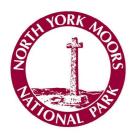
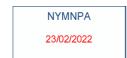
PP-11052112





North York Moors National Park Authority The Old Vicarage Bondgate Helmsley York YO62 5BP

Telephone: 01439 772700 Email: planning@northyorkmoors.org.uk Website: www.northyorkmoors.org.uk

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

If you cannot provide a postcode, the	escription of site location must be completed. Please provide the most accurate site description you can, to
nelp locate the site - for example "field	
Number	
Suffix	
Property Name	
Newlands Cottage	
Address Line 1	
Newlands Road	
Address Line 2	
Address Line 3	
North Yorkshire	
own/city	
Cloughton	
Postcode	
YO13 0AR	
	must be completed if postcode is not known:
Description of site location	Process Proces
Description of site location Easting (x)	Northing (y)

Applicant Details
Name/Company
Title
Mr
First name
David
Surname
Ward
Company Name
Address
Address line 1
Newlands Cottage
Address line 2
Newlands Road
Address line 3
North Yorkshire
Town/City
Cloughton
Country
Postcode
YO13 0AR
Are you an agent acting on behalf of the applicant?
Contact Details
Primary number
Secondary number

Fax number	
Email address	
Agent Details	
Name/Company	
Title	
Mr	
First name	
Sam	
Surname	
Harrison	
Company Name	
Ian Pick Associates Ltd	
Address	
Address line 1	
Station Farm Offices	
Address line 2	
Wansford Road	
Address line 3	
Nafferton	
Town/City	
Driffield	
Country	
Postcode	
YO25 8NJ	
Contact Details	
Primary number	
Secondary number	

Fax number	
Email address	
Site Area	
What is the measurement of the site area? (numeric characters only).	
0.30	
Unit	
Hectares	
Description of the Proposal	
Please note in regard to:	
 Fire Statements - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. View government planning guidance on fire statements or access the fire statement template and guidance. Permission In Principle - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below. Public Service Infrastructure - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or view government planning guidance on determination periods. 	
Please describe details of the proposed development or works including any change of use	
Change of use of existing paddock to permit the siting of 2No. glamping pods	
Has the work or change of use already started? ○ Yes ⊙ No	
Existing Use	
Please describe the current use of the site	
Equine paddock	
Is the site currently vacant?	
○ Yes② No	
Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.	

Land which is known to be contaminated
○ Yes⊙ No
Land where contamination is suspected for all or part of the site
○ Yes② No
A proposed use that would be particularly vulnerable to the presence of contamination
○ Yes⊙ No
Materials
Does the proposed development require any materials to be used externally?
✓ Yes○ No
Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)
Type: Walls
Existing materials and finishes:
Proposed materials and finishes: Timber cladding
Type: Vehicle access and hard standing
Existing materials and finishes: n/a
Proposed materials and finishes: Crushed stone parking area Woodchip pathway
Are you supplying additional information on submitted plans, drawings or a design and access statement?
○ Yes⊙ No
Pedestrian and Vehicle Access, Roads and Rights of Way
Is a new or altered vehicular access proposed to or from the public highway?
○ Yes⊙ No
Is a new or altered pedestrian access proposed to or from the public highway?
○ Yes⊙ No
Are there any new public roads to be provided within the site?
○ Yes ⊙ No

Are there any new public rights of way to be provided within or adjacent to the site? O Yes			
⊙ No			
Do the proposals require any diversions/extinguishments and/or creation of rights of way? ○ Yes ⊙ No			
Vehicle Parking			
Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?			
✓ Yes○ No			
Please provide information on the existing and proposed number of on-site parking spaces			
Vehicle Type: Cars			
Existing number of spaces:			
Total proposed (including spaces retained):			
Difference in spaces:			
Trees and Hedges			
Are there trees or hedges on the proposed development site? ○ Yes ⊙ No			
And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? O Yes			
Assessment of Flood Risk			
Is the site within an area at risk of flooding? (Check the location on the Government's <u>Flood map for planning</u> . You should also refer to national <u>standing advice</u> and your local planning authority requirements for information as necessary.)			
○ Yes② No			
Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?			
○ Yes② No			

Will the proposal increase the flood risk elsewhere?
○ Yes② No
How will surface water be disposed of?
☐ Sustainable drainage system
Existing water course
✓ Soakaway
☐ Main sewer
☐ Pond/lake
Biodiversity and Geological Conservation
Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?
To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.
a) Protected and priority species
○ Yes, on the development site○ Yes, on land adjacent to or near the proposed development⊙ No
b) Designated sites, important habitats or other biodiversity features
○ Yes, on the development site○ Yes, on land adjacent to or near the proposed development⊙ No
c) Features of geological conservation importance
○ Yes, on the development site○ Yes, on land adjacent to or near the proposed development⊙ No
Supporting information requirements
Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.
Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.
Your local planning authority will be able to advise on the content of any assessments that may be required.
Foul Sewage
Please state how foul sewage is to be disposed of:
 Mains sewer Septic tank Package treatment plant Cess pit ✓ Other Unknown

Other	
n/a	
Are you proposing to connect to the existing drainage system? ○ Yes ○ No ○ Unknown	
Waste Storage and Collection	
Do the plans incorporate areas to store and aid the collection of waste? ○ Yes ⊙ No	
Have arrangements been made for the separate storage and collection of recyclable waste? ○ Yes ○ No	
Trade Effluent Does the proposal involve the need to dispose of trade effluents or trade waste? ○ Yes ⊙ No	
Residential/Dwelling Units	
Does your proposal include the gain, loss or change of use of residential units? ○ Yes ⊙ No	
All Types of Development: Non-Residential Floorspace	
Does your proposal involve the loss, gain or change of use of non-residential floorspace? Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.	

Please add details of the Use Classes and floorspace. Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. View further information on Use Classes. **Use Class:** Other (Please specify) Other (Please specify): Glamping Existing gross internal floorspace (square metres): Gross internal floorspace to be lost by change of use or demolition (square metres): Total gross new internal floorspace proposed (including changes of use) (square metres): Net additional gross internal floorspace following development (square metres): 45 Totals Existing gross internal Gross internal floorspace to be lost Total gross new internal floorspace Net additional gross internal floorspace (square by change of use or demolition proposed (including changes of use) floorspace following development (square metres) (square metres) metres) (square metres) 0 0 45 45 Loss or gain of rooms For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms: **Employment** Are there any existing employees on the site or will the proposed development increase or decrease the number of employees? ⊗ No **Hours of Opening** Are Hours of Opening relevant to this proposal? ○ Yes **⊘** No Industrial or Commercial Processes and Machinery Does this proposal involve the carrying out of industrial or commercial activities and processes? ○ Yes

⊗ No

Is the proposal for a waste management development?		
○ Yes		
⊗ No		
Hazardous Substances		
Does the proposal involve the use or storage of Hazardous Substances?		
○ Yes		
⊗ No		
Site Visit		
Can the site be seen from a public road, public footpath, bridleway or other public land?		
○ Yes		
⊗ No		
If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?		
○ The applicant○ Other person		
Other person		
Dre condication Advice		
Pre-application Advice		
Has assistance or prior advice been sought from the local authority about this application?		
○ Yes② No		
Authority Employee/Member		
Authority Employee/Member With respect to the Authority is the applicant and/or agent one of the following:		
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With respect to the Authority, is the applicant and/or agent one of the following: (a) a member of staff (b) an elected member (c) related to a member of staff		
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Ownership Certificates and Agricultural Land Declaration Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D. Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days? Yes \bigcirc No Is any of the land to which the application relates part of an Agricultural Holding? Yes ✓ No Certificate Of Ownership - Certificate A I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding** * "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act. NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding. Person Role O The Applicant Title Mr First Name Sam Surname Harrison **Declaration Date** 17/02/2022 Declaration made Declaration I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application. ✓ I / We agree to the outlined declaration

Signed	
lan Pick	
Date	
21/02/2022	