

Drainage
New below ground drainage pipes to be 'hepworth plastidrain' or similar. All new drainage to be laid at 1:40 falls. Pipes at depth of -0.6 to -7.5m cover to be bedded and surrounded in 100mm thick granular fill with 100mm granular material and 200mm selected as-dug material above.

The layout shown is provisional subject to excavation to locate existing runs. Should alterations be required, BHD to be advised. Confirm out fall level before starting drain runs.

Replace pipe with new PVC version. No joints below the new extension.

- Use UPVC waste pipes
- All fittings to have deep seal traps
- 40dia to Sink, washer etc.
- 32dia to WHB.
- 110 dia to WC

Plumbing & Heating
System to be designed installed and certified by specialist. Heating and hot water to be provided by existing boiler.

Note: max temp at point of use 43°C. Ensure protection against Legionella. Ensure full compliance with Building Regulations and Water Authority Bylaws.

Provide and fit kitchen fittings as specified/agreed with client.

Lighting
Fixed internal lighting should comprise fittings that only take lamps with a luminous efficacy greater than 40 lumens per circuit-watt. The fittings will be installed in the areas affected by the work at a ratio of one per 25m² of dwelling floor area OR three per four fixed light fittings. All to Building control approval.

Electrical Legend

- ☼ Mechanical Extraction, allow for forming holes, making good and lead tiles to roof extracts
- ☼ Smoke detector

Surface Water drainage
Gutters to be 110mm diameter and downpipes 75mm diameter. Trapped gully entries for downpipes. Connect to existing system.

Electrical installation
Layout and position of fittings to be agreed with the client.

In accordance with Part P of the Building regulations all electrical installation must be designed, installed, inspected, tested and certified in accordance with BS 7671:2001 Requirements for Electrical Installations. The 'Competent person' responsible for the electrical installation should supply these details to the Local Authority.

The contractor is to include all necessary cables, conduits, clips and associated fittings and fixtures to complete the entire system. All sockets, lighting & appliances are to comply with all current legislation and I.E.E. Regulations. All accessible sockets and outlets to be between the zone 450mm and 1200mm, in accordance with Part M of the Building Regulations. Automatic smoke detection to comply with part 'B1' of the building regulations & certified upon completion.

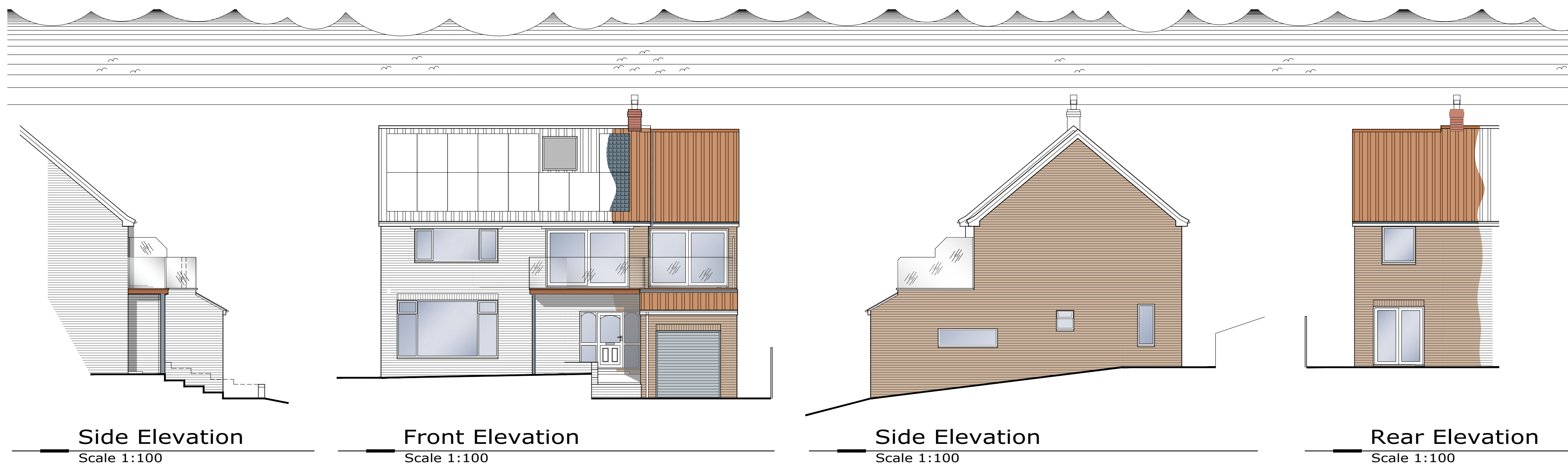
Note: 50% of all sockets to have USB points integral.

Accessible doors and windows.
All accessible doors and windows to comply with part Q, security.

External doors
Ground floor doors to have a min. clear opening of 800mm.

Mechanical Extraction
Extraction rates are as follows:

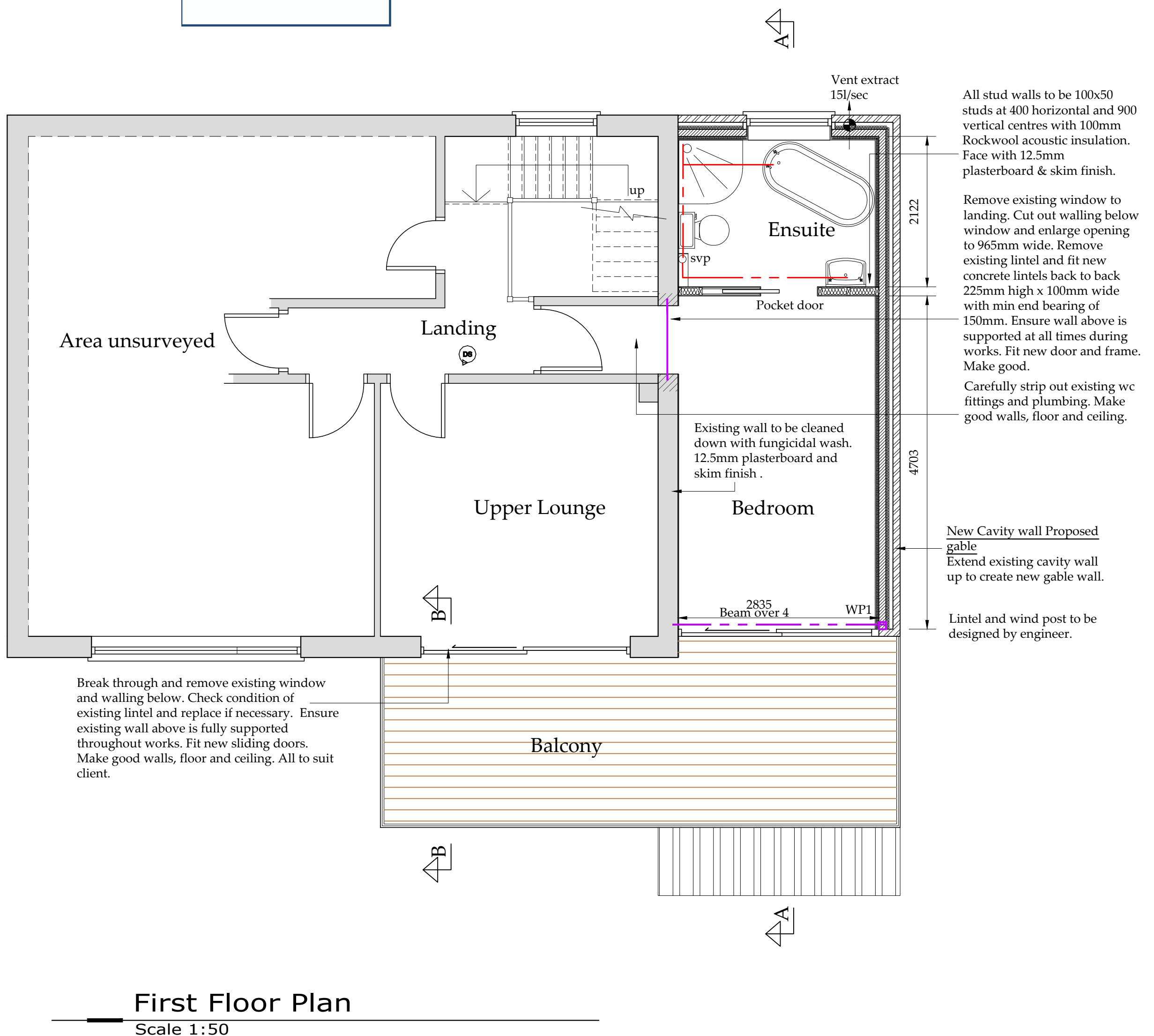
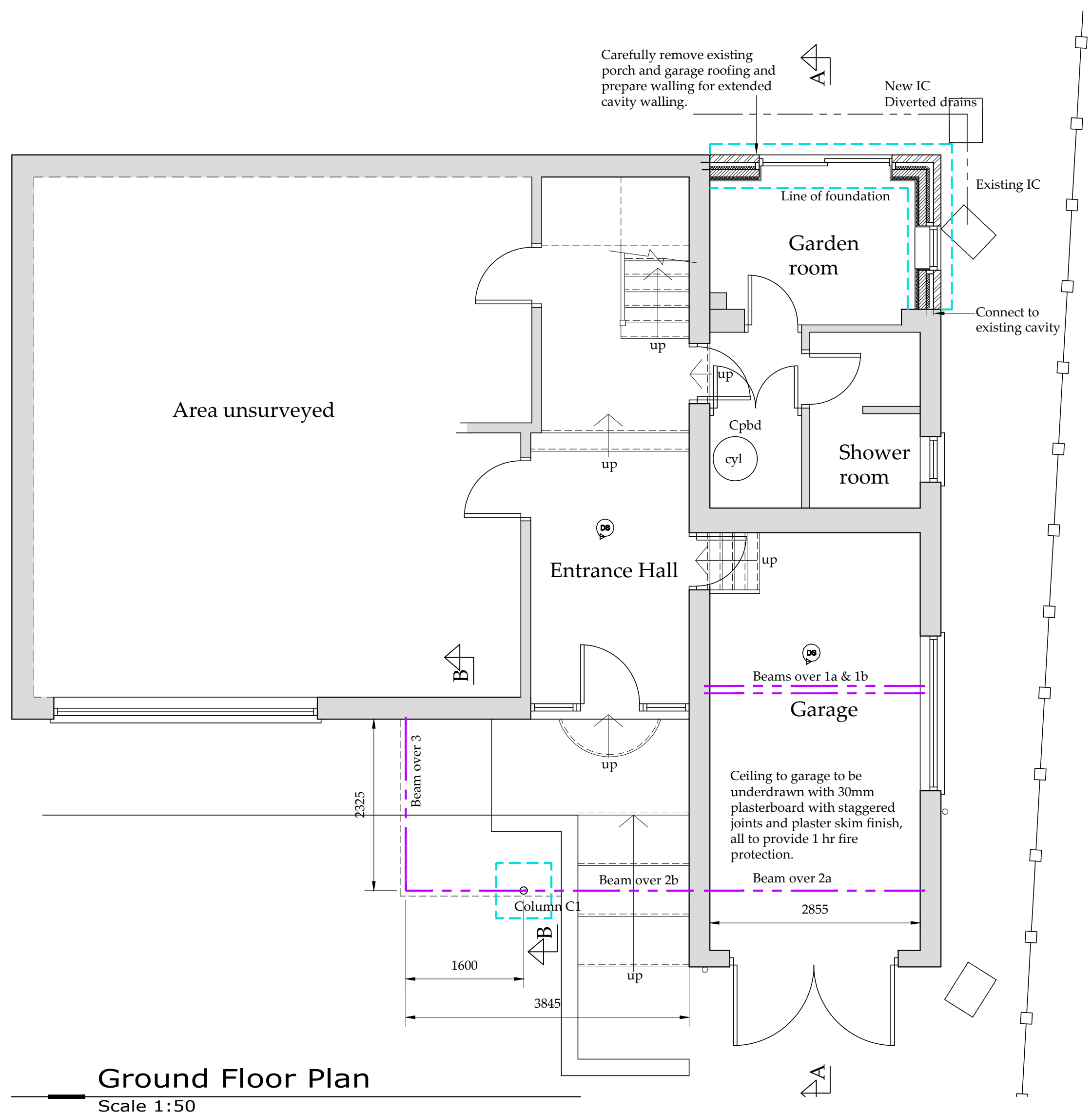
- Ensuite - 15 l/sec
- Ventilation system to be designed and fitted by a competent person. All in accordance with Part F of the Building Regulations.
Mechanical extract fans to be designed in accordance with CIBSE Guide B 2005.



Do not scale from this drawing, only figured dimensions are to be taken from this drawing.
The contractor must verify all dimensions on site before commencing any work or shop drawings.
The contractor must report any discrepancies taken in any way, the technician is to be informed before work is initiated.
Work within the construction (Design and management) regulations 2015 is not to start until a health & safety plan has been produced. This drawing is copyright and not to be reproduced without consent of BHD Partnership Ltd.
CDM Regulations
Contractor must not start without 'Pre Construction Information' from Principle Designer. If unsure contact BHD.
Contractor must agree the 'Principle Contractor' roll with the client prior to commencement of the works.
Ensure if required under CDM2015 regulations that the project is notified to the HSE.

- Engineering Design**
- B1a/b - Extension wall and part of roof
 - B2 - Balcony edge
 - B3 - Balcony edge
 - B4 - New opening tied to wind post
 - WP1 - Wind post to wall end
 - Cl & C2 - Column to balcony and foundations.

NYMNPA
17/01/2022



REV	DATE	BY	AMENDMENT
F	05/11/21	NID	Steel column(s) to balcony
E	18/03/21	CE	Minor amends
D	10/03/21	CE	Porch amended
C	13/01/21	NID	Reduction as Planning requirements
B	19/11/20	NID	As discussed with client
A	22/09/20	CE	Issued for approval

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CLIENT: Mr C & Mrs C Mills

PROJECT: 24 Egton Road
Aislaby YO21 1SU

Drawing: Proposed Plans
and Elevations

DRAWING STATUS: Preliminary

DRAWN: C Eynon
CHECKED: N I Duffield

SCALE @ SIZE: 1:100&1:50 @ A1
DATE: 22/09/20

DRAWING No: D11931-04
REV: F