

PDA

NYMNPA

22/12/2021

The Planning & Design Associates
Planning.. Architecture.. Interiors.. Landscape

The Chicory Barn Studio, The Old Brickyards, Moor Lane, Stamford Bridge
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DESIGN & ACCESS STATEMENT

**Conversion of Outbuilding
With Single Storey Extension at
GROSMONT FARM
GROSMONT
WHITBY YO22 5QJ
GMV-445-04-DAS**

December 2021



View of Existing Stables Facing North West



View of Existing Stables Facing South West



Google Earth aerial view of site

This Design and Access Statement (DAS) has been prepared on behalf of Grosmont Estate Ltd by PDA in support of a planning application for change of use and single storey rear extension with external alterations to an outbuilding to form 2no. holiday lets and a new foul drainage system, incorporating a new suitably sized sewage treatment plant to serve the farmhouse and the proposed holiday lets. The existing septic tank serving the farmhouse would be removed.

This DAS provides an overall assessment of the proposed development; it identifies any design parameters and principles and sets out an analysis of the relevant planning policy principles. This statement should be read in conjunction with any accompanying specialist reports.

National Planning Policy Guidance (NPPG) published in March 2014 states the purposes of a DAS in Paragraph 029 (Reference ID: 14-029-20140306): "They provide a framework for applicants to explain how the proposed development is a suitable response to the site and its setting and demonstrate that it can be adequately accessed by prospective users. Design and Access Statements can aid decision-making by enabling local planning authorities and third parties to better understand the analysis that has underpinned the design of a development proposal."

The NPPG further clarifies what should be included in a DAS accompanying an application for planning permission within Paragraph 031 (Reference ID: 14-031-20140306): "A Design and Access Statement must: (a) explain the design principles and concepts that have been applied to the proposed development; and (b) demonstrate the steps taken to appraise the context of the proposed development, and how the design of the development takes that context into account.

A development context refers to the characteristics of the application site and its wider setting. These will be specific to the circumstances of an individual application and a Design and Access Statement should be tailored accordingly.

Design and Access Statements must also explain the applicant approach to access and how relevant Local Plan policies have been considered.

They must detail any consultation undertaken in relation to access issues, and how the outcome of this consultation has informed the proposed development. Applicants must also explain how any specific issues which might affect access to the proposed development have been addressed”

It is the purpose of this statement to identify the parameters that have dictated the development scale, design, and location.

USE

The building is a traditional stone built range which is no longer in use as agricultural outbuildings. The building currently consists of multiple interior spaces of varying sizes set along one level, with some interior interconnecting openings. The proposal would see the building converted into 2no. holiday units. The applicant seeks to rationalise the interior spaces and to create 2 holiday units with 2 double bedrooms, 2 bathrooms/en suites and a living/kitchen/diner in each. The rear extension will split into two and used to house the hot water cylinder and as an external store for cycles and patio furniture etc.

An agricultural field east of the barn will be used as a drainage field for the new sewage treatment plant which will serve the existing farmhouse (replacing the existing septic tank) and the proposed holiday lets.

The surrounding countryside is agricultural fields and grassland, interspersed with woodland, nestled below some heather moorland. The rolling hills and elevated position of the site provide spectacular views across the valley.

AMOUNT AND LAYOUT

The existing footprint is 188m²/2,024ft² and the proposed rear extension increase the footprint to 203m²/2,185ft². The proposed floor areas are 66m²/710ft² (71m²/764ft² including the rear store) for Unit 1 and 81m²/872ft² (86m²/926ft² including the rear store) for Unit 2.

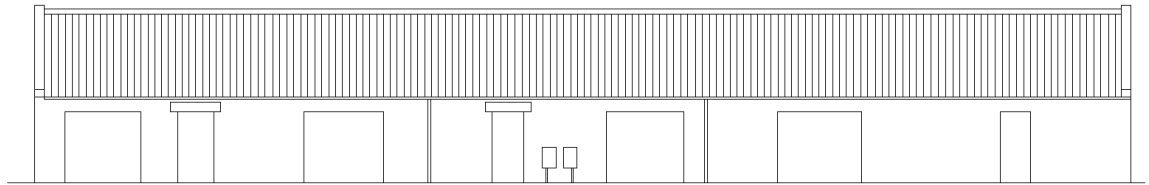
The outbuilding sits on a private drive, set back roughly 450 m from the nearest public highway. The area highlighted for the purposes of this planning application is approximately 0.08 ha, although the applicant owns all the surrounding Grosmont Farms, which itself forms part of the wider Grosmont Estate which operates approx. 2,500 ha.

The outbuilding faces South East with extended views over the Esk valley. The pastureland to the rear (north west) rises towards some woodland and more agricultural land. The layout of the existing building will almost entirely be retained, although rationalised with some alterations and new internal walls and doors as required to form the all the rooms.

LANDSCAPE

To the immediate southeast of the building, between it and the existing drive, an area will be landscaped with ample parking spaces provided to suit the additional accommodation and footpaths leading from the parking to the front door of each unit to allow ease of access in accordance with Part M. The parking area will be of a permeable surface (as existing) as will the paths and patio areas with all other areas as grass with some shrubs added. Other than the alteration of the land in front of the house the surrounding landscape will be retained un-altered.

APPEARANCE AND SCALE



Existing Front Elevation



Proposed Front Elevation

The proposed alteration work is intended to maintain the rural nature of the existing building and all the existing openings will be used for the doors and windows. The single storey rear extension will be subservient and built in stone to match the existing building with a pantile roof to match the existing roof.

ACCESS

There is a fairly regular bus service which runs between Whitby and Lealholm via Grosmont and a seasonal train service which runs between Pickering and Whitby via Grosmont. Connections to the main rail network can be made from Whitby train station. The application site is just over a mile to Grosmont station where the bus stop is as well. Sustrans cycle route 165 which runs to the north of Grosmont.

Although there is access to public transport from Grosmont, the use of a car would certainly be desirable due to the seasonal restriction of the train service and there only one bus route which runs via Grosmont.

There is no change to the existing access to the public highway and the parking area has ample space for turning cars and alighting of passengers away from the road.

The driveway is also a public bridleway which is part of one the Esk Valley Walks, which starts in Grosmont and finishes at the west pier in Whitby. This route is popular with both walkers and cyclists.

The C2C (coast to coast) route 2 which runs from Robin Hoods Bay to St Bees goes through Grosmont Village Centre and Sustrans cycle route 165 runs to the north of Grosmont.

The proposed units will comply with part M of the building regulations where possible, they are all single storey so good for accessibility to those with mobility issues. The electrical socket and switch positions will also comply with Part M of the building regulations.

PLANNING POLICIES

The proposals are intended to comply with the thrust of the NPPF and NYMNP local plan July 2020.

This use supports the aims of the North York Moors National Park Authority to conserve and enhance the natural beauty, wildlife and cultural heritage of the area. Visitors and residents would have the opportunity to understand and enjoy the national qualities and special attributes of Sleights Moor and the Grosmont Estate and beyond, from a respectful conversion. The new accommodation will encourage more visitors to the area to support and contribute to the local economy and increase the number of day visitors to the National Park.

Guests will use the local shopping and social facilities and visitor attractions and help promote a strong rural economy in accordance with Strategic Policy K. It will provide an opportunity to diversify with a thoughtful re-use of a building and to provide good quality

accommodation to base a holiday from. The alteration work will enable this outbuilding range to continue to be a heritage asset, without detracting from the defining characteristics of the local setting all in accordance with the first and second purpose principles and in entire accordance with Strategic Policy J – Tourism and Recreation.

The alteration work will provide the opportunity to increase the levels of insulation to the floors, ceilings and the wall and the external doors and windows will also be thermally efficient. This will create a weatherproof structure which will both preserve the building for years to come and reduce the carbon footprint and consumption of fossil fuels of the proposed dwellings. The applicant also intends on using air source heat pumps for the heating and hot water for each of the units.

Policy UE1 – Location of Tourism and Recreation Development will only be supported under point 2, small scale conversion or extension of an existing building of architectural or historic interest.

National Planning Policy Framework Paragraph 84 points a and b support the sustainable growth and expansion of business through the conversion of existing buildings, enabling the diversification of agriculture and other land based rural business.

ECOLOGY

During the course of the refurbishment works no bats or birds were roosting in the building nor were there any evidence of any bats or birds having roosted there recently. It is the intention to have both bat roost boxes and bird nesting boxes added to the outside of the building, as added interest for the occupiers and as part of our biodiversity enhancement.

STRUCTURE

The building has recently refurbished including repairing the walls and re-roofing including the roof structure. So the building should be suitable for conversion with the entire structure having being repaired.

SUSTAINABILITY

The proposals include sufficient amenity space externally and appropriately sized internal rooms which together will provide a high quality environment. Construction materials used will be sourced local wherever possible and their whole life cost considered, similarly local contractors will be used wherever possible to benefit local employment along with the local economy, and be selected to finish the building to a high quality and specification.

The proposal will not create significant levels of pollution.

The paths, patios and parking and turning area will be of a permeable variety ensuring no further impact on current drainage systems.

The dwelling will comply with current building regulations and will be efficient in terms of thermal insulation and energy consumption, will benefit from a thermally efficient heating system and low energy lighting all of which will minimise the carbon footprint and reduce the demand on fossil fuels which in turn will reduce pollution. The heating system, which will be air source heat pumps and insulations specification will be selected to achieve a good SAP result and high EPC rating.

The fibre cement sheeted, dual pitched building in the south west corner of the steading has a south facing elevation that would lend itself well to housing solar PV panels. These could be linked to the air source heat pumps and to battery storage and this is something which the applicant is considering for the future.

CONCLUSION

The proposed change of use and extension of the redundant outbuildings are intended to meet the needs of the applicant without detracting from the appearance of the building or the setting. The rear extension increases the footprint slightly but is subservient and practical and should have minimal impact. The change of use will help support the local economy and help manage recreational pressures and is in line with NYMNP local plan and the NPPF policies.

It is hoped that planning officers are able to support the scheme.

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From:

Sent: 05 January 2022 16:53

To: Paul Nicholas

Subject: NYM/2021/1024/NEW

NYMNPA

13/01/2022

Dear Mr Nicholas

Single Storey agricultural buildings at Grosmont Farm, Grosmont, YO22 5QJ for conversion to 2 number holiday cottages
NYM/2021/1024/NEW

I can confirm that this rectangular building is structurally sound and capable of conversion without the need for significant rebuilding and/or alterations.

All the walls are plumb and true having been repaired in the recent past.

The roof has been completely re-roofed using new felt and pantiles. Many of the openings benefit from concrete lintels.

During the course of these recent works a detailed inspection was made for signs of bat activity and none were found. We are confident that no bats are occupying any part of this single storey stable range.

The attached internal photographs show the nature of the walls and the absence of suitable bat roosting crevices.

However, in accordance with the Estate's policy to improve biodiversity it is the intention to provide both bat and bird nesting boxes on the property.

Yours faithfully

George Winn-Darley MRICS FAAV

NORTH YORK MOORS NATIONAL PARK

NON MAINS DRAINAGE ASSESSMENT FORM

This form must be completed if your planning application includes proposals to use non mains drainage. Please complete and return 4 copies with your Planning Application (to enable prompt consultation with the appropriate bodies).

In order that the suitability of these proposals can be assessed, the following information is required. All the relevant information requested must be supplied. Failure to do so may result in the Environment Agency objecting to your proposals until such time as the information is received, which means that your application will either be refused or not determined.

Location of the application site GROSMONT FARM, GROSMONT

1. Please indicate distance to nearest mains drainage 1 KM

2. Number of Occupiers of proposed development:

Full Time 4 BEDROOMS - EXISTING FARMHOUSE
Part Time 6 BEDROOMS - 2 PGH PROPOSED UNIT

3. Number of previous occupiers (if applicable) _____

4. What method of foul drainage is proposed (please tick the relevant box)

Septic Tank Package Treatment Plant Cess Pool

If discharge to a soakaway is proposed please attach percolation test results, which should be carried out in accordance with BS 6297. You will need to have a percolation test carried out. For guidance on how to undertake this test, you may wish to seek advice from:

The Environment Agency, Coverdale House, Aviator Court,
Amy Johnson Way, Clifton Moor, York, YO3 4UZ.
Tel: 01904 692296

NB: *If no results are provided, the Environment Agency may issue a prohibition notice preventing the use of the septic tank until such results are supplied.*

5. If a package treatment plant is proposed please supply details of plant manufacturer and model.
NB: A discharge consent may be required for discharge from a treatment plant to watercourse or soakaway. Please contact the Environment Agency for an application form if you have indicated that a treatment plant is to be installed. KLARGESTER BIODISC BC OR SIMILAR SIZED BY OTHER

6. i) If a cess pool is proposed please indicate why this method has been chosen in preference to an alternative such as a package treatment plant or septic tank N/A

ii) Please advise capacity of cess pool (minimum size 18 cubic metres) N/A



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The image shows the interior of a building under construction. The ceiling consists of several parallel wooden joists. Below the joists, there is a layer of dark, fibrous insulation. The walls are made of brick, with some areas showing exposed insulation. A bright light source is visible at the bottom center, casting a glow on the brickwork. A white text box is overlaid on the right side of the image.

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