

# Green Acres, Whitby Road, Robin Hoods Bay, Whitby, YO22 4PE

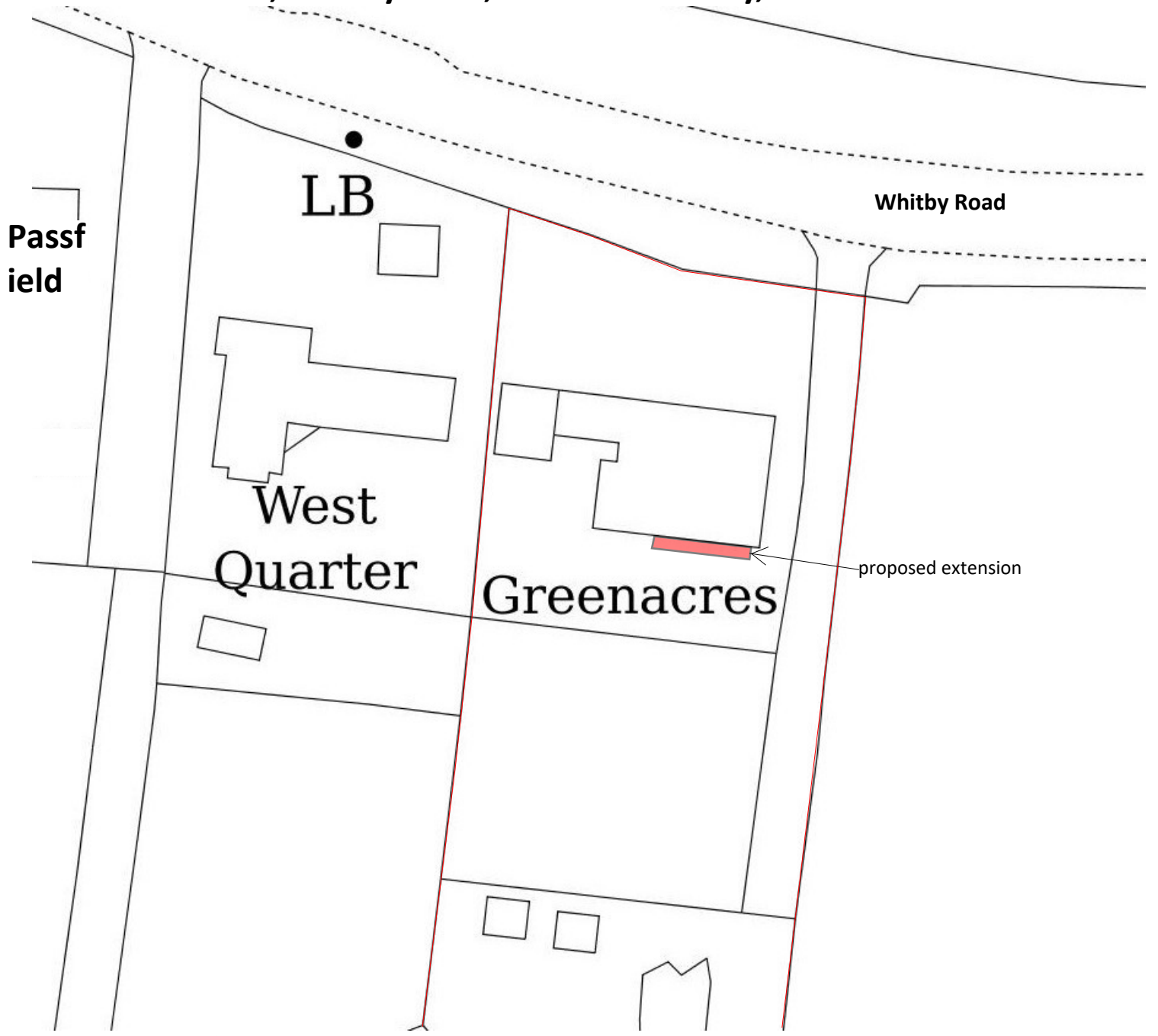


Map area bounded by: 494351,505622 494551,505822. Produced on 09 February 2022 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2022. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p4b/uk/750339/1015257



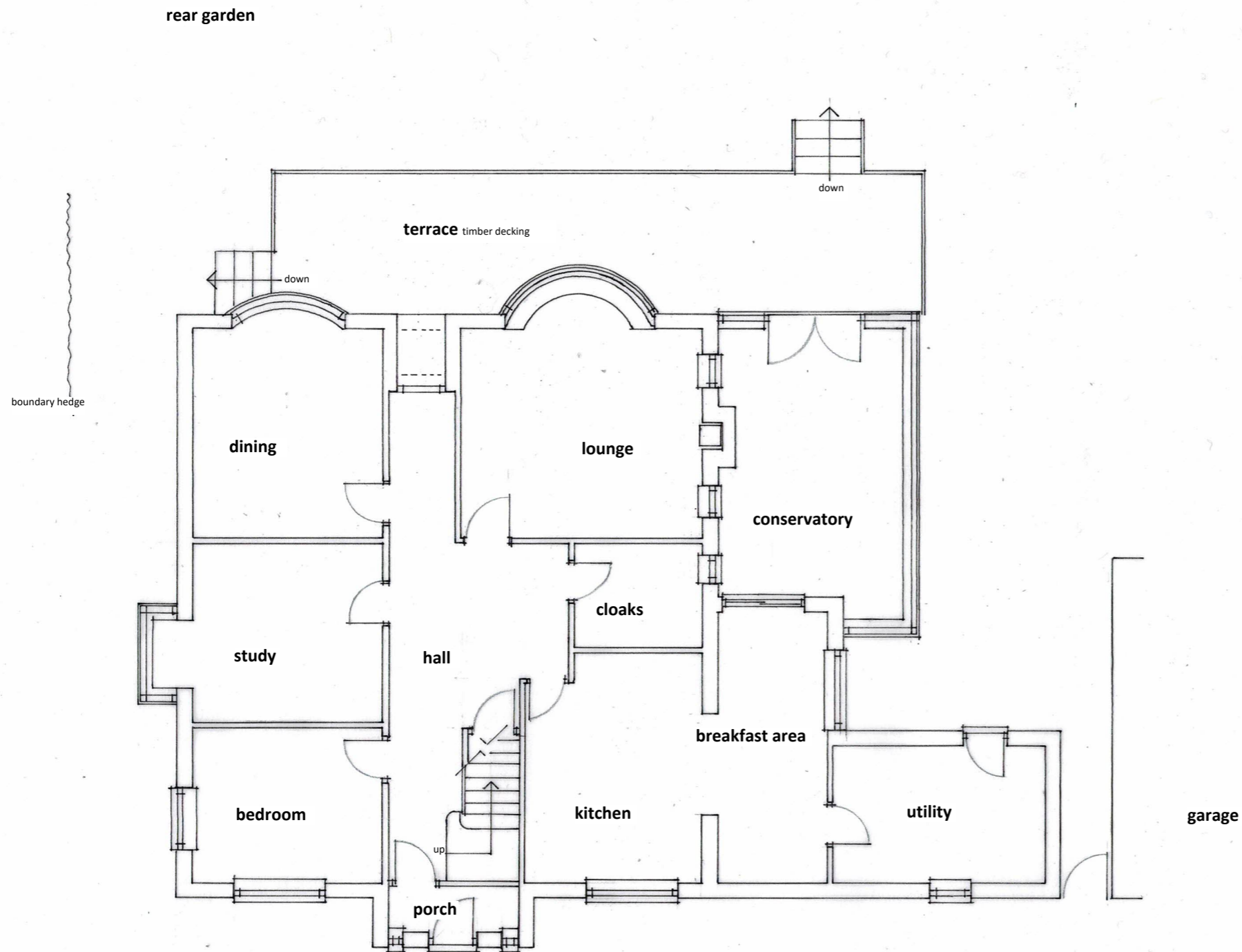
North

# Greenacres, Whitby Road, Robin Hoods Bay, YO22 4PE



## Block Plan / Site Layout

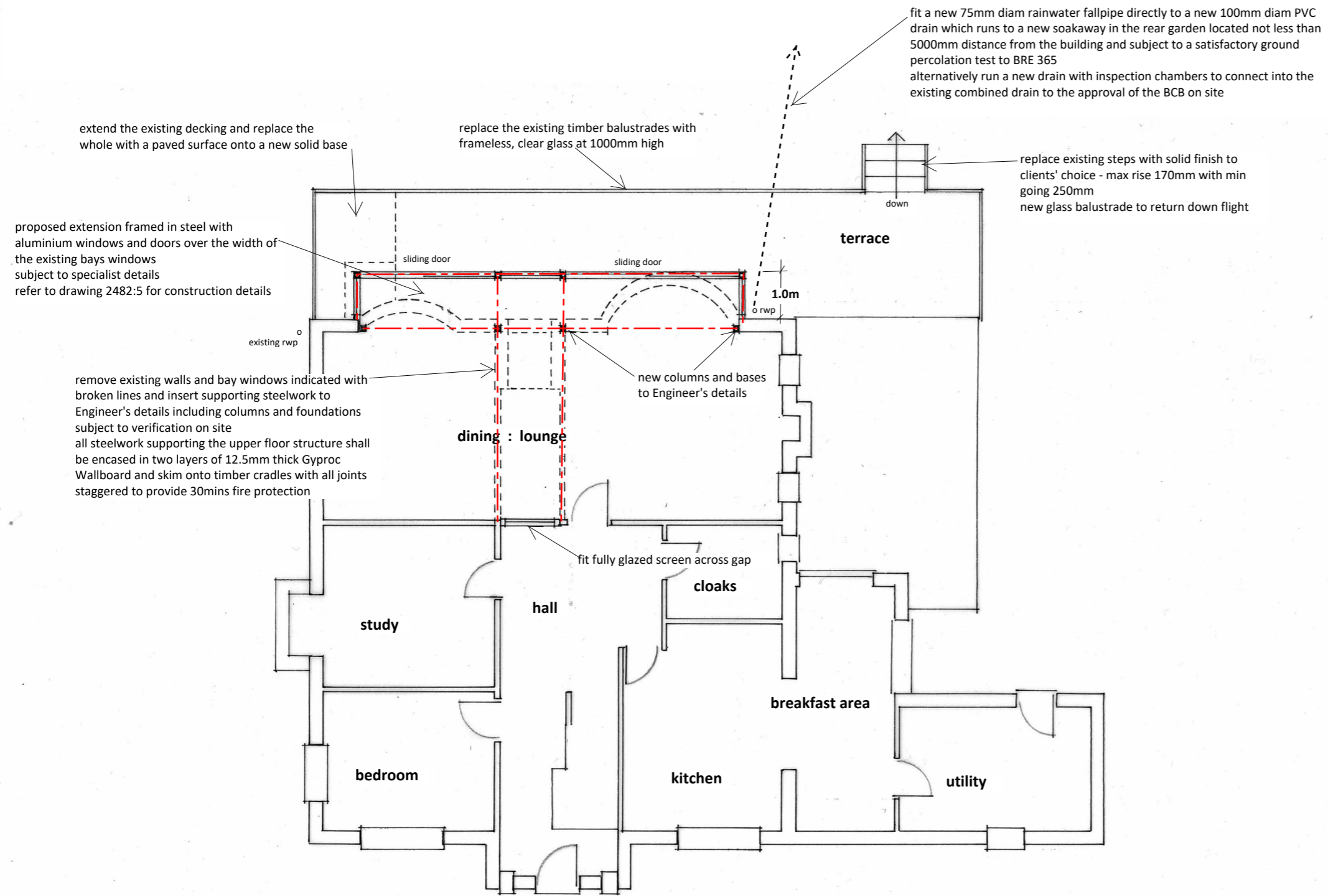
scale 1:500  
date February 2022



**NYMNPA**  
**28/02/2022**

front garden

| revision | description  | date         |
|----------|--|--------------|
| client   | <b>Mr &amp; Mrs Lane-Ryan</b>                                      | date 01.2022 |
| project  | <b>Proposed Extension at Greenacres,<br/>Whitby Road, YO22 4PE</b> | dwg size A3  |
|          |  | scale 1:100  |
|          |  | drawn ALT    |
| title    | <b>Ground Floor Plan as Existing</b>                               | issue final  |



**NOTES**

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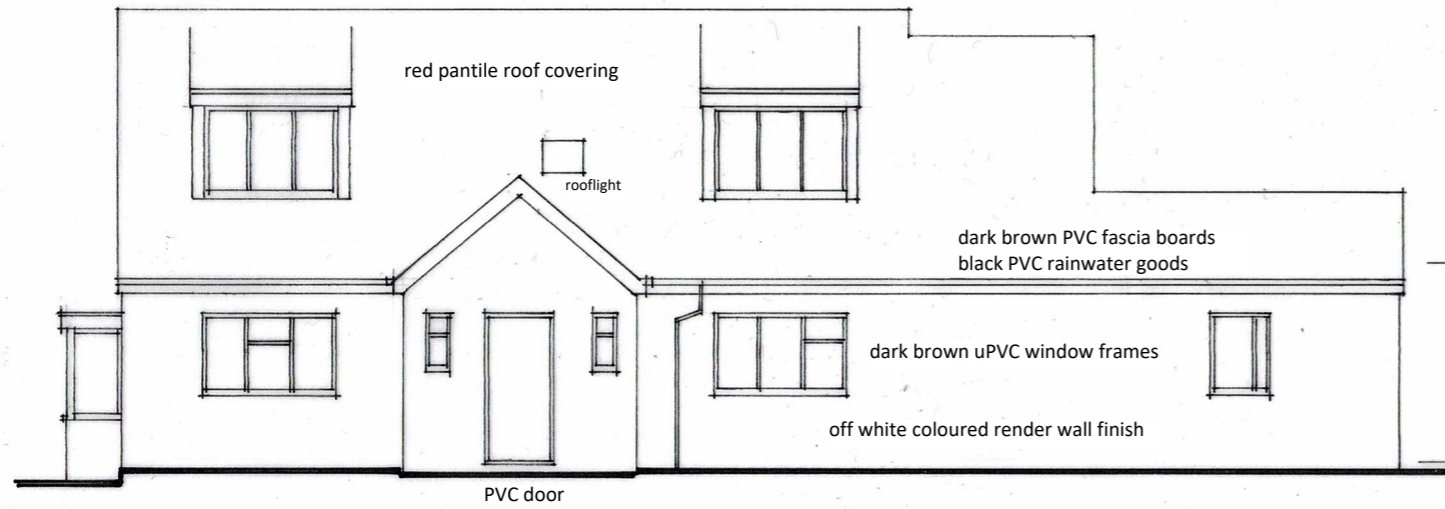
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Details shall be read in conjunction with Engineer's details. The Engineer's details takes priority if in doubt.

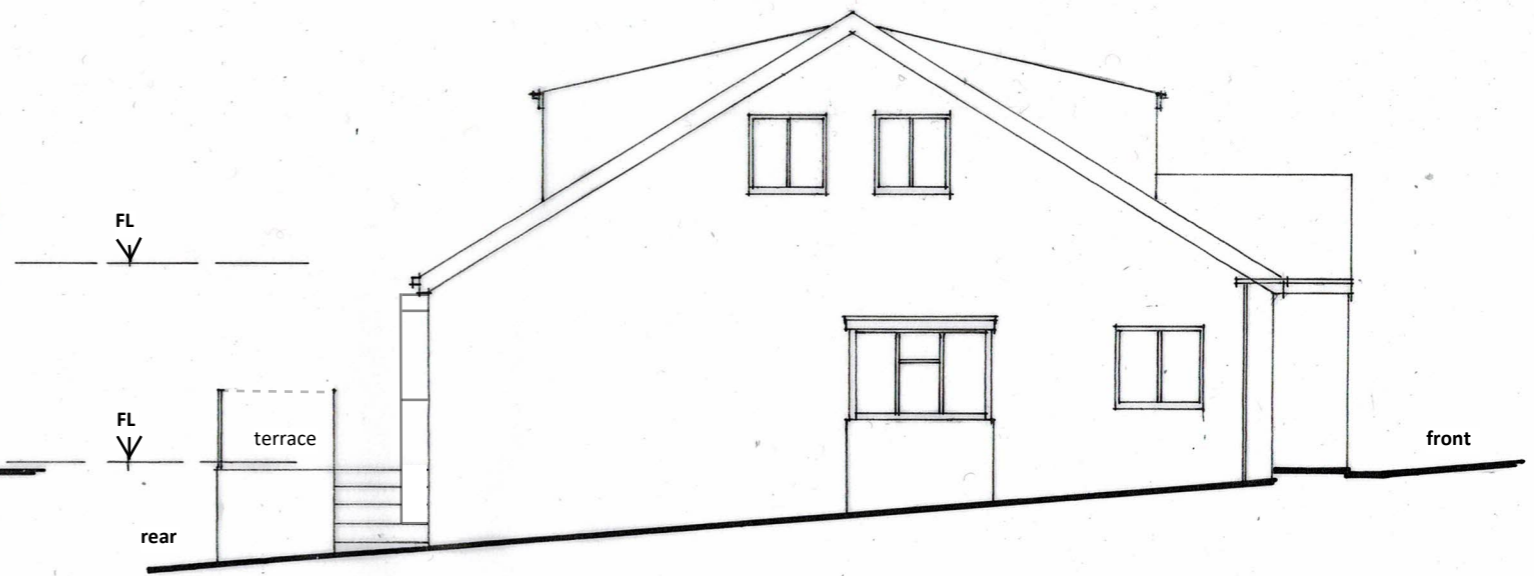
**NYMNPA**  
**28/02/2022**

**Ground Floor Plan**

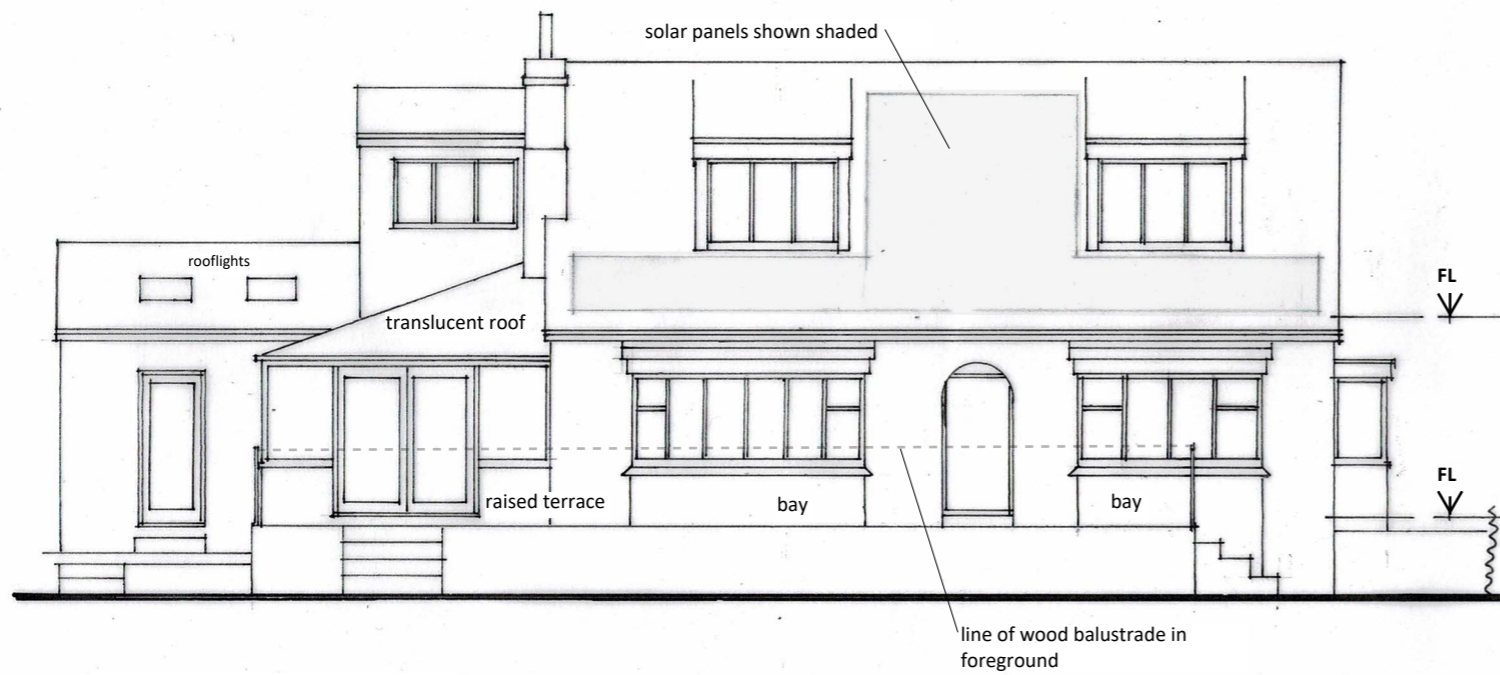
| revision | description  | date         |
|----------|--|--------------|
| client   | <b>Mr &amp; Mrs Lane-Ryan</b>                                  | date 02.2022 |
| project  | <b>Proposed Extension at Greenacres, Whitby Road, YO22 4PE</b> | dwg size A3  |
|          |  | scale 1:100  |
|          |  | drawn ALT    |
|          |  | issue final  |
| title    | <b>Ground Floor Plan as Proposed</b>                           |              |



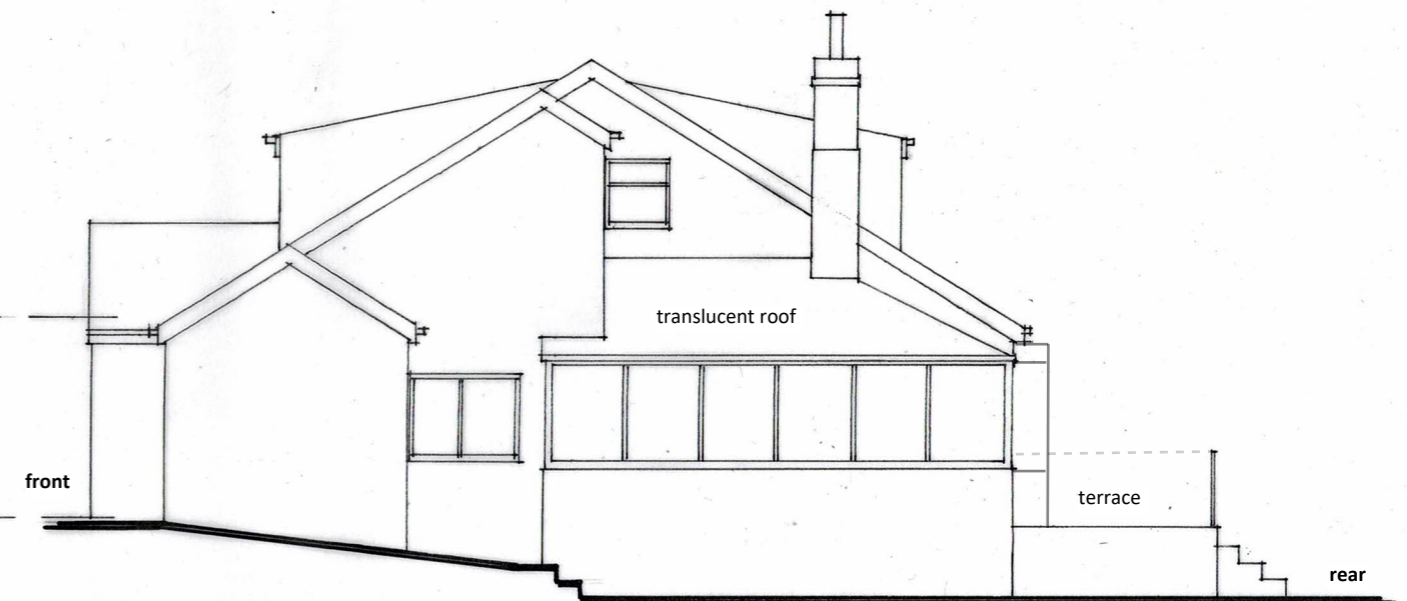
**North Elevation**



**East Elevation**



**South Elevation**



**West Elevation**

NYMNPA  
28/02/2022

| revision  | description  | date            |
|---|--|-----------------|
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| project   | <b>Proposed Extension at Greenacres,<br/>Whitby Road, YO22 4PE</b> | dwg size A3     |
|   |  | scale 1:100     |
|   |  | drawn ALT       |
|   |  | issue final     |
| title   | <b>Elevations as Existing</b>                                      |                 |
| <b>A L Turner + Associates</b>                  |  | dwg no. rev.    |
| 1 LORING ROAD, RAVENSCAR, SCARBOROUGH, YO13 0LY |  | <b>2482 : 2</b> |
| 07976 397307                                    |  |                 |
| tonyturner829@btinternet.com                    |  |                 |

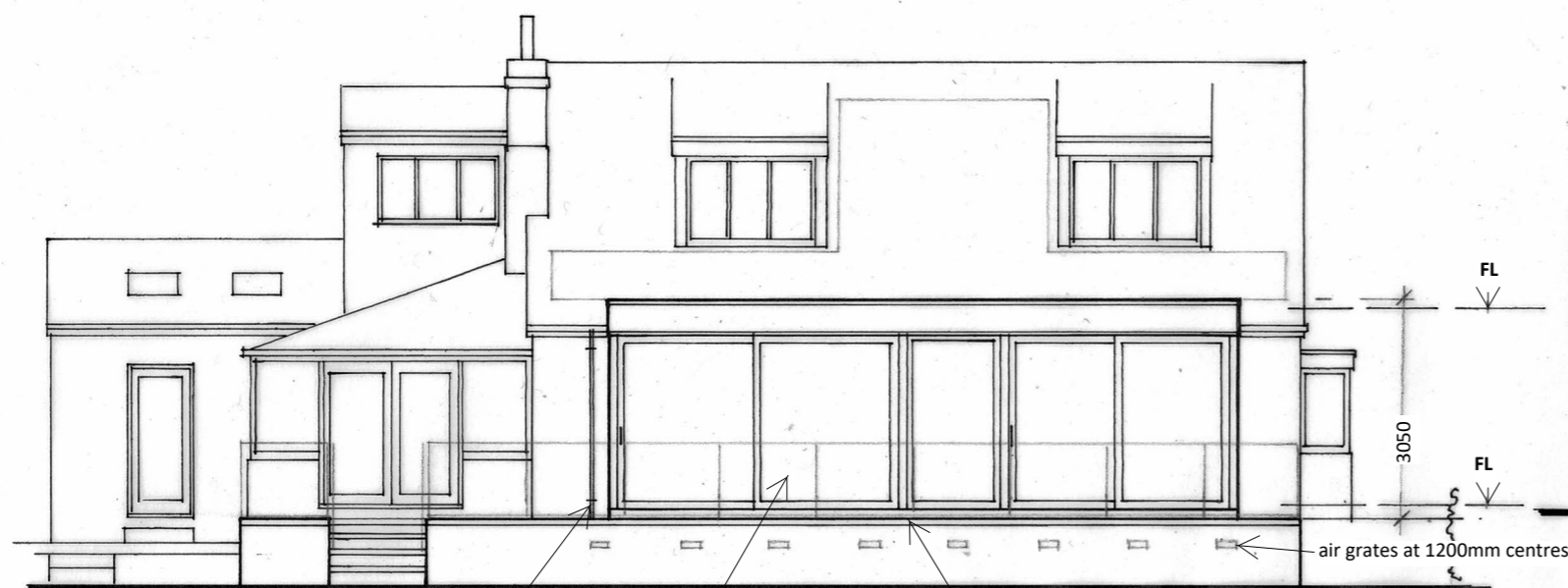
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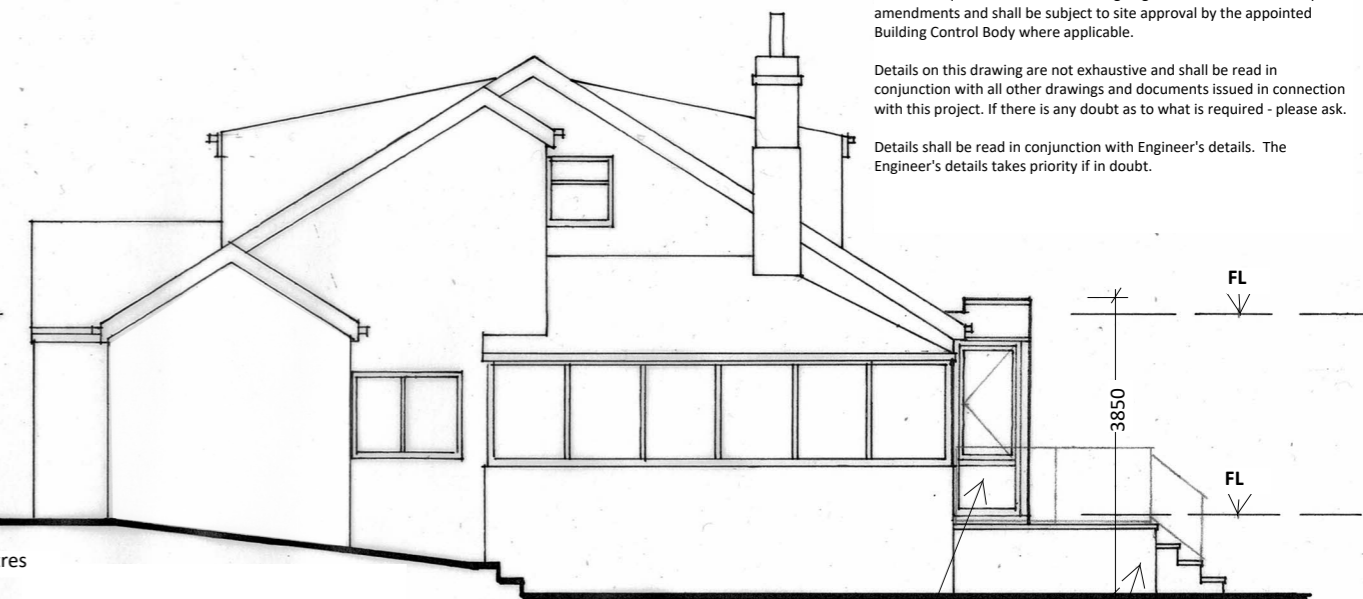
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**South Elevation**

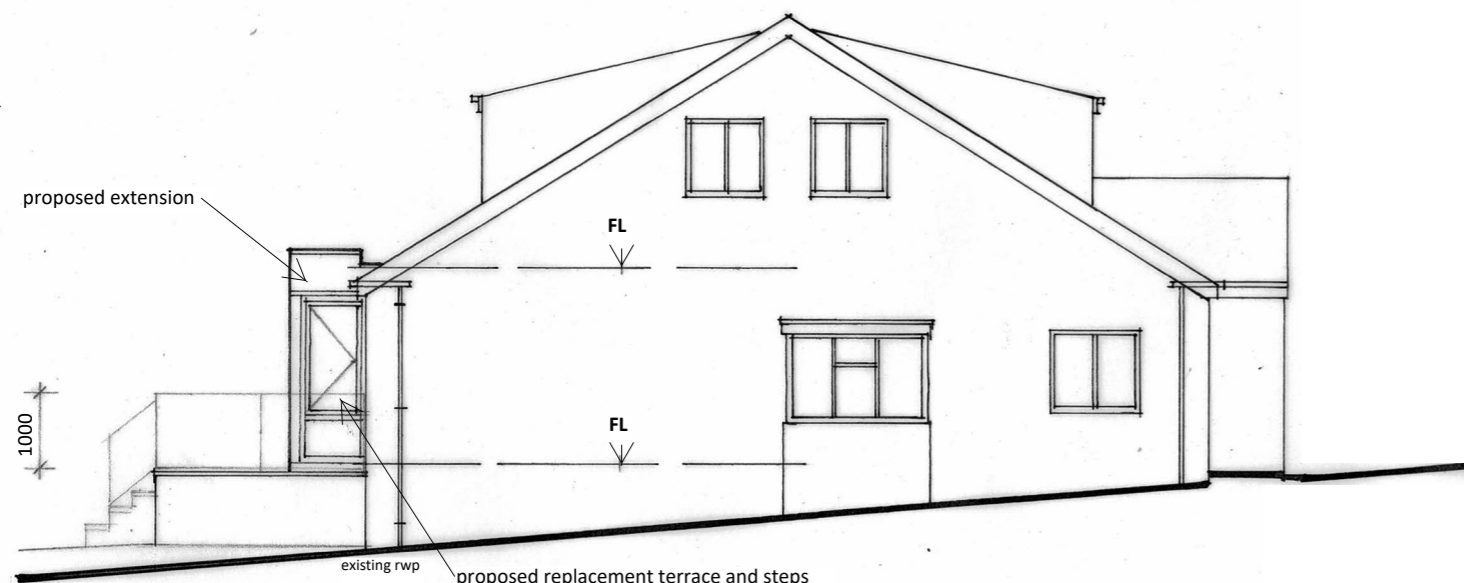
proposed extension of Anthracite Grey, powder coated aluminium sliding doors, frame and fascia

replace existing timber decking and steps with rendered walls and paved surface  
replace timber balustrade with clear glass frameless balustrade



**West Elevation**

proposed extension  
proposed replacement terrace and steps



**East Elevation**

existing rwp  
proposed replacement terrace and steps

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**28/02/2022**

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|          |  | scale 1:100  |
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|          |  | issue final  |
| title    | <b>Elevations as Proposed</b>                                  |              |

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28/02/2022

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overlay a second layer of 150mm thick Thermarof TR27 to gain height and fill all voids around the rigid insulation with packed glass wool

flat roof to extension finished externally in cold applied liquid membrane, eg GRP, onto 150mm thick Kingspan Thermarof TR27 onto a polythene 1000g vapour control layer (laid continuously and encapsulating the insulation board) onto 18mm thick exterior grade plywood deck onto 100x47mm softwood joists at not more than 400mm centres tied to existing roof timbers achieved U-value = 0.15W/m<sup>2</sup>K via warm deck solution

powder coated aluminium sliding door frames with matching fascia above by specialist supplier fitted with Pilkington Suncool one 60/40 double glazing (or similar) to achieve a U-value of 1.0W/m<sup>2</sup>K (or lower)

exposed external cavity walls in 10mm polymer render finish onto 100mm dense blockwork (1.13W/mK) outer leaf / 110mm wide cavity partially filled with 60mm thick Kingspan Kooltherm 108 Cavity Board leaving a 50mm wide residual cavity / 100mm thick lightweight blockwork inner leaf achieved U-value = 0.20W/sq.m.K

terrace finish in paving to clients' choice laid to falls towards rear onto mortar bed, sand blinding and compacted hardcore laid in layers not exceeding 150mm thickness between compactions

frameless, clear glass balustrade fitted to edge of terrace paving

225x75mm air grates through wall at 1200mm centres ducted through to the existing and proposed floor voids beyond

330mm wide solid concrete foundation blocks with render finish where exposed

RC35 concrete strip foundations with a bottom layer of A142 steel mesh taken down to good bearing ground subject to a formation depth of not less than 900mm and with stepping to suit ground conditions if required

1000 proposed extension

existing dwelling

matching powder coated aluminium roof edge trim

form secret gutter in cold applied liquid membrane onto a Polymat layer onto exterior grade plywood laid to falls dressed over timber filleted edges and taken beneath the eaves felt of the existing roof tiles

raise edge of existing tiles and insert two tile depth courses of polyester reinforced bituminous eaves felt dressed into guttering to replace existing eaves felt and lapped beneath existing upper felt

supporting steelwork to Engineer's details with timber wall plate fitted as tightly as possible to existing rafters/floor joists encased in two layers of 12.5mm thick Gyproc Wallboard and skim on timber cradles ensuring not less than 2000mm clearance beneath - subject to site investigation prior to commencement

new suspended timber floor comprising 18mm tongued and grooved floor boarding finished to suit the clients' requirement onto 125x47mm softwood joists at not more than 400mm centres with 120mm thick Kingspan Kooltherm K103 Floor Board insulation fitted tightly between joists and sealed achieved U-value = 0.20W/m<sup>2</sup>K

dining

existing suspended timber floor

flexible DPC beneath joists

existing ventilated floor void

ventilated floor void

existing wall and foundations

100mm thick concrete oversite finished level with the external ground level onto a sand blinding layer and prepared base

new foundations shall be set out to suit the depth and size of the existing foundations which must not be undermined

terrace

2900 take final dimension from site

1000 balustrade

900 min

200 min

200 min

650 min

650 min

## Section Through Extension

scale 1:50

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|----------|---|--------------|
| client   | Mr & Mrs Lane-Ryan                                      | date 02.2022 |
| project  | Proposed Extension at Greenacres, Whitby Road, YO22 4PE | dwg size A3  |
|          |   | scale 1:50   |
|          |   | drawn ALT    |
| title    | Section Through Extension                               | issue final  |

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