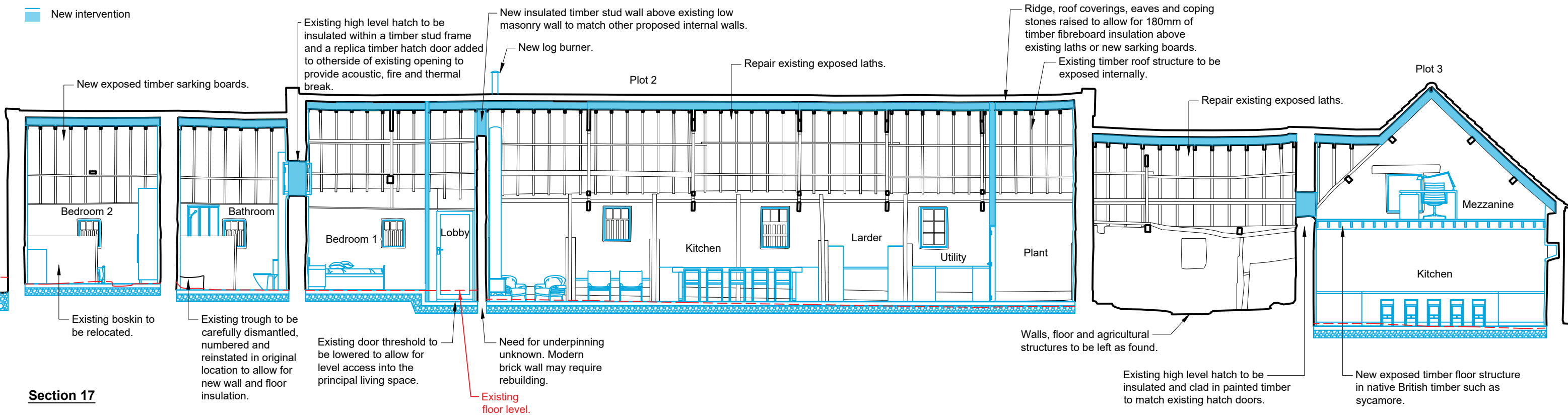
Red House Farm Barns, Mulgrave Estate

Project	MAN.RHFB.01	No	1100
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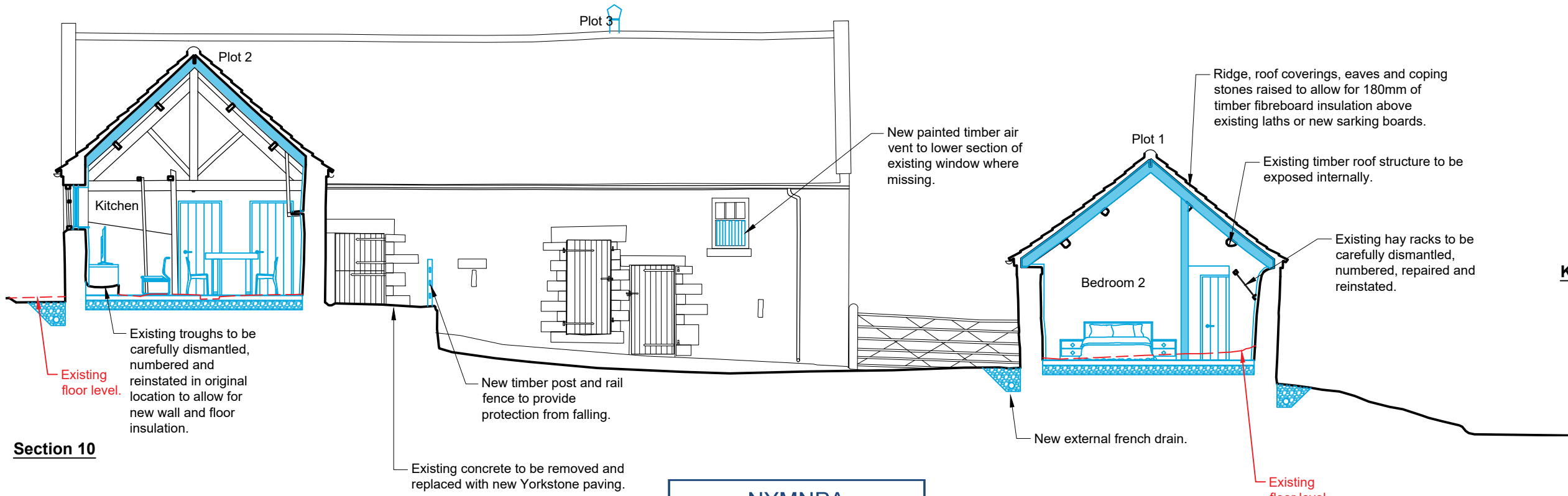
Plot 1 Sections, S6 & S8  
As Proposed

**Key**

■ New intervention

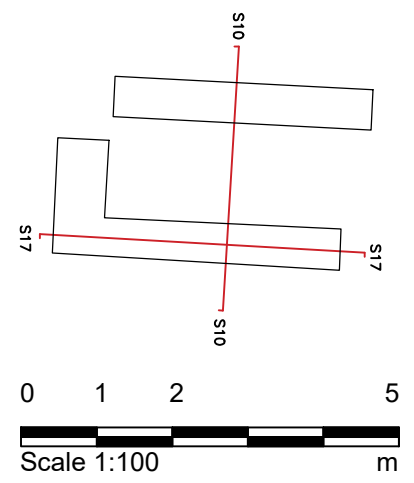


**Section 17**



**Section 10**

**Key Plan**



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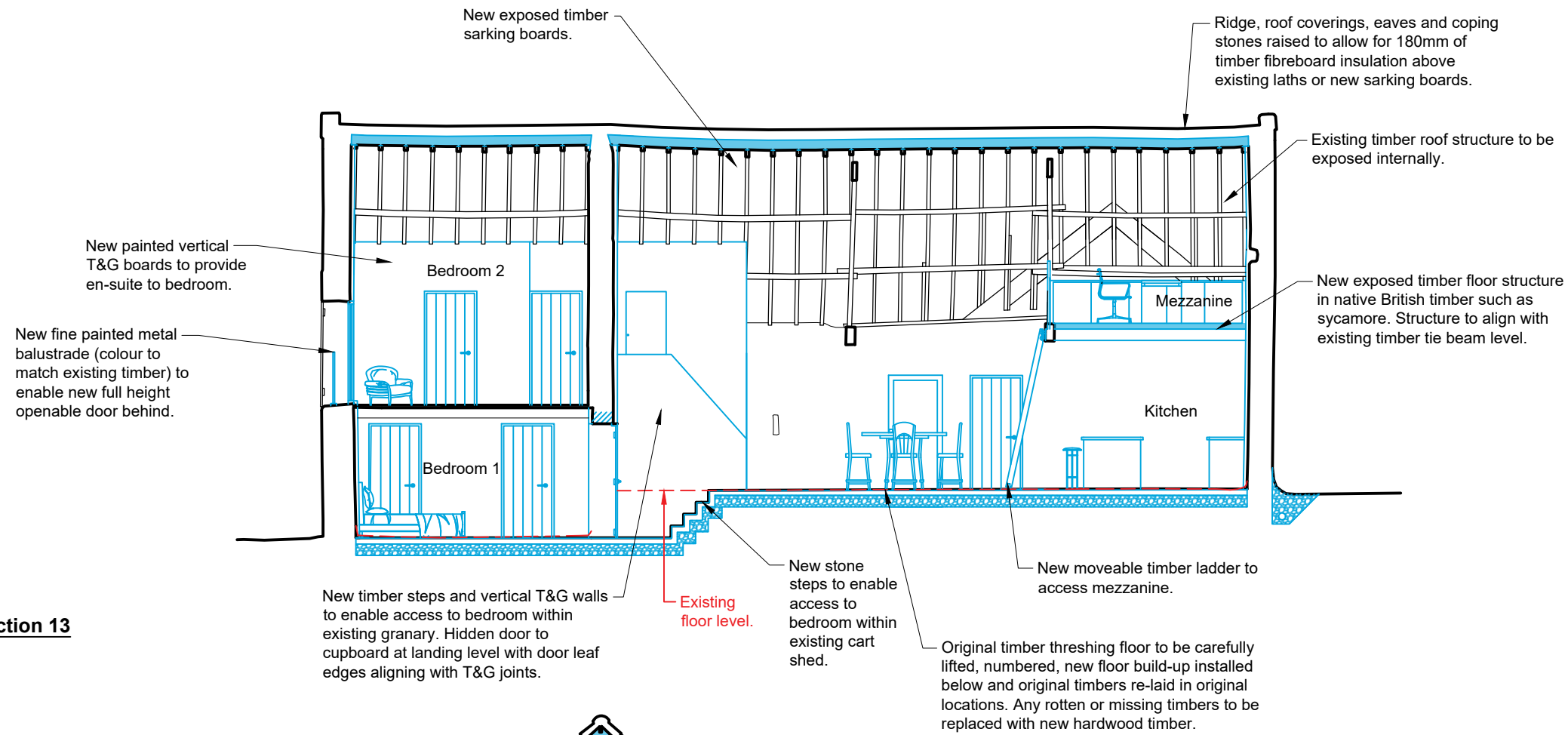
  

Rev	Date	Dwn	Auth	Revision
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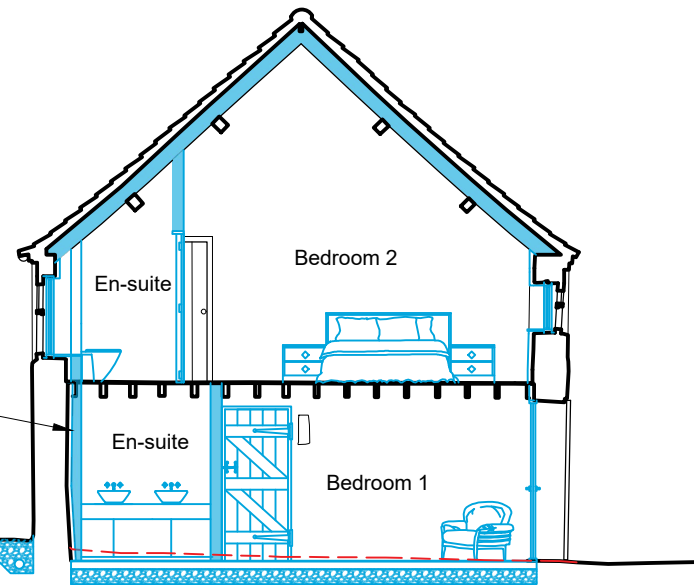
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Red House Farm Barns, Mulgrave Estate

Plot 2 Sections, S10 & S17 As Proposed	Project MAN.RHFB.01	No 1101
Scale (A3) 1: 100	Status P	Revision 0



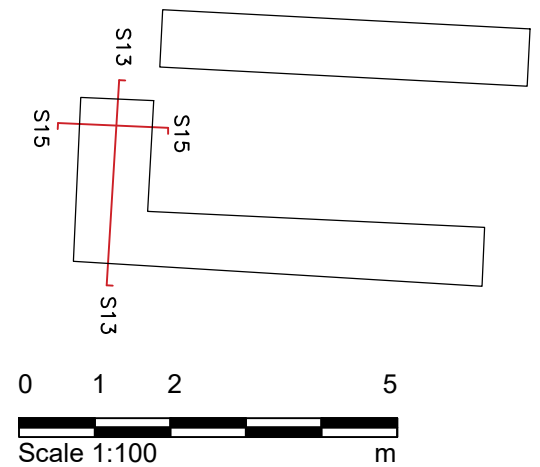
**Section 13**



**Section 15**

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**Key Plan**



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Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
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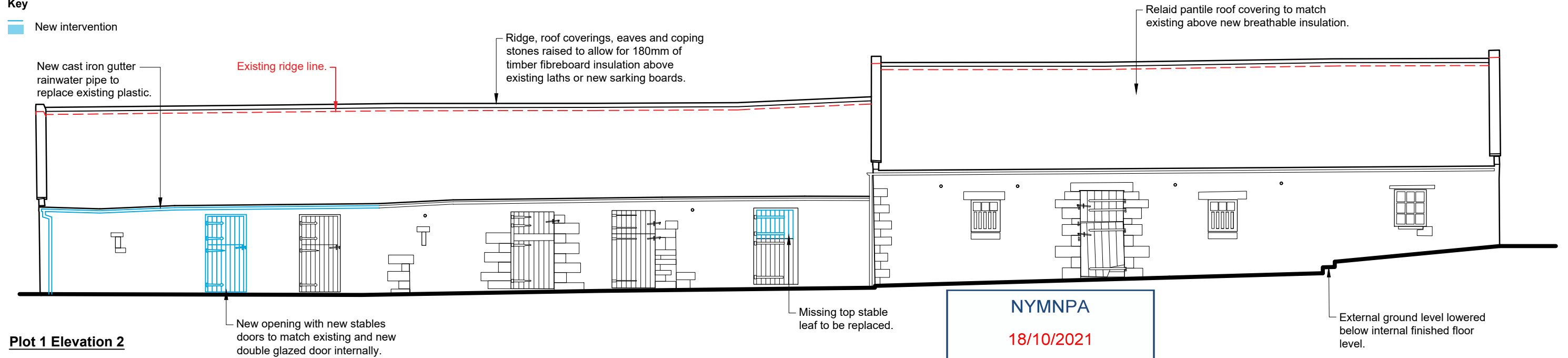
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Red House Farm Barns, Mulgrave Estate

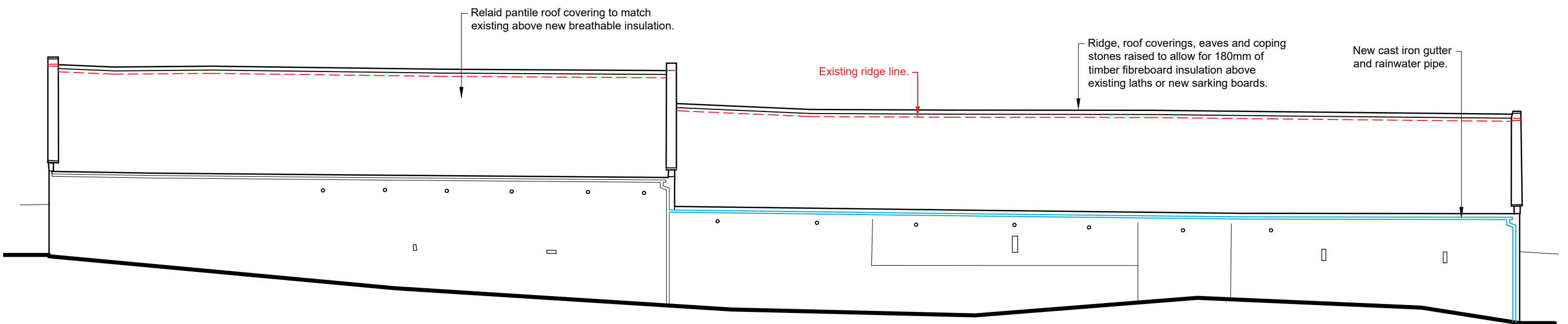
Plot 3 Sections, S13 & S15 As Proposed	Project MAN.RHFB.01	No 1101
Scale (A3) 1: 100	Status P	Revision 0

**Key**

■ New intervention



**Plot 1 Elevation 2**



**Plot 1 Elevation 4**

**General Notes:**

**Doors**

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

**Windows**

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

**Masonry Walls**

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cementitious

materials.

**External Ground Level and French Drains**

French drains are to be installed to the perimeters of wall external walls. Ground levels are to be generally lowered to 150mm below the internal finished floor level.

**RWP**

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed with rise and fall brackets.

**Underpinning**

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

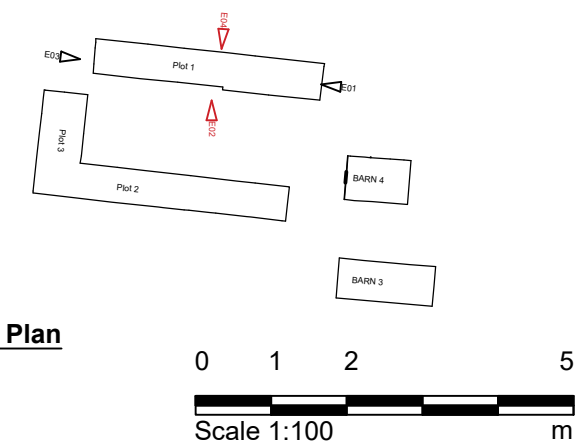
new insulated floor to not undermine any areas of shallow foundations.

**Roof**

New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. Existing pantiles to be reused where possible. New pantiles to match existing where required.

**SVP and vents**

All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).



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T	Tender										
C	Construction										
R	Record										


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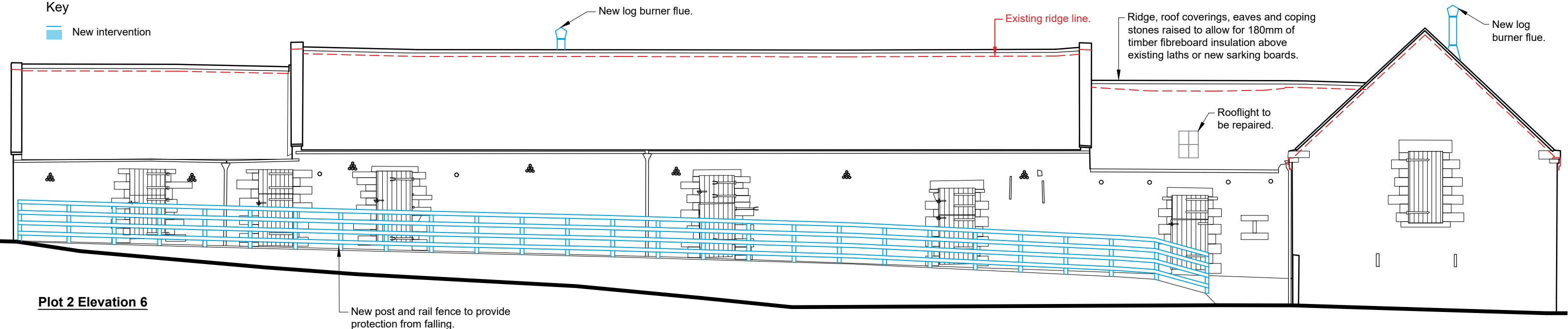
Red House Farm Barns, Mulgrave Estate

Elevation 2 & 4 As Proposed	Project	MAN.RHFB.01	No	2200
	Scale (A3)	1: 100	Status	3P
			Revision	0

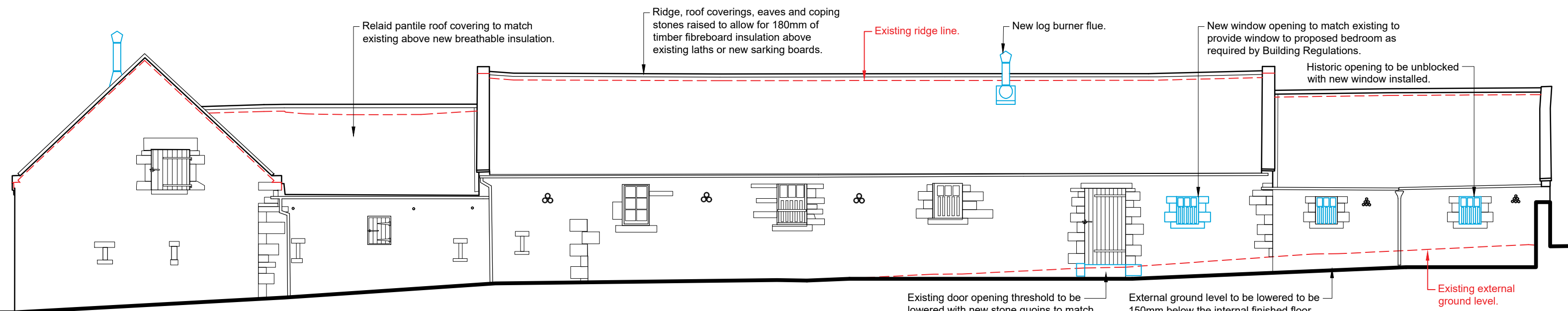


**Key**

 New intervention



**Plot 2 Elevation 6**



**Plot 2 Elevation 9**

NYMNPA  
 18/10/2021

**General Notes:**

**Doors**

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

**Windows**

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

**Masonry Walls**

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cementitious

materials.

**External Ground Level and French Drains**

French drains are to be installed to the perimeters of wall external walls. Ground levels are to be generally lowered to 150mm below the internal finished floor level.

**RWP**

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed with rise and fall brackets.

**Underpinning**

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the

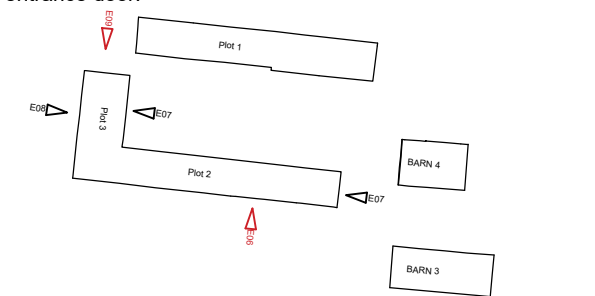
new insulated floor to not undermine any areas of shallow foundations.

**Roof**

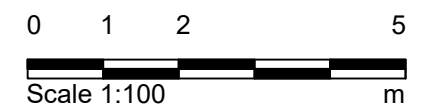
New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. Existing pantiles to be reused where possible. New pantiles to match existing where required.

**SVP and vents**

All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).



**Key Plan**



Notes

- Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.
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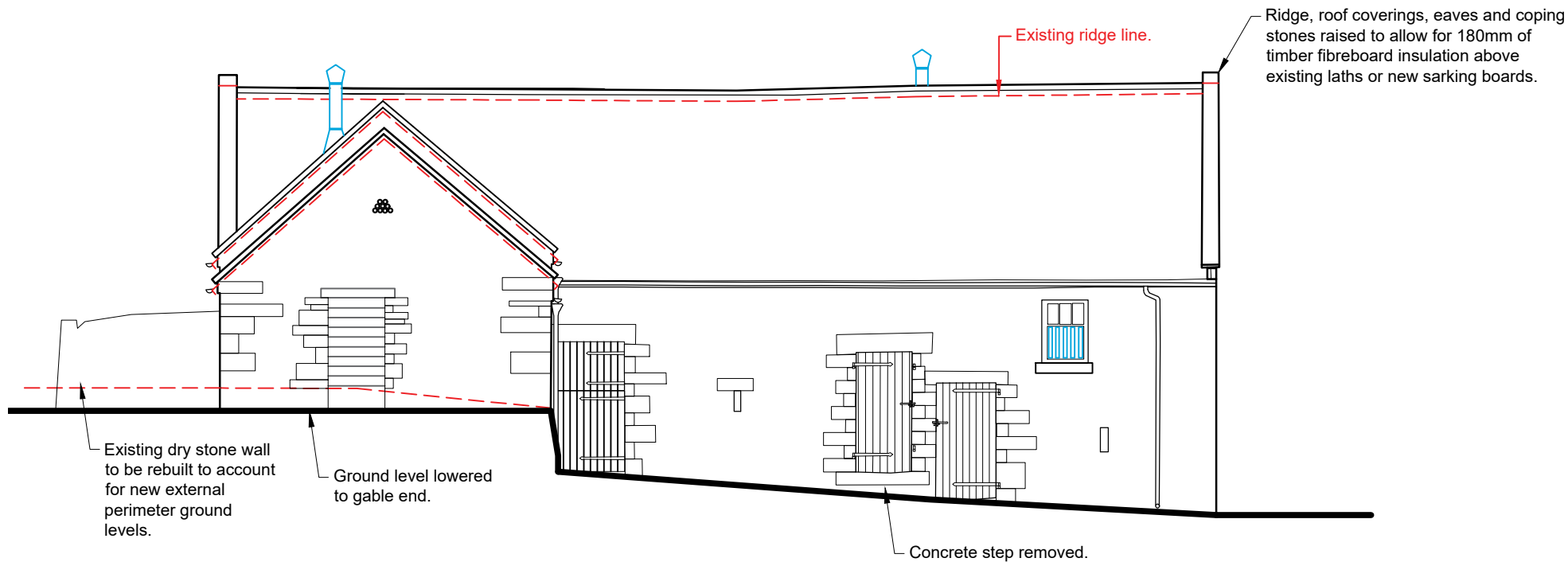
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Drawing Status				
F	Feasibility			
S	Sketch Design			
P	Planning			
B	Building Control			
D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			
Rev	Date	Dwn	Auth	Revision
0	22-09-21	TXP	TOB	Initial Issue
Rev	Date	Dwn	Auth	Revision

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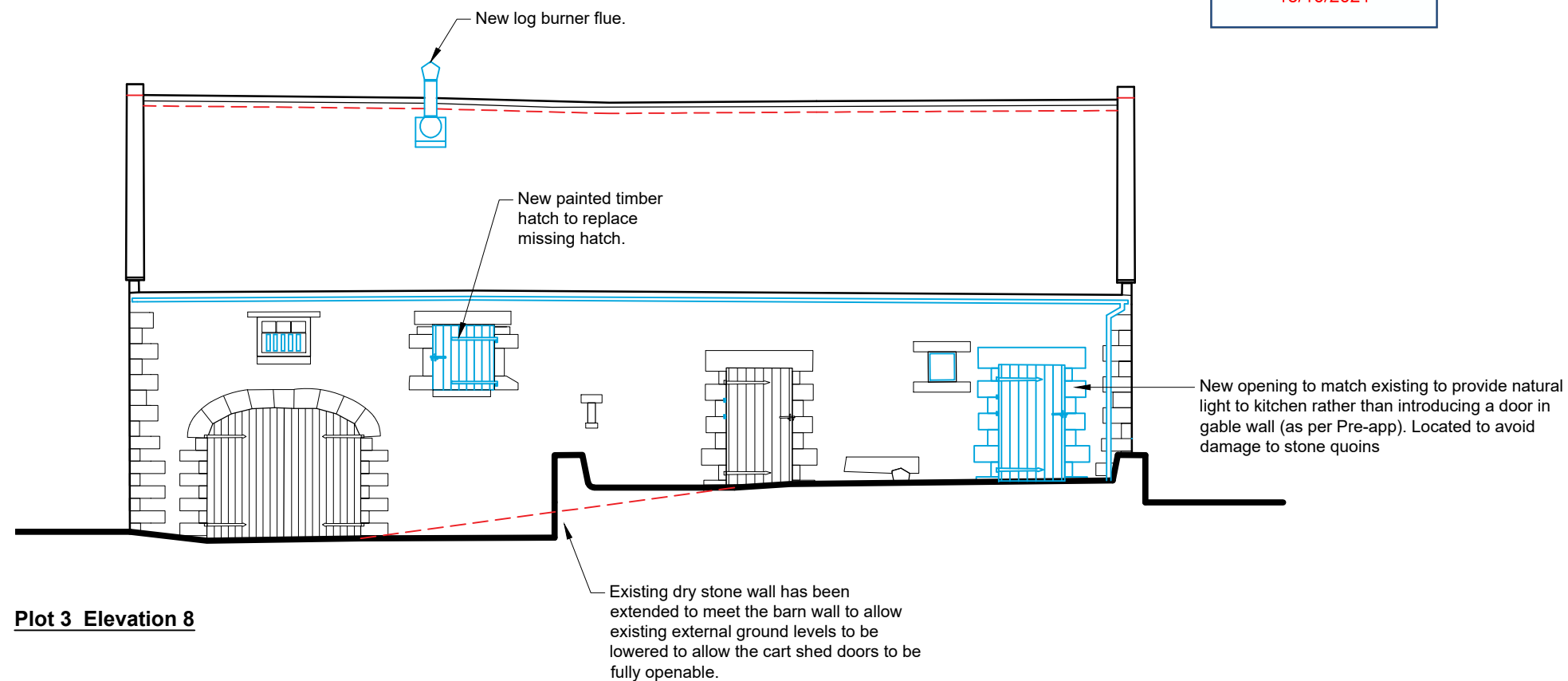
Red House Farm Barns, Mulgrave Estate

Elevation 6 & 9 As Proposed	Project MAN.RHFB.01	No 2203
	Scale (A3) 1: 100	Status 3P
	Revision 0	



**Plot 3 Elevation 7**

NYMNP  
 18/10/2021



**Plot 3 Elevation 8**

**General Notes:**

**Doors**

New full height double glazed oak framed door to align with internal insulated lime plaster. Existing stable doors to be retained, repaired and used as external shutters.

**Windows**

Existing timber window to be retained, repaired and redecorated. New double glazed oak frame casement secondary glazing to be installed just inside the existing window. Existing window frame to be adjusted at sill level to allow water to drain beneath it from the secondary glazing.

**Masonry Walls**

60mm of insulated non-hydraulic lime plaster to line the inside of all masonry walls including internal masonry walls. All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cementitious materials.

**External Ground Level and French Drains**

French drains are to be installed to the perimeters of wall external walls. Ground levels are to be generally lowered to 150mm below the internal finished floor level.

**RWP**

Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed with rise and fall brackets.

**Underpinning**

Subject to trial holes to confirm the depth of the existing masonry walls, underpinning may be required to the existing masonry walls to allow for the new insulated floor to not undermine any areas of shallow foundations.

**Roof**

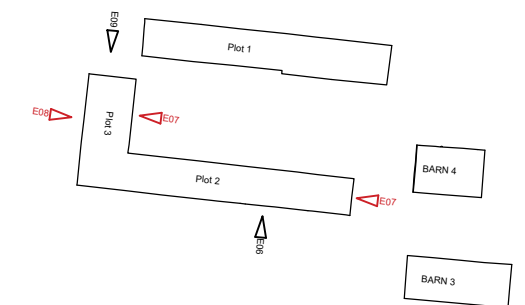
New timber fibreboard insulation to be installed above the repaired laths or new timber sarking board to allow the existing timber structure to be visible internally. Existing pantiles to be reused where possible. New pantiles to match existing where required.

**SVP and vents**

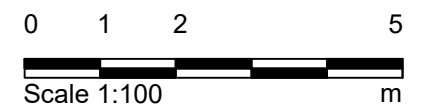
All vents to be hidden behind gutters at eaves level behind stone slate louvers within the masonry wall. (Log burner flues required to terminate above ridge line by Building Regulations).

**Key**

— New intervention



**Key Plan**



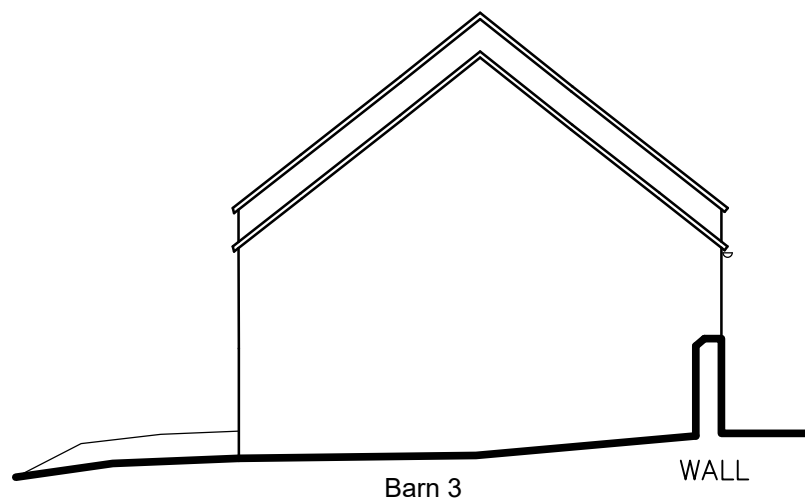
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2.	Where colours other than black or grey are used, the drawing must be plotted in colour.	S	Sketch Design	TXP	TOB
3.	For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only.	P	Planning		
4.	Unless otherwise indicated, all dimensions are in millimeters.	B	Building Control		
5.	All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates specification and trade contractors' drawings and information by specialists.	D	Design Development		
6.	In the event of any discrepancy, please contact us immediately.	M	Measurement		
7.	This drawing may contain survey information by others and is to be used solely for the purposes for which it was issued.	T	Tender		
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9.	Please note DIA cannot be held responsible for any errors arising from changes made to an uncontrolled dwg file.	R	Record		
© 2019 DONALD INSALL ASSOCIATES LTD		Rev	Date	Dwn	Auth
		Rev	Date	Dwn	Auth

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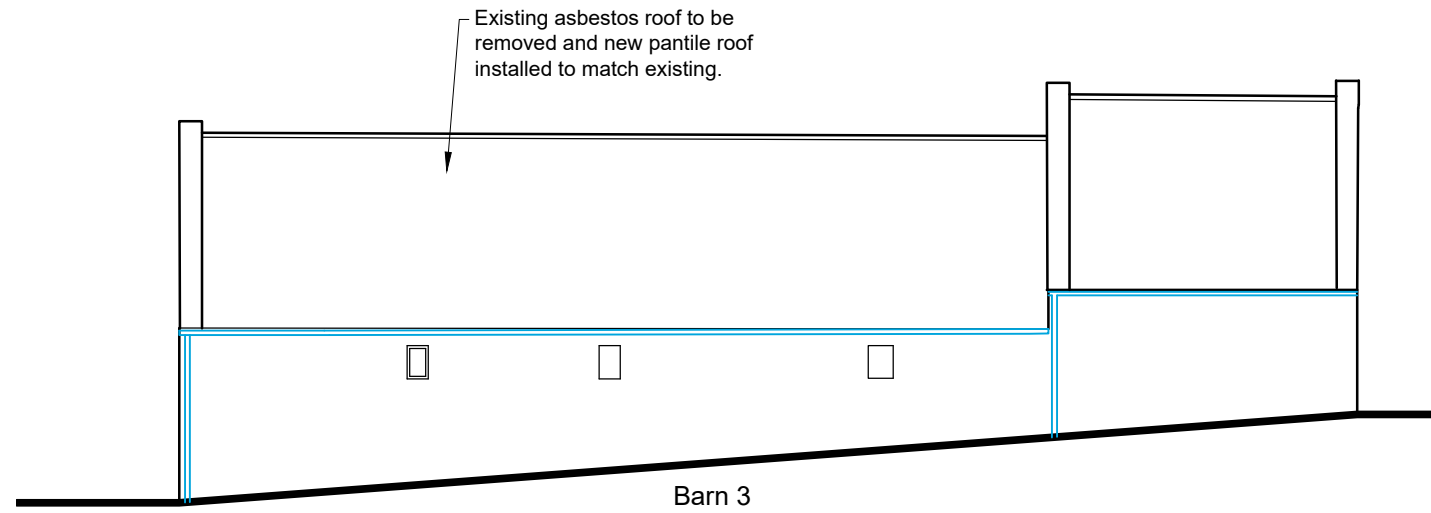
Red House Farm Barns, Mulgrave Estate

Elevation 7 & 8 As Proposed	Project MAN.RHFB.01	No 2203
	Scale (A3) 1: 100	Status 3P
		Revision 0

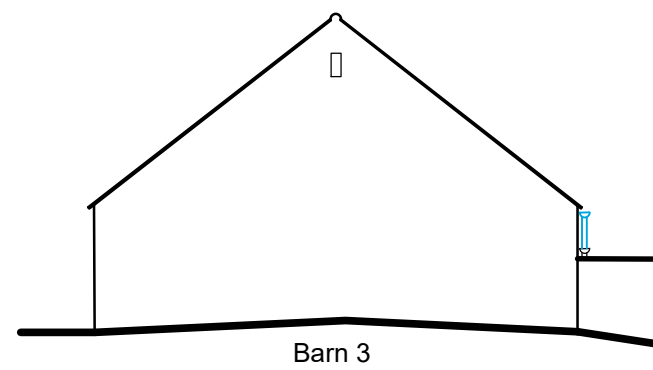




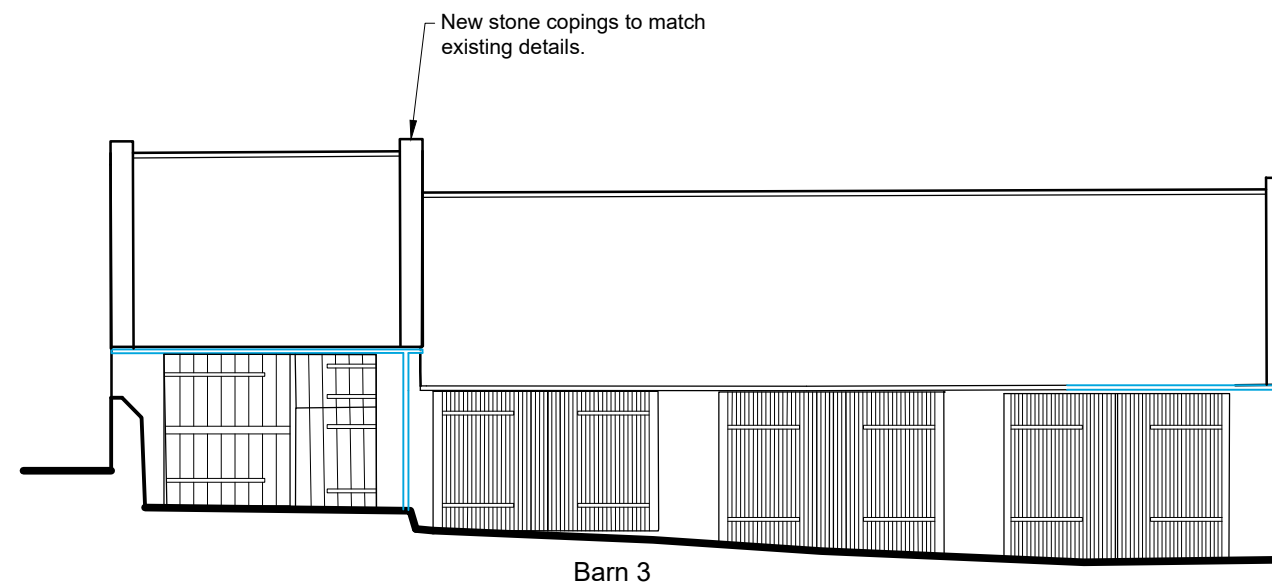
**Elevation 11**



**Elevation 12**



**Elevation 9**



**Elevation 10**

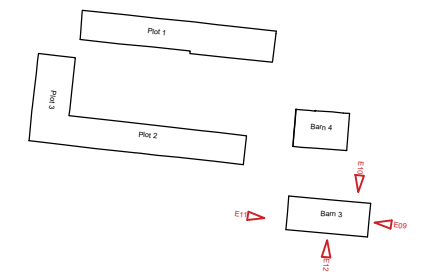
NYMNPA  
 18/10/2021

**General Notes**

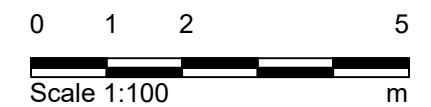
- Doors**  
To be repaired or new brace and ledge timber doors to match existing.
- Windows**  
Existing windows to be repaired where required. No new windows to be installed.
- Masonry Walls**  
All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cementitious materials.
- Floors**  
New crushed stone to go over any mud floors.
- RWP**  
Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.
- Internal Partition Walls**  
New painted timber vertical tongue and groove partition walls with new masonry plinths.
- Existing internal agricultural structures**  
to remain in situ.
- Roof**  
Corrugated asbestos roof to be replaced with new pantile roof to match existing roofs with new stone coping stones raised above pantiles to match existing details on other barns on the site.

**Key**

■ New intervention



**Key Plan**

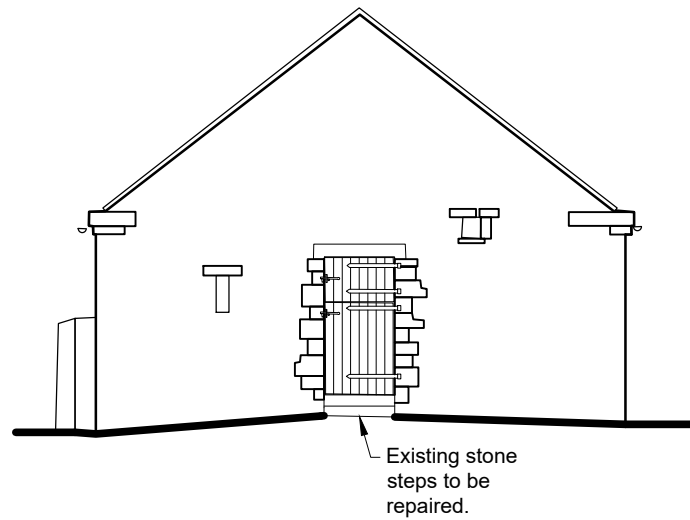


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1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.	<b>F</b> Feasibility										
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9. Please note DIA cannot be held responsible for any errors arising from changes made to an uncontrolled dwg file.	<b>R</b> Record										
		0	24-09-21	TXP	TOB	Initial Issue					

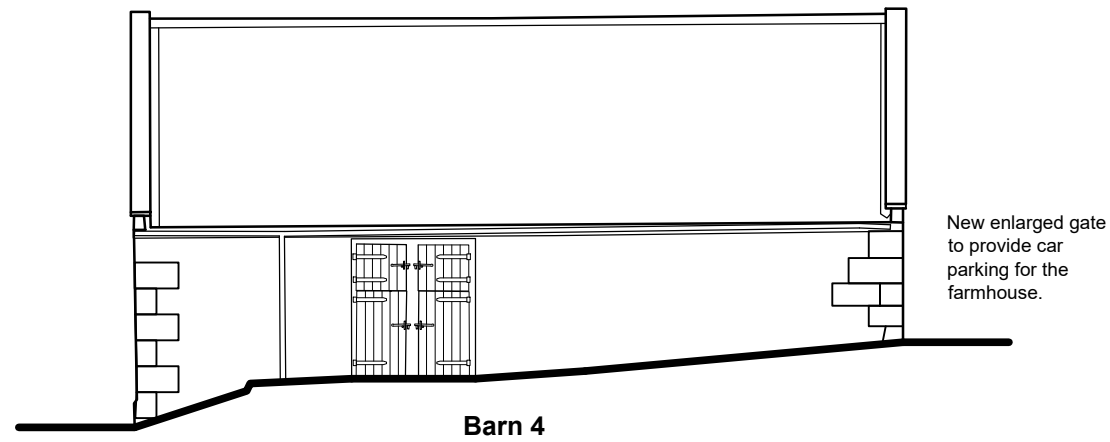
**Donald Insall Associates**  
Chartered Architects and Historic Building Consultants

Red House Farm Barns, Mulgrave Estate

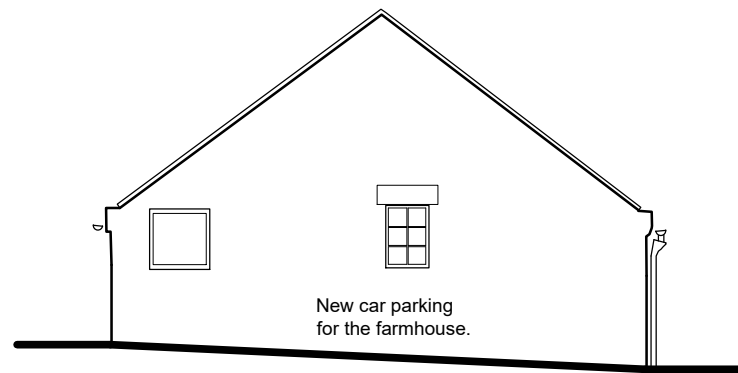
Elevation 9,10,11 & 12 As Proposed	Project <b>MAN.RHFB.01</b>	No <b>2204</b>
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		Revision <b>0</b>



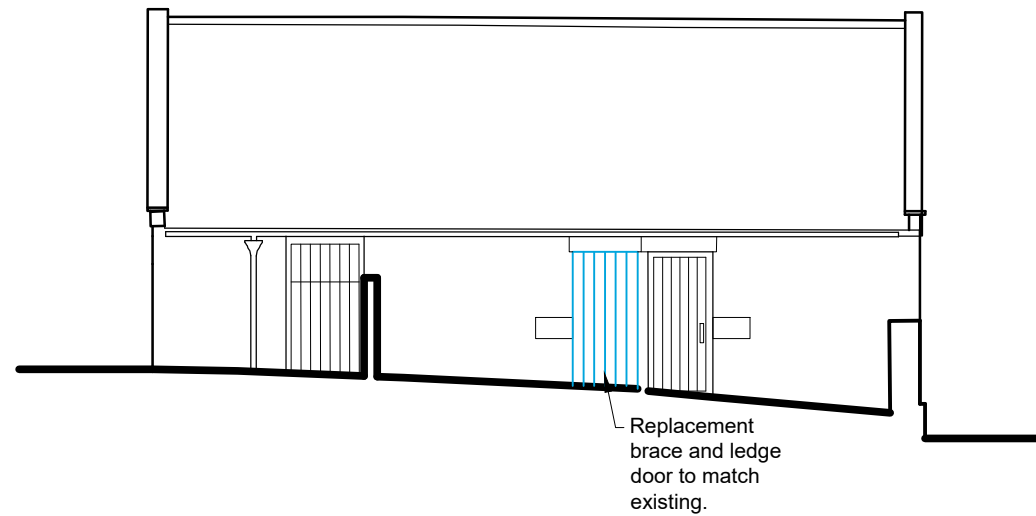
**Elevation 13**



**Elevation 14**



**Elevation 15**



**Elevation 16**

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 18/10/2021

**General Notes**

**Doors**  
To be repaired or new brace and ledge timber doors to match existing.

**Windows**  
Existing windows to be repaired where required. No new windows to be installed.

**Masonry Walls**  
All masonry to be repointed in non-hydraulic hot lime mortar following the removal of all cementitious materials.

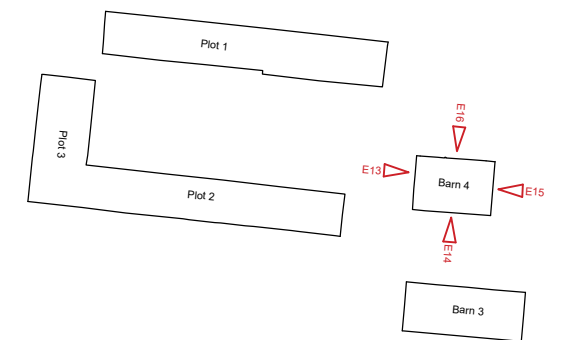
**RWP**  
Existing cast iron rainwater pipes to be repaired. Where missing or broken new cast iron rainwater pipes to match existing are to be installed.

**Existing internal agricultural structures**  
to remain in situ.

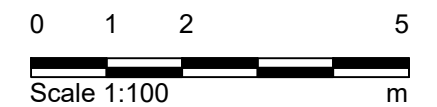
**Roof**  
Recently repaired, minor repairs where required.

**Key**

New intervention



**Key Plan**



- Notes**
- Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.
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Drawing Status				
F	Feasibility			
S	Sketch Design			
P	Planning			
B	Building Control			
D	Design Development			
M	Measurement			
T	Tender			
C	Construction			
R	Record			

Rev	Date	Dwn	Auth	Revision
0	24-05-21	HXD	TOB	Initial Issue

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Red House Farm Barns, Mulgrave Estate

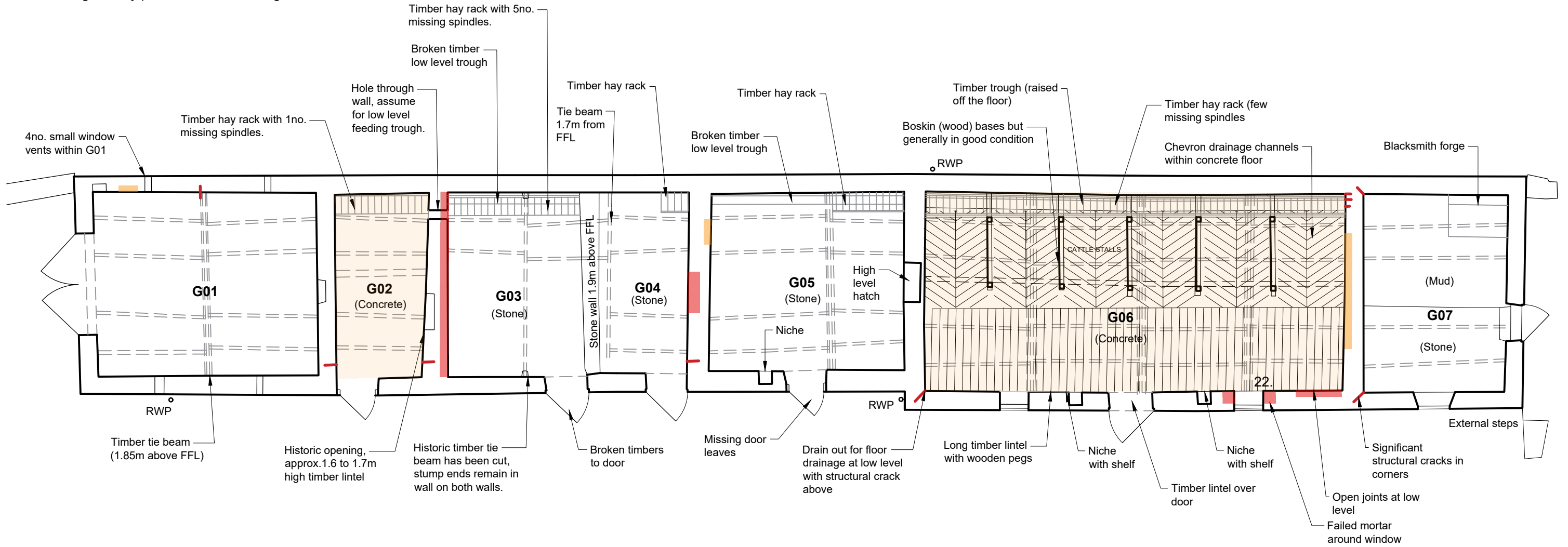
Elevation E13, E14, E15 & E16 As Existing	Project MAN.RHFB.01	No 1230
	Scale (A3) 1:100	Status P
		Revision 0

**General Notes**

- No foundations
- Rusting fixings + hinges
- Flaking + rotting timber
- Limewash to interiors
- Internally mud mortar evident with large chunks of lime
- Farm connected to mains sewage
- Doors generally painted brace and ledge

**Key**

- Open mortar joints within masonry
- Areas of modern cement/concrete
- Structural Cracks



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18/10/2021

**Notes**

1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.
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**Drawing Status**

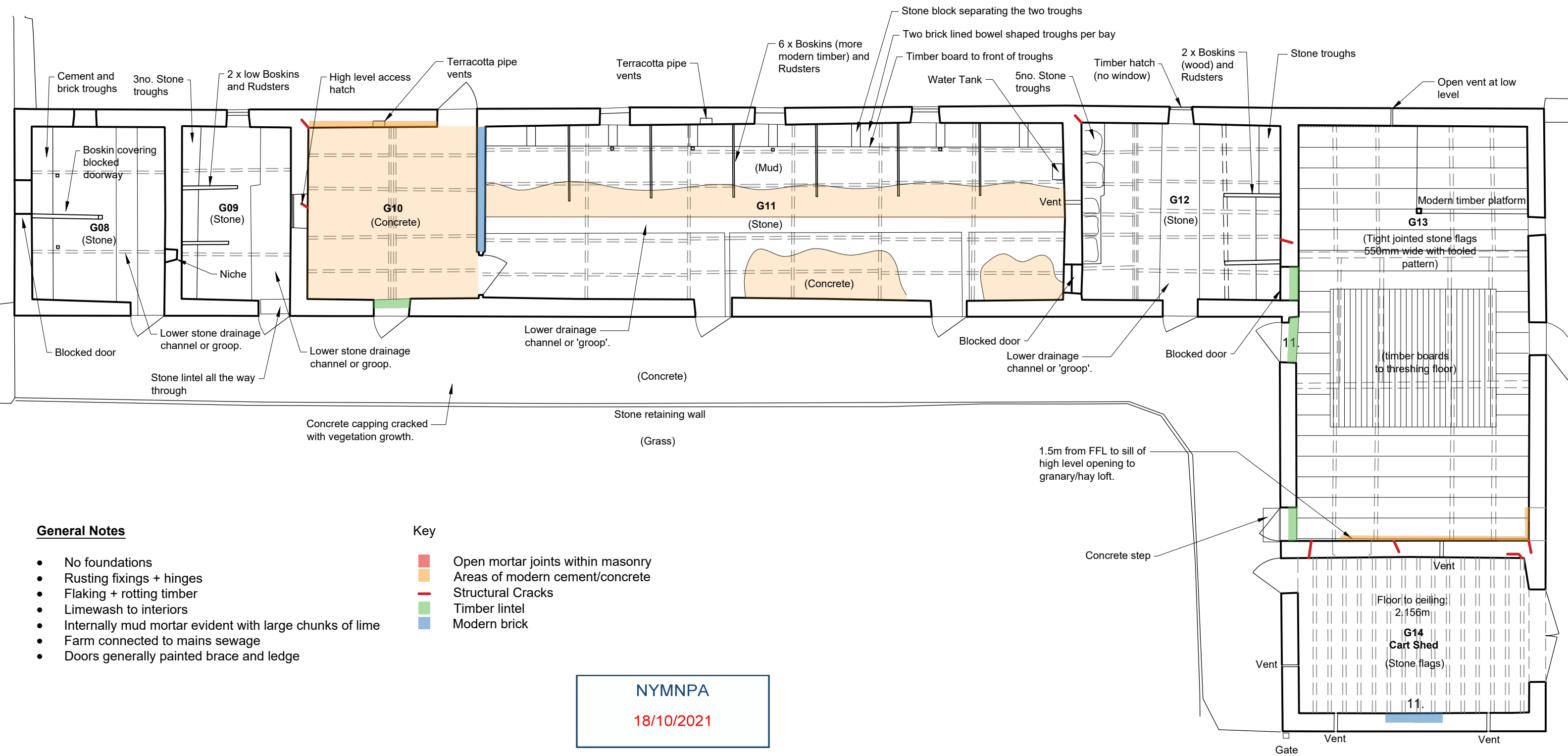
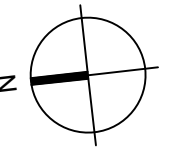
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- S Sketch Design
- P Planning
- B Building Control
- D Design Development
- M Measurement
- T Tender
- C Construction
- R Record

Rev	Date	Dwn	Auth	Revision
1	16-08-2021	TOB		Updated drawing following Pre-app site visit
0	01-06-2021	HXD	TOB	Initial Issue

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Red House Farm Barns, Mulgrave Estate

Barn 1 Ground Floor Plan Condition Survey		Project MAN.RHFB.01	No 5001
Scale (A3) 1: 100	Status P	Revision 1	



**General Notes**

- No foundations
- Rusting fixings + hinges
- Flaking + rotting timber
- Limewash to interiors
- Internally mud mortar evident with large chunks of lime
- Farm connected to mains sewage
- Doors generally painted brace and ledge

**Key**

- Open mortar joints within masonry
- Areas of modern cement/concrete
- Structural Cracks
- Timber lintel
- Modern brick

NYMNP  
 18/10/2021

**Notes**

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Rev	Date	Dwn	Auth	Revision
1	16-08-21	TOB		Updated drawing following Pre-app site visit
0	24-05-21	HXD	TOB	Initial Issue

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Red House Farm Barns, Mulgrave Estate

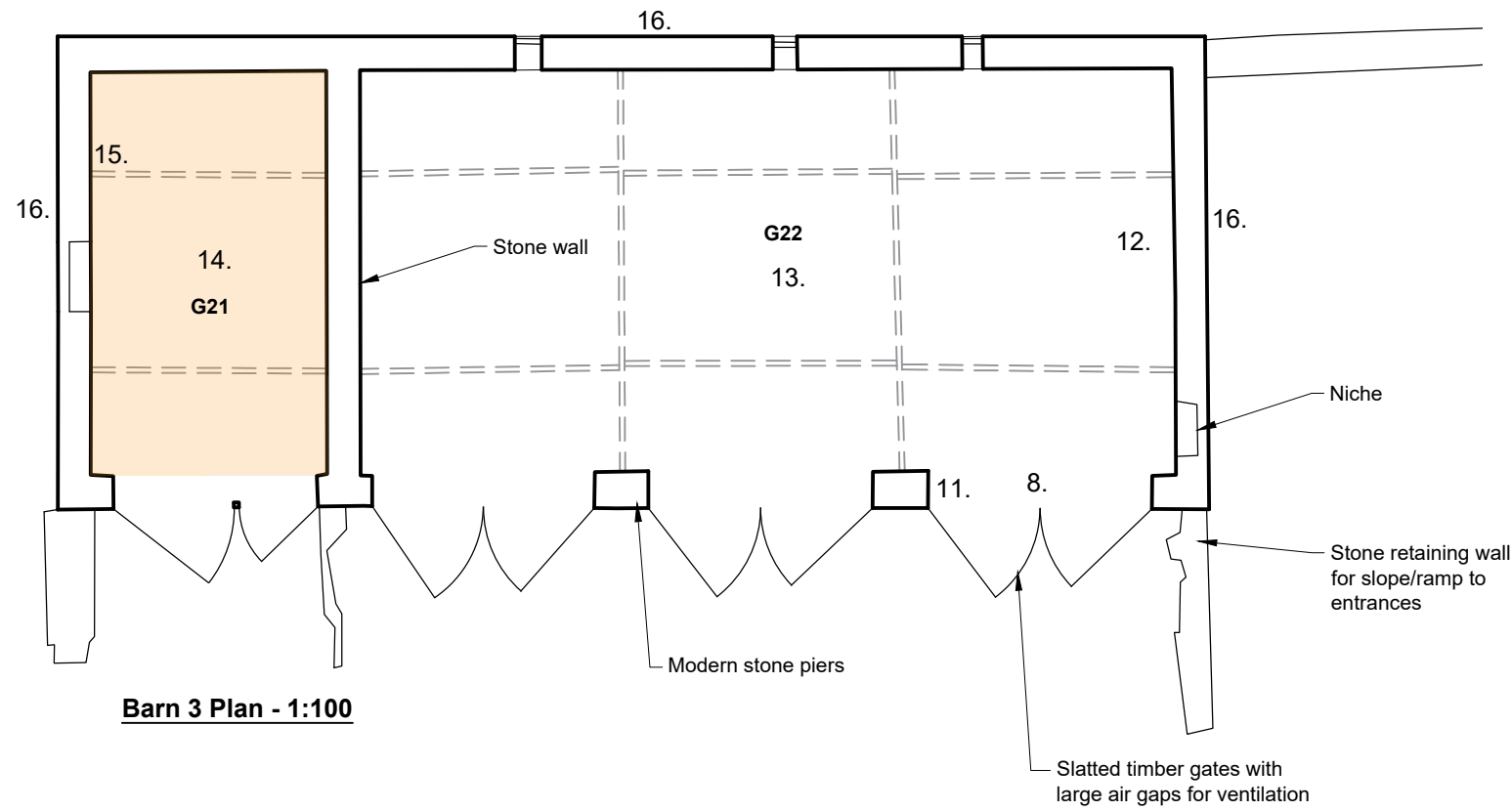
Barn 2 Ground Floor Plan Condition Survey		Project MAN.RHFB.01	No 5002
Scale (A3) 1: 100	Status P	Revision 1	

**Key**

1. Wash tub: stocking hole on side and round timber lid on top of masonry structure.
2. Modern structural metal tie rod
3. Mostly missing and degraded Range with stone lintel over fireplace
4. Stone trough
5. Modern gray membrane to roof
6. Rotten timber to hay loft floor above
7. Brace and ledge door has rotten and fallen away
8. Timber lintel
9. Brace and ledge door
10. Stone floor
11. Metal strap down stone pier
12. Weathered stone
13. Mud floor
14. Concrete floor
15. Cracked stone
16. Historic stone

**General Notes**

- Roof generally modern or recently renewed

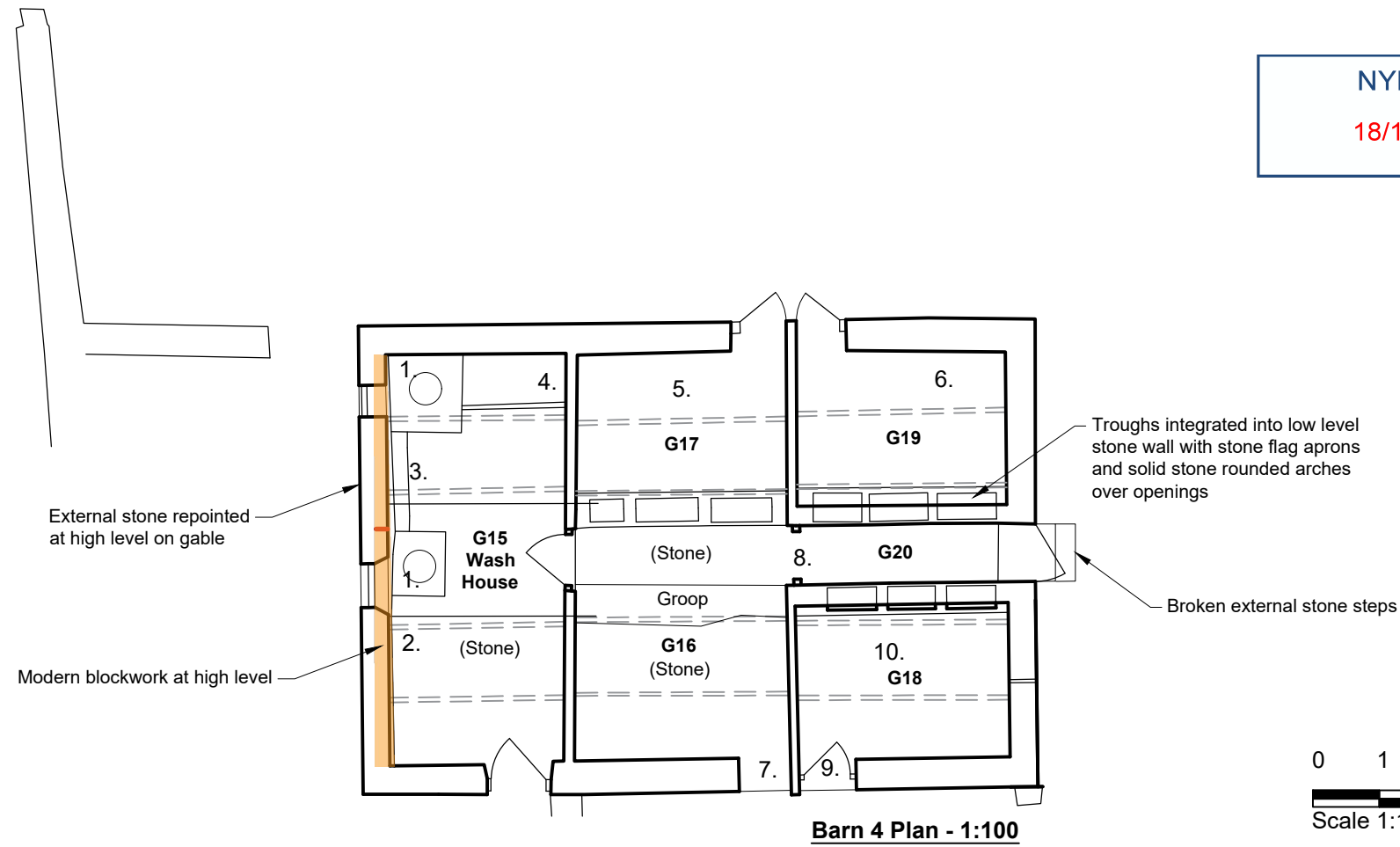


**Barn 3 Plan - 1:100**

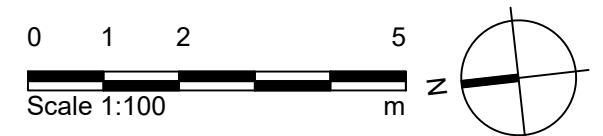
NYMNP  
18/10/2021

**Key**

- Open Joints
- Areas of modern cement/concrete
- Cracks
- Failed Membrane
- Hole in roof

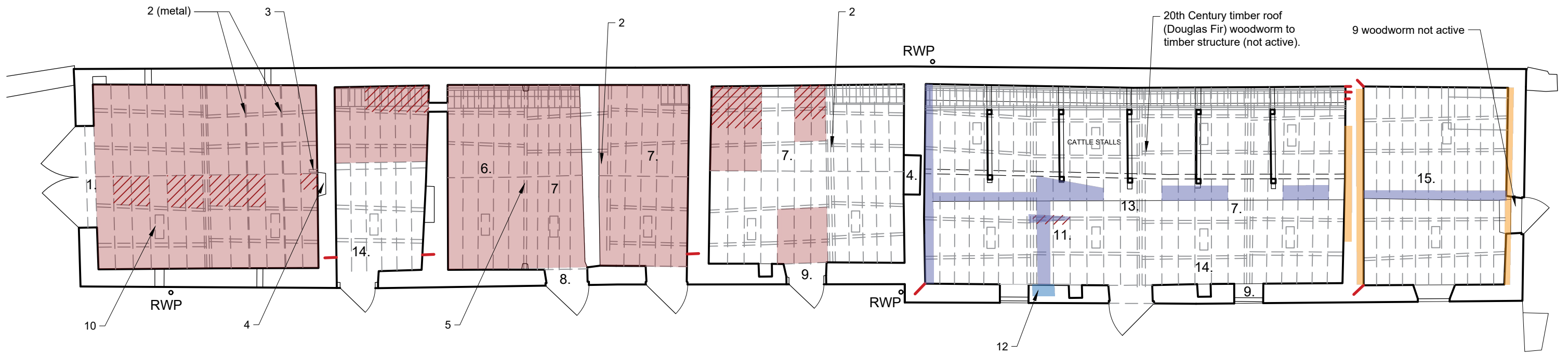


**Barn 4 Plan - 1:100**



<p><b>Notes</b></p> <ol style="list-style-type: none"> <li>1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.</li> <li>2. Where colours other than black or grey are used, the drawing must be plotted in colour.</li> <li>3. For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only.</li> <li>4. Unless otherwise indicated, all dimensions are in millimeters.</li> <li>5. All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates specification and trade contractors' drawings and information by specialists.</li> <li>6. In the event of any discrepancy, please contact us immediately.</li> <li>7. This drawing may contain survey information by others and is to be used solely for the purposes for which it was issued.</li> <li>8. These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact DIA immediately.</li> <li>9. Please note DIA cannot be held responsible for any errors arising from changes made to an uncontrolled dwg file.</li> </ol> <p>© 2019 DONALD INSALL ASSOCIATES LTD</p>	<p><b>Drawing Status</b></p> <p>F Feasibility</p> <p>S Sketch Design</p> <p>P Planning</p> <p>B Building Control</p> <p>D Design Development</p> <p>M Measurement</p> <p>T Tender</p> <p>C Construction</p> <p>R Record</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Dwn</th> <th>Auth</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>16-08-21</td> <td>TOB</td> <td></td> <td>Updated drawing following Pre-app site visit</td> </tr> <tr> <td>0</td> <td>24-05-21</td> <td>HXD</td> <td>TOB</td> <td>Initial Issue</td> </tr> </tbody> </table>	Rev	Date	Dwn	Auth	Revision	1	16-08-21	TOB		Updated drawing following Pre-app site visit	0	24-05-21	HXD	TOB	Initial Issue	<p><b>Donald Insall Associates</b> Chartered Architects and Historic Building Consultants</p> <p>Red House Farm Barns, Mulgrave Estate</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Project</td> <td>MAN.RHFB.01</td> <td>No</td> <td>5003</td> </tr> <tr> <td>Scale (A3)</td> <td>1: 100</td> <td>Status</td> <td>P</td> </tr> <tr> <td></td> <td></td> <td>Revision</td> <td>1</td> </tr> </table>	Project	MAN.RHFB.01	No	5003	Scale (A3)	1: 100	Status	P			Revision	1
Rev	Date	Dwn	Auth	Revision																											
1	16-08-21	TOB		Updated drawing following Pre-app site visit																											
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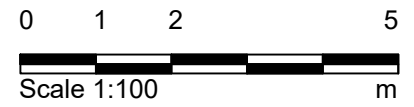
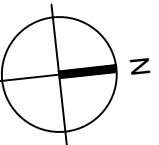
NYMNPA  
18/10/2021



**Key**

- |  |  |
|--|--|
| 1. Steel beam  | 10. Glass pantile rooflight  |
| 2. Low tie beam  | 11. Rotting purlin   |
| 3. Timber  | 12. Loose stones around timber   |
| 4. High level opening with timber hatch                            | 13. Swallow's nest   |
| 5. Raised modern timber truss. Original tie beam cut at low level. | 14. 20th Century laths with limewash, butt jointed laths, overlapped ends, lime mortar above to hold pantiles. |
| 6. Small non-structural timber ridge beam                          | 15. 20th Century laths and lime mortar above. Modern timber rafters with historic purlins. No limewash.        |
| 7. Limewashed roof timbers   |  |
| 8. Stone lintel  |  |
| 9. Timber lintel   |  |

- Open Joints
- Areas of modern cement/concrete
- Cracks
- Failed Membrane/roofing felt
- Hole in roof allowing surrounding timbers to rot
- Failed, rotting or missing timber laths



**Notes**

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M	Measurement			
T	Tender			
C	Construction			
R	Record			

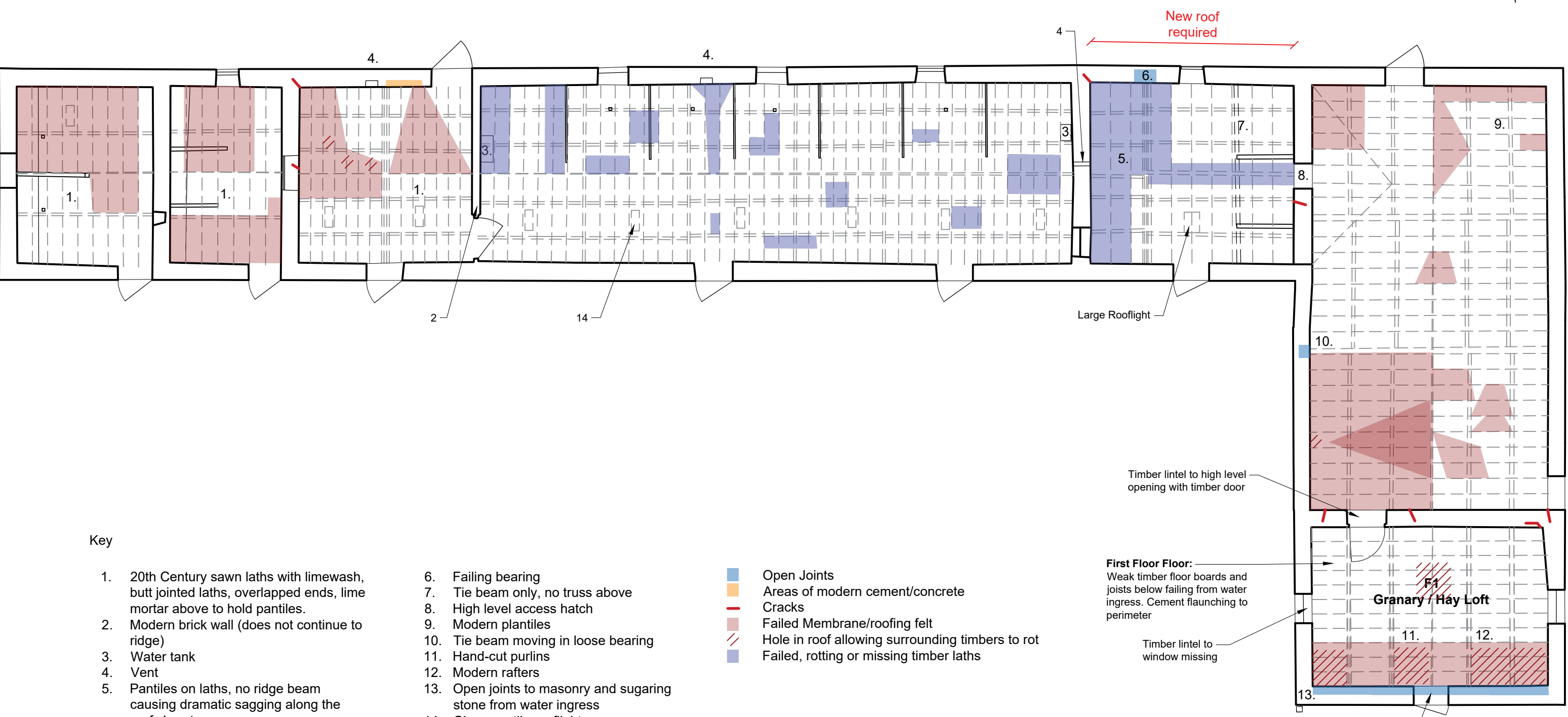
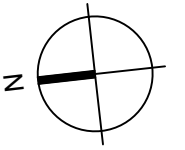
  

Rev	Date	Dwn	Auth	Revision
0	01-06-2021	HXD	TOB	Initial Issue

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Red House Farm Barns, Mulgrave Estate

Barn 1 Reflected Ceiling Plan Condition Survey	Project MAN.RHFB.01	No 5011
	Scale (A3) 1: 100	Status P
		Revision 0

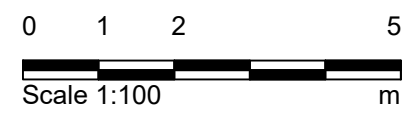


**Key**

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li>1. 20th Century sawn laths with limewash, butt jointed laths, overlapped ends, lime mortar above to hold pantiles.</li> <li>2. Modern brick wall (does not continue to ridge)</li> <li>3. Water tank</li> <li>4. Vent</li> <li>5. Pantiles on laths, no ridge beam causing dramatic sagging along the roof, 1no. truss.</li> </ul> | <ul style="list-style-type: none"> <li>6. Failing bearing</li> <li>7. Tie beam only, no truss above</li> <li>8. High level access hatch</li> <li>9. Modern pantiles</li> <li>10. Tie beam moving in loose bearing</li> <li>11. Hand-cut purlins</li> <li>12. Modern rafters</li> <li>13. Open joints to masonry and sugaring stone from water ingress</li> <li>14. Glass pantile rooflight</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #4a86e8; border: 1px solid black; margin-right: 5px;"></span> Open Joints</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #f7941d; border: 1px solid black; margin-right: 5px;"></span> Areas of modern cement/concrete</li> <li><span style="display: inline-block; width: 10px; height: 10px; border-top: 1px solid red; border-bottom: 1px solid red; margin-right: 5px;"></span> Cracks</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #c0392b; border: 1px solid black; margin-right: 5px;"></span> Failed Membrane/roofing felt</li> <li><span style="display: inline-block; width: 10px; height: 10px; border-left: 1px dashed red; border-right: 1px dashed red; margin-right: 5px;"></span> Hole in roof allowing surrounding timbers to rot</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #4a86e8; border: 1px solid black; margin-right: 5px;"></span> Failed, rotting or missing timber laths</li> </ul> |
|---|---|---|

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**First Floor Floor:**  
 Weak timber floor boards and joists below failing from water ingress. Cement flaunching to perimeter



**Notes**

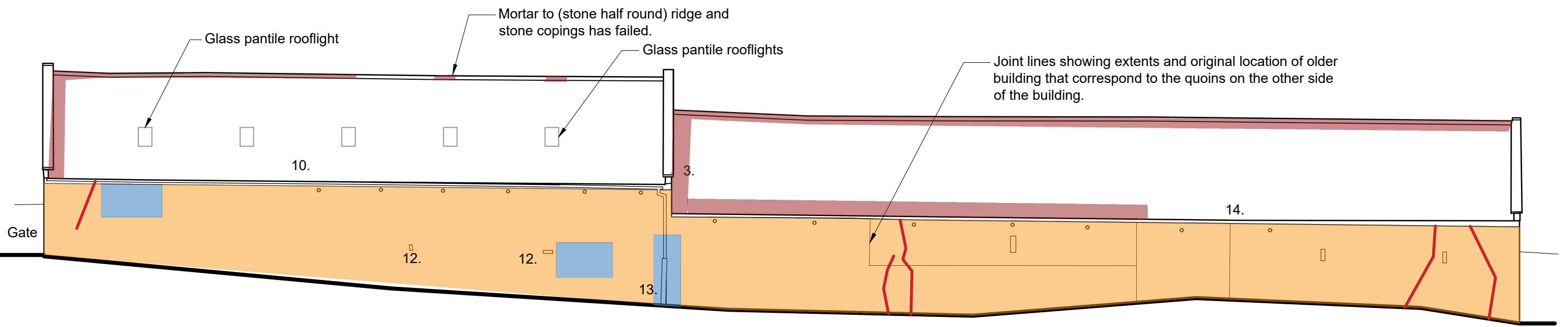
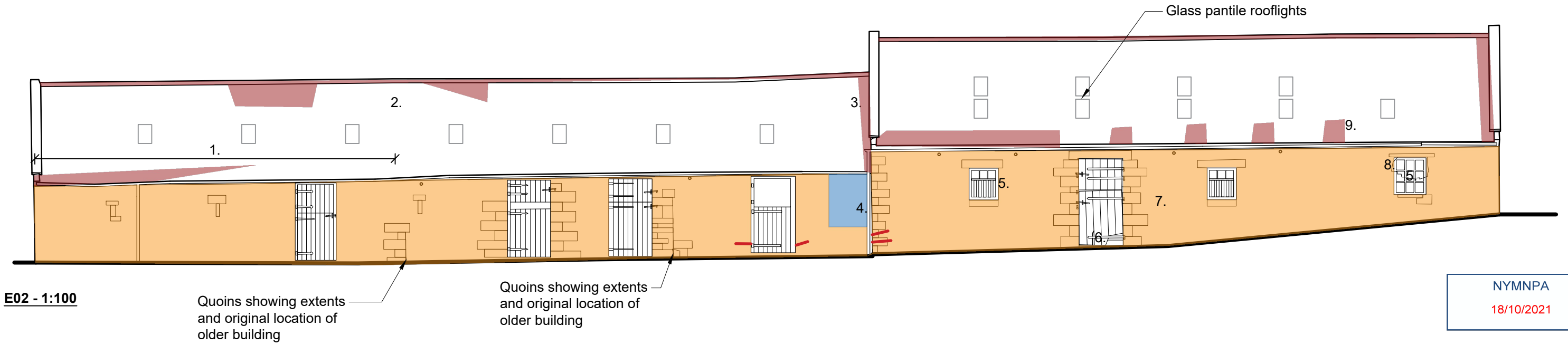
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R	Record								

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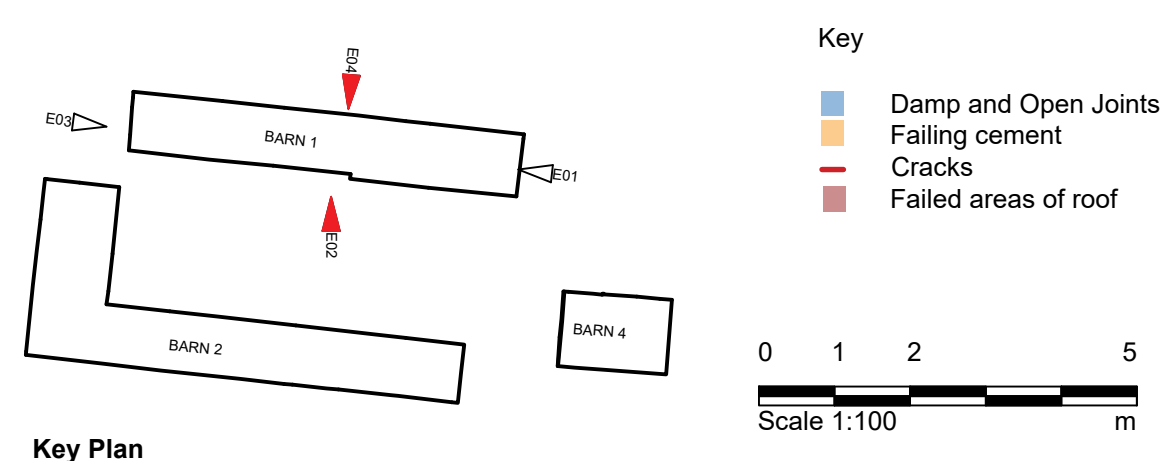
Red House Farm Barns, Mulgrave Estate

Barn 2 Reflected Ceiling Plan Condition Survey	Project MAN.RHFB.01	No 5012
	Scale (A3) 1: 100	Status P
		Revision 0



- Key**
1. Area of plastic RWP with original brackets
  2. Undulating structure
  3. Cement fillet
  4. Rusting
  5. Missing glass and rotten timber
  6. Rotting base to door
  7. Metal fixings to wall
  8. Plywood
  9. Chipped pan tiles and missing mortar
  10. Pantiles
  11. Glass pantile rooflights
  12. Rusting iron tie with weathered stone around

13. Broken bottom and rusting RWP
  14. No gutter to this side of roof
- General Notes**
- Rusting cast iron half round gutters
  - Glass pantile rooflights shown indicatively



**Notes**

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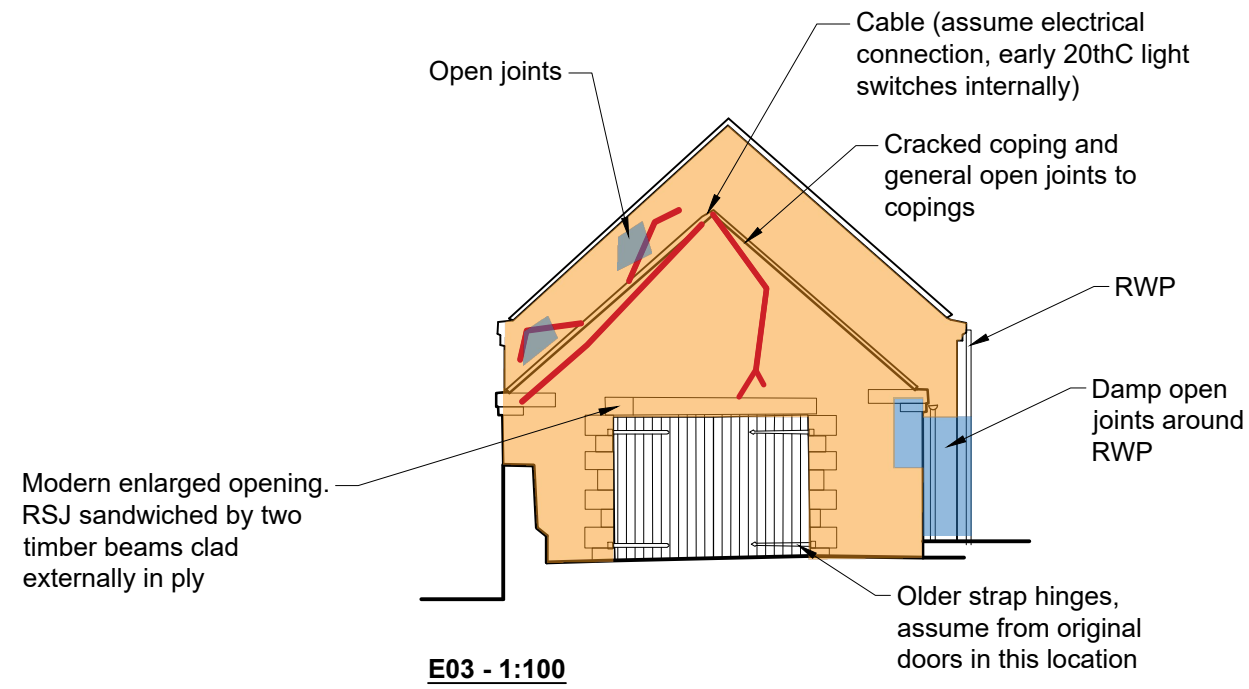
Rev	Date	Dwn	Auth	Revision
0	24-05-21	HXD	TOB	Initial Issue

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Red House Farm Barns, Mulgrave Estate

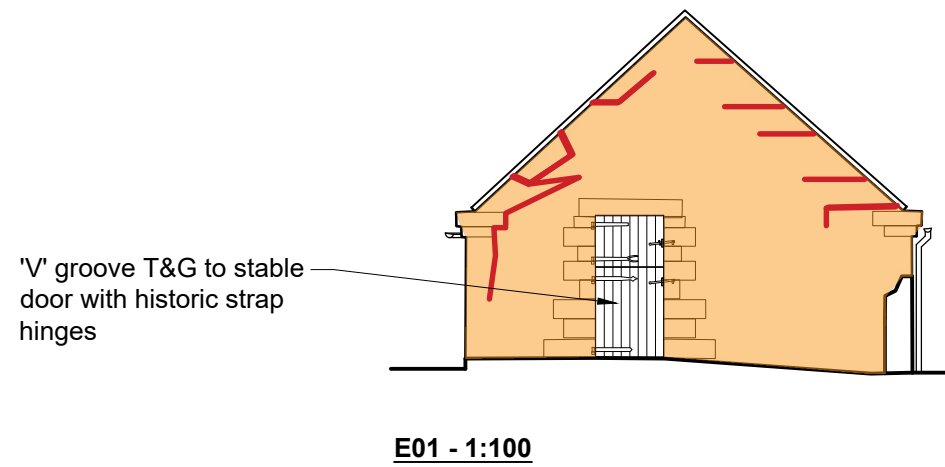
Elevation E02 & E04 Condition Survey	Project	MAN.RHFB.01	No	5200
	Scale (A3)	1: 100	Status	P
			Revision	0



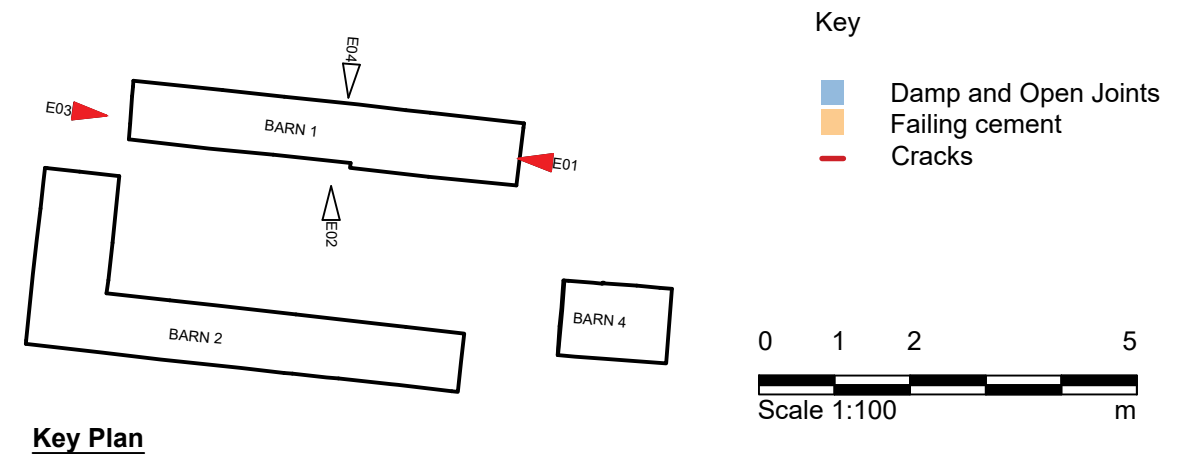


**General Notes**

- Rusting cast iron half round gutters
- Glass pantile rooflights shown indicatively



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**Notes**

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0	24-05-21	HXD	TOB	Initial Issue
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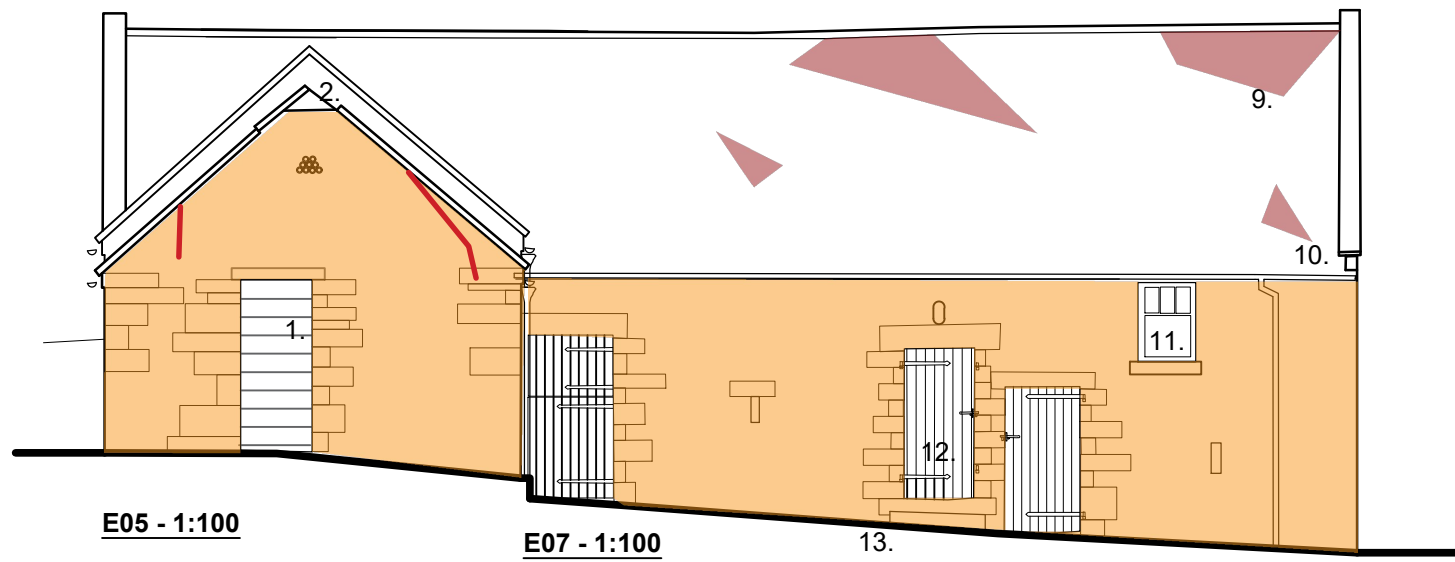
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Red House Farm Barns, Mulgrave Estate

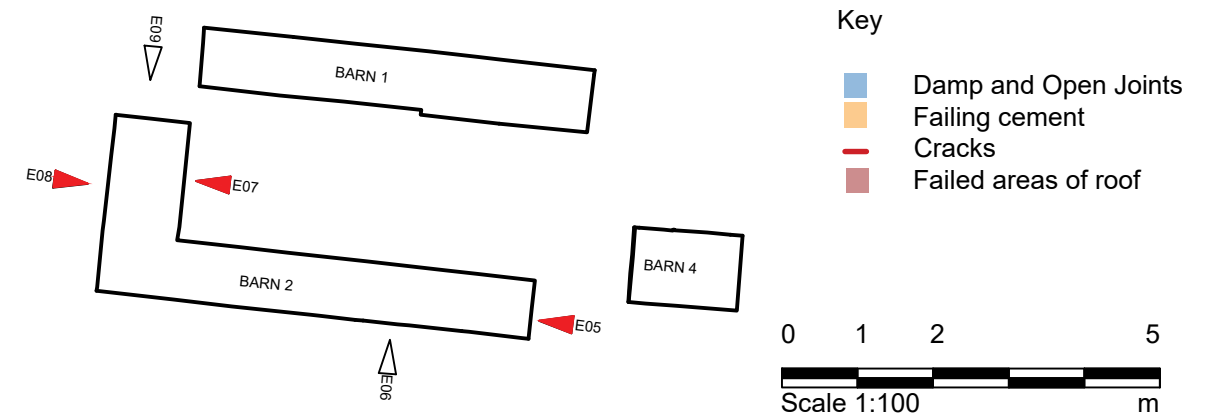
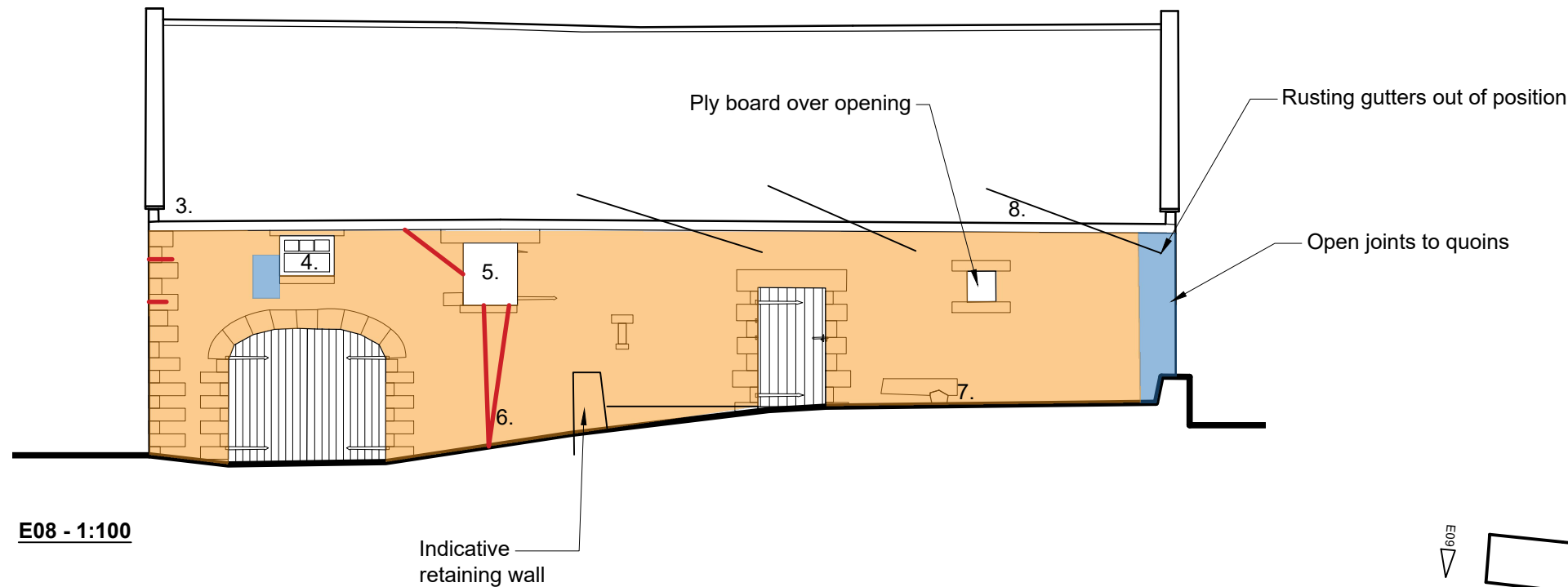
Elevation E01 & E03 Condition Survey	Project	MAN.RHFB.01	No	5201
	Scale (A3)	1: 100	Status	P
			Revision	0

**Key**

- 1. Door shown indicatively
- 2. Missing coping
- 3. Vegetation
- 4. Rotting and missing lower section
- 5. Opening
- 6. Rusting fixing blowing existing stone
- 7. Hole/drain
- 8. Gutter generally missing
- 9. Holes in roof
- 10. Rusting gutter
- 11. Rotting timber, missing glass
- 12. Light
- 13. Concrete step



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**Notes**

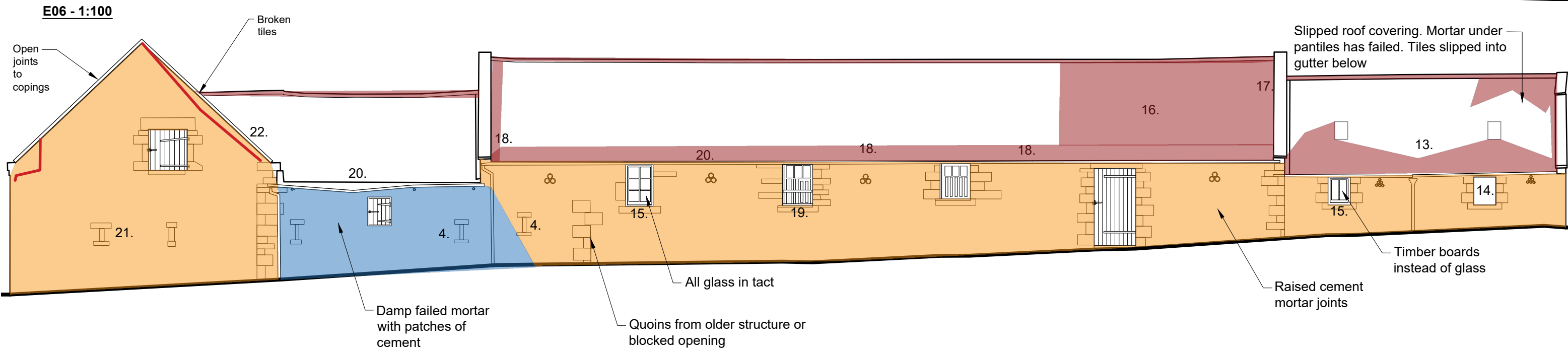
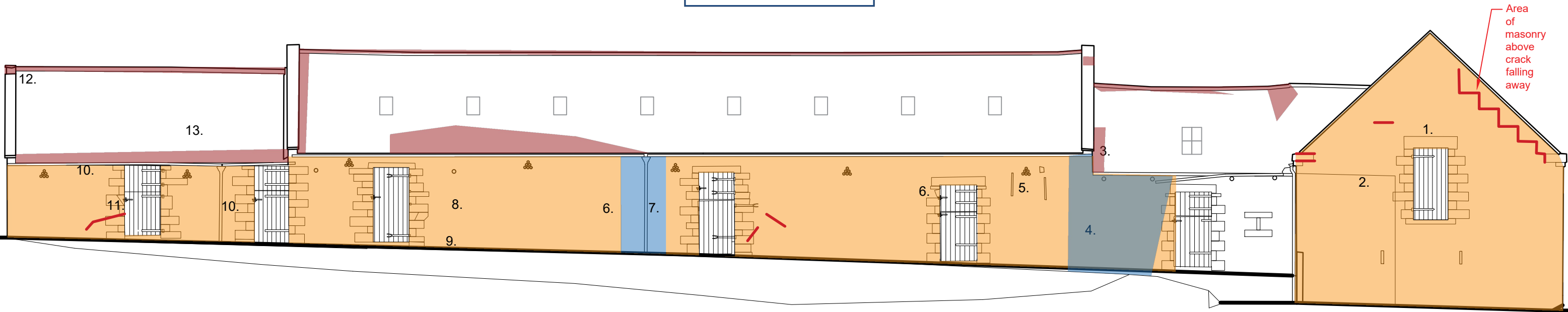
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0	24-05-21	HXD	TOB	Initial Issue
Rev	Date	Dwn	Auth	Revision

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Red House Farm Barns, Mulgrave Estate

Elevation E05, E07 & E08 Condition Survey	Project MAN.RHFB.01	No 5210
Scale (A3) 1: 100	Status P	Revision 0



**E06 - 1:100**

**E09 - 1:100**

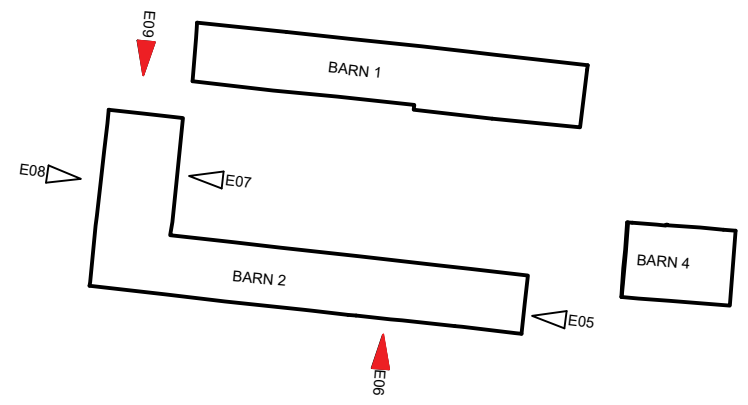
**Key**

- 1. Hole over lintel
- 2. Surface mounted electrical cables
- 3. Missing lead
- 4. Blocked vent
- 5. Metal ties
- 6. Fractured stone from rust jacking
- 7. Rusting gutter not connected to hopper
- 8. Mud mortar behind cement
- 9. Cement gully
- 10. Rusting rain water pipe
- 11. Missing stone
- 12. Missing coping
- 13. Mortared pantiles slipped
- 14. Modern stone infill to historic opening
- 15. Rotting timber window
- 16. Roof in very poor condition
- 17. Failed cement mortar fillet
- 18. Vegetation

- 19. Broken window (rotten bottom)
- 20. Broken gutter and rusting
- 21. Vents
- 22. Broken tiles
- 23. Open joints to quoins

**General Notes**

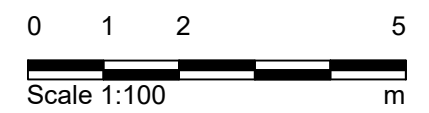
- Glass pantile rooflights shown indicatively



**Key Plan**

**Key**

- Damp and Open Joints
- Failing cement
- Cracks
- Failed areas of roof



**Notes**

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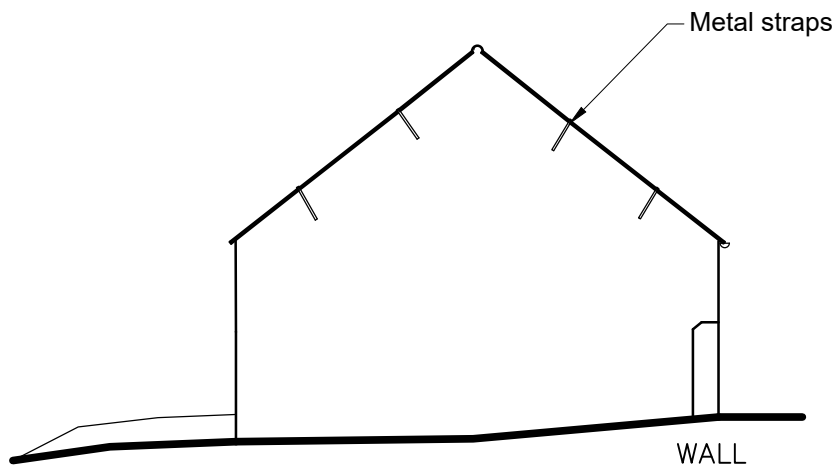
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Drawing Status					Revision				
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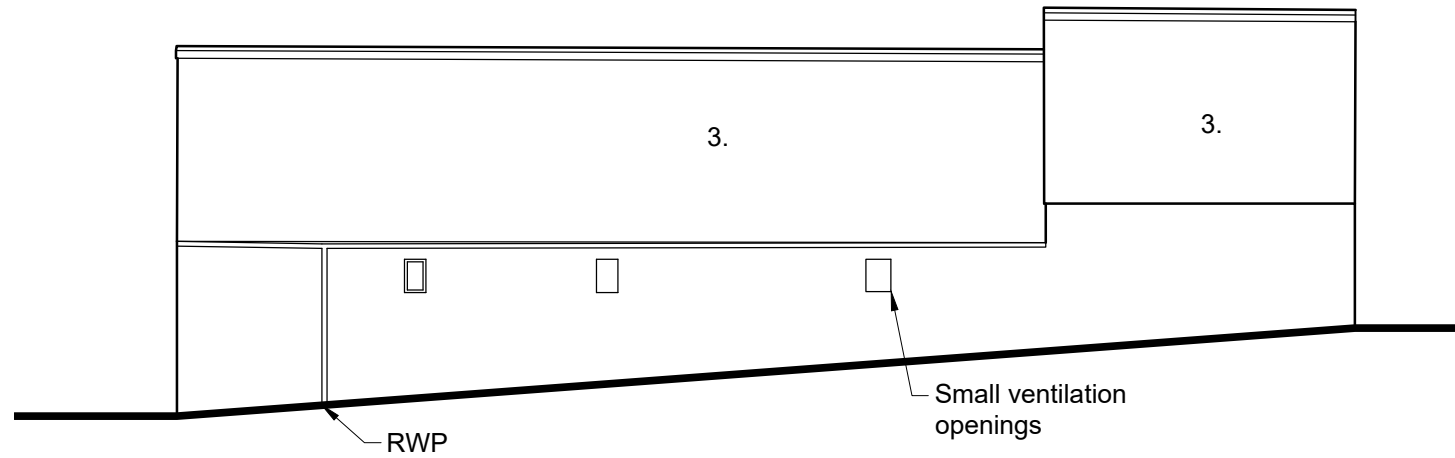
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Red House Farm Barns, Mulgrave Estate

Elevation E06 & E09 Condition Survey	Project	MAN.RHFB.01	No	5211
	Scale (A3)	1: 100	Status	P
			Revision	0



**E11 - 1:100**



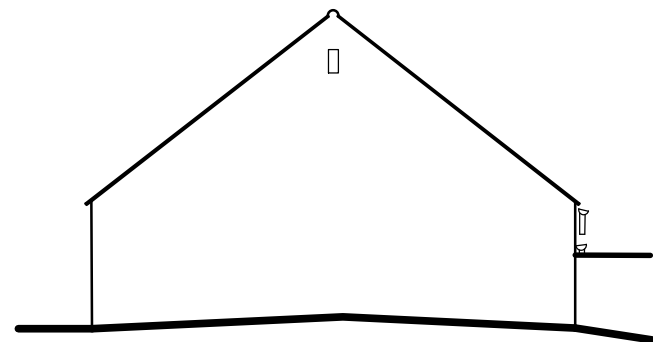
**E12 - 1:100**

**Key**

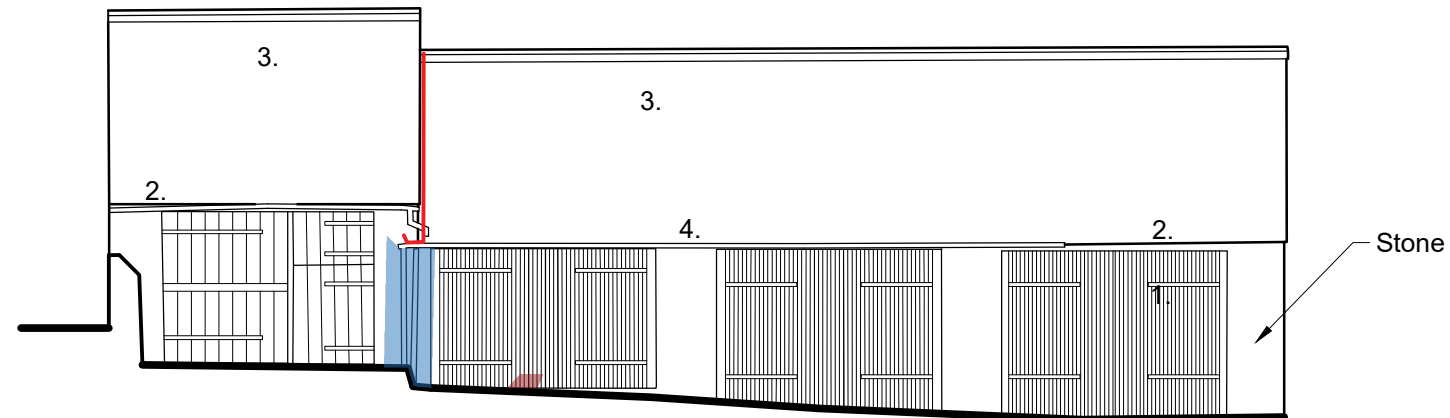
1. Open timber gates
2. Missing gutter
3. Asbestos roof
4. Rusting gutter

**Key**

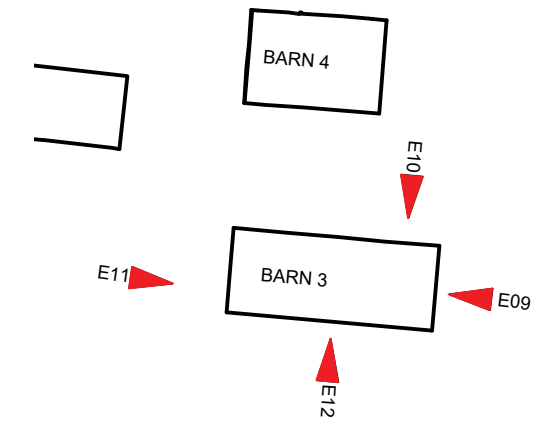
- Damp and Open Joints
- Failing cement
- Cracks
- Failed or missing area of material



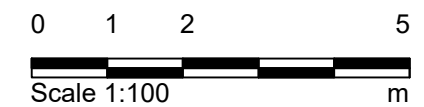
**E09 - 1:100**



**E10 - 1:100**



**Key Plan**



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**Notes**

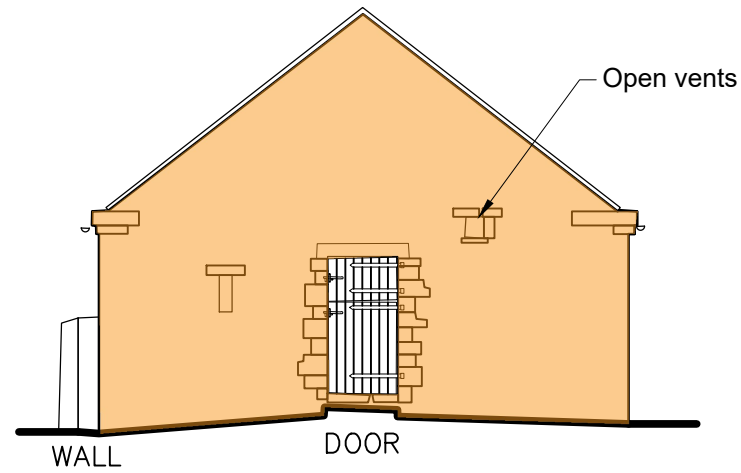
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Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision

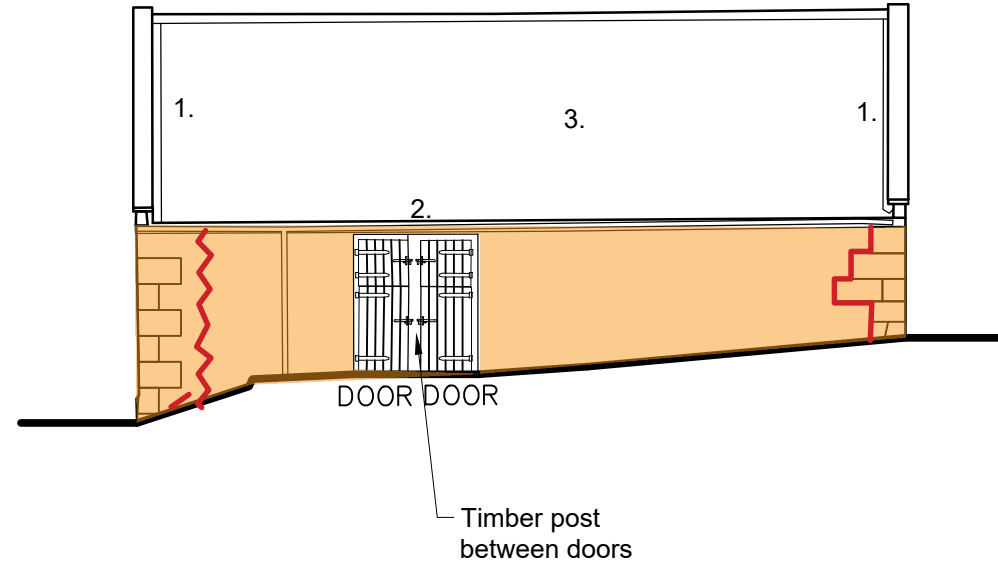
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Red House Farm Barns, Mulgrave Estate

Elevation E09, E10, E11 & E12 Condition Survey	Project	MAN.RHFB.01	No	5220
	Scale (A3)	1: 100	Status	P
			Revision	0



**E13 - 1:100**



**E14 - 1:100**

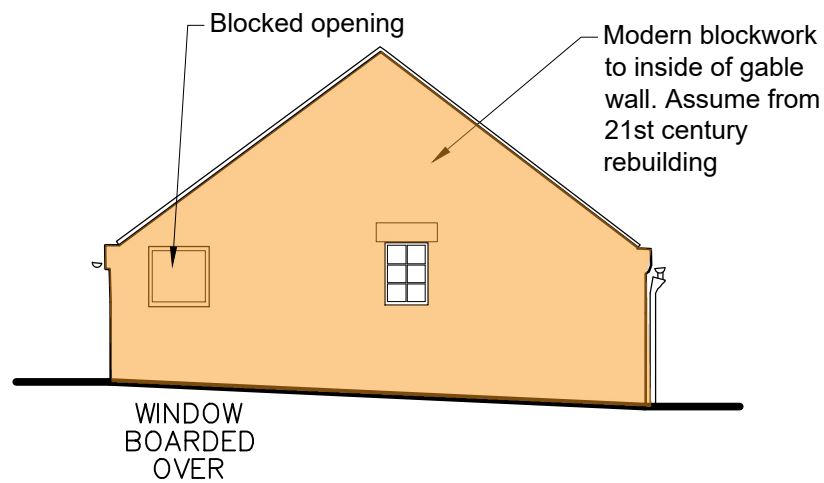
**Key**

- 1. Lead flashing to sides of copings
- 2. Rusting gutters
- 3. 21st century roof repairs to pantile roof

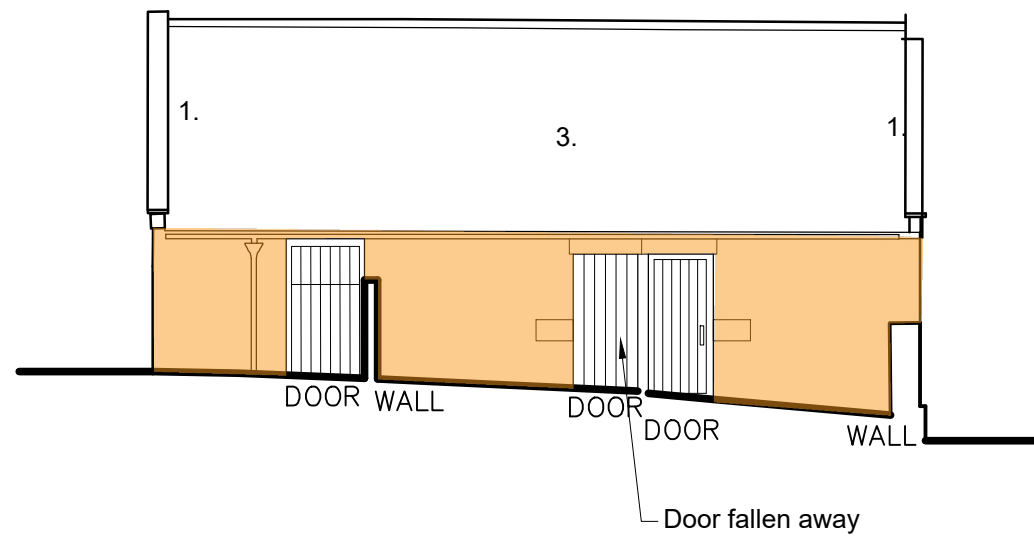
**Key**

- Damp and Open Joints
- Failing cement
- Cracks
- Failed or missing area of material

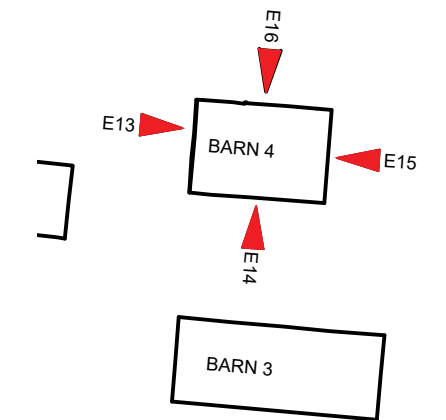
NYMNPA  
18/10/2021



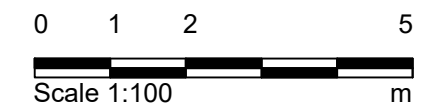
**E15 - 1:100**



**E16 - 1:100**



**Key Plan**



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- T Tender
- C Construction
- R Record

Rev	Date	Dwn	Auth	Revision

Rev	Date	Dwn	Auth	Revision
0	24-05-21	HXD	TOB	Initial Issue

**Donald Insall Associates**  
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Red House Farm Barns, Mulgrave Estate

Elevation E13, E14, E15 & E16 Condition Survey	Project MAN.RHFB.01	No 5230
	Scale (A3) 1: 100	Status P