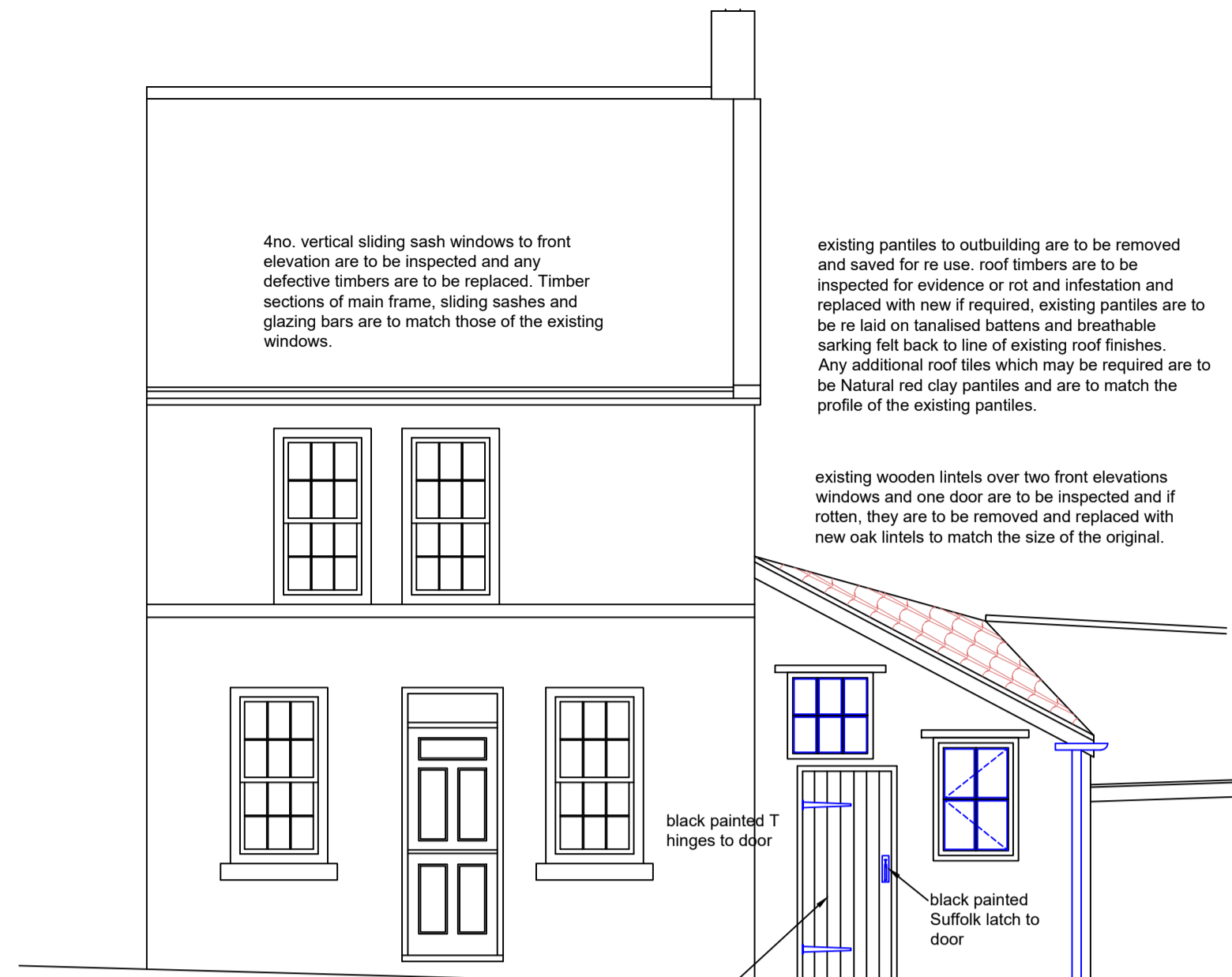


Existing Front Elevation

Existing Side Elevation

Existing Rear Elevation



Proposed Front Elevation

AMENDED

NYMNP

28/07/2022

1no. timber window to side gable elevation is to be removed and new timber window is to be manufactured to suit size of external opening and inserted. Timber sections of main frame, opening sash and glazing bars are to match those of the existing window. Glazing is to be single glazed to maintain appearance of original windows.

4no. vertical sliding sash windows to front elevation are to be inspected and any defective timbers are to be replaced. Timber sections of main frame, sliding sashes and glazing bars are to match those of the existing windows.

existing pantries to outbuilding are to be removed and saved for re use. roof timbers are to be inspected for evidence of rot and infestation and replaced with new if required, existing pantries are to be re laid on tanalised battens and breathable sarking felt back to line of existing roof finishes. Any additional roof tiles which may be required are to be Natural red clay pantries and are to match the profile of the existing pantries.

existing wooden lintels over two front elevations windows and one door are to be inspected and if rotten, they are to be removed and replaced with new oak lintels to match the size of the original.

2no. timber windows to front elevation are to be removed and new timber windows are to be manufactured to suit sizes of external openings and inserted. Timber sections of main frame, opening sashes and glazing bars are to match those of the existing windows. Glazing is to be single glazed to maintain appearance of original windows.

existing rotten door and frame to front elevation of outbuilding is to be removed, new door and frame is to be manufactured and inserted into the existing opening but secured in the closed position as a false door. details of door and frame to match those of the original door

existing rainwater pipe and gutter are to be replaced with new cast iron to match the size and profile of the existing and are to be black gloss painted with Weathershield paint

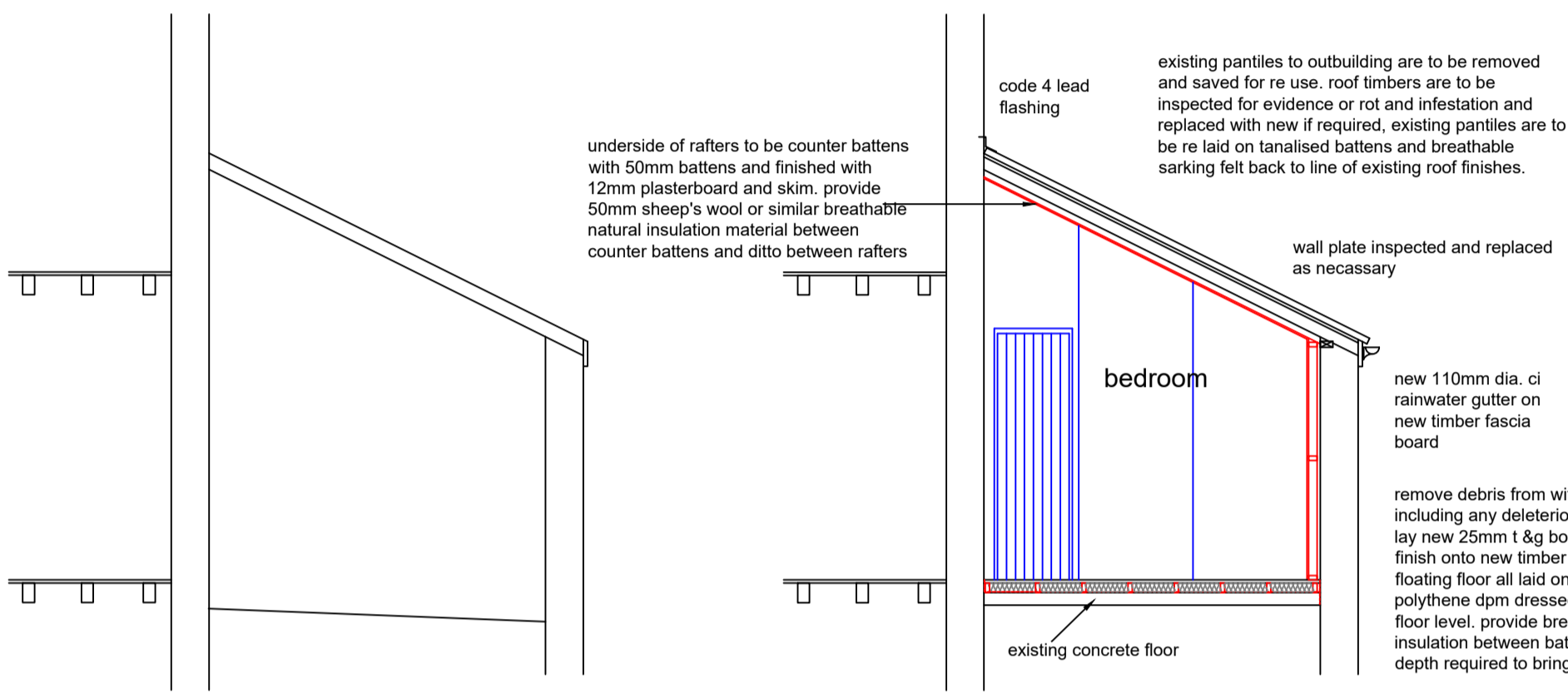
Proposed Side Elevation

2no. timber windows to rear elevation dormers are to be removed and new timber windows are to be manufactured to suit size of existing openings and inserted. Timber sections of main frame, sideways opening sliders and glazing bars are to match those of the existing windows. Glazing is to be single glazed to maintain appearance of original windows.

all leadwork to faces and cheeks of dormers are to be removed, plywood or softwood boarding is to be inspected and any defective timbers are to be replaced with new. new external grade plywood is to be fixed onto breathable membrane and finished externally with new code 4 leadwork and dressed accordingly onto roof finishes

existing rainwater pipe and gutter are to be replaced with new cast iron to match the size and profile of the existing.

all new rainwater gutters and downpipes are to be black gloss painted with weathershield paint



Existing Section

Proposed Section

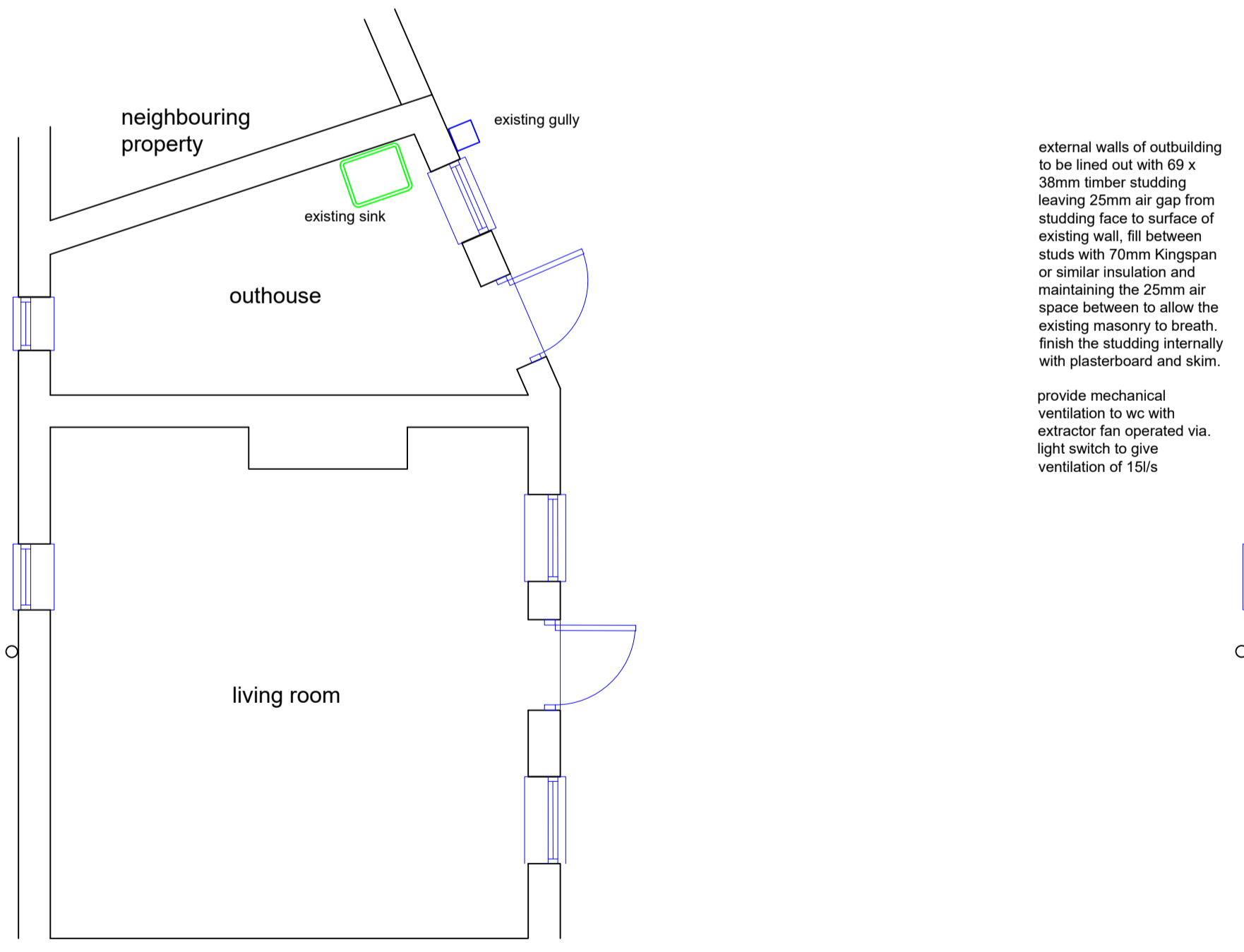
underside of rafters to be counter battens with 50mm battens and finished with 12mm plasterboard and skim. provide 50mm sheep's wool or similar breathable natural insulation material between counter battens and ditto between rafters

existing pantries to outbuilding are to be removed and saved for re use. roof timbers are to be inspected for evidence of rot and infestation and replaced with new if required, existing pantries are to be re laid on tanalised battens and breathable sarking felt back to line of existing roof finishes.

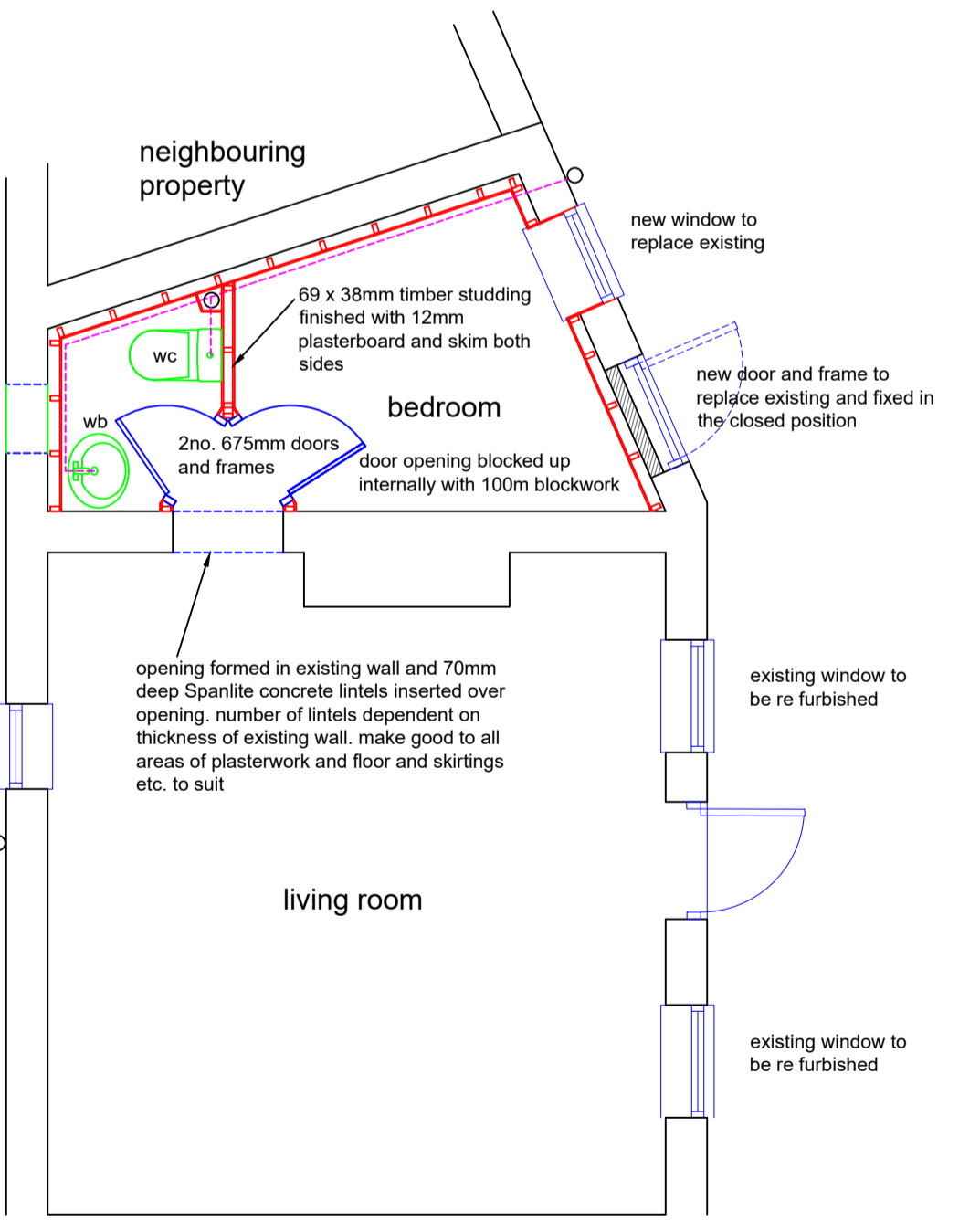
wall plate inspected and replaced as necessary

new 110mm dia. ci rainwater gutter on new timber fascia board

remove debris from within outbuilding including any deleterious material and lay new 25mm t kg boarding floor finish onto new timber battens as a floating floor all laid on 1200g polythene dpm dressed up at edges to floor level. provide breathable thermal insulation between battens to suit depth required to bring to floor level.

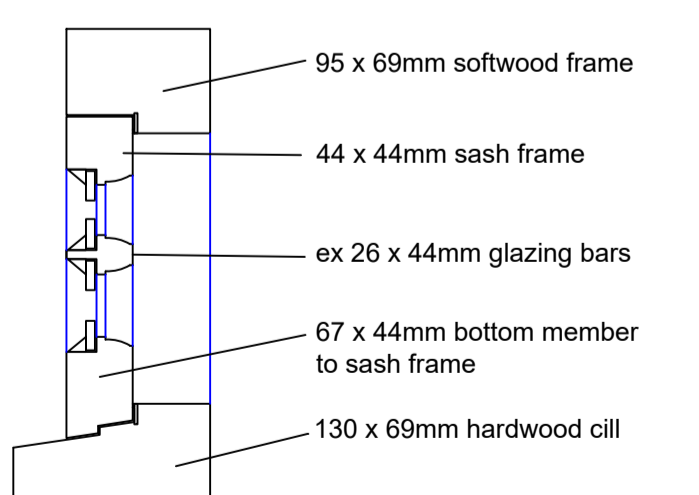


Existing Ground Floor Plan

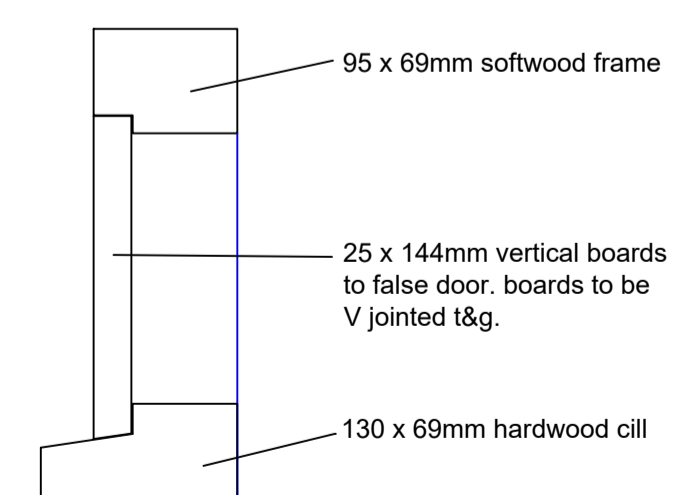


Proposed Ground Floor Plan

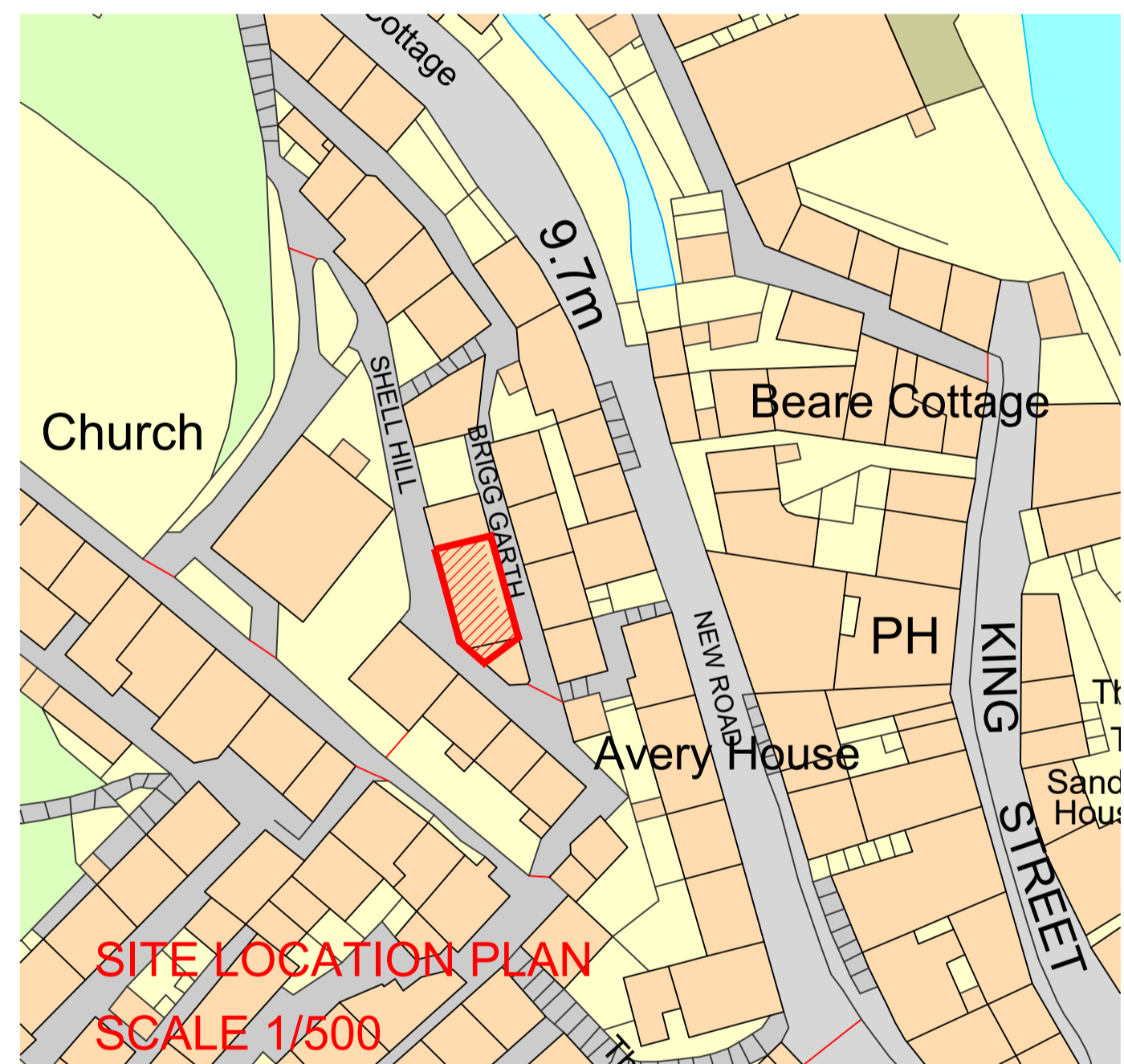
1m SCALE 1:50



section through windows



section through false door



SITE LOCATION PLAN SCALE 1/500

B 28/07/22 details of the refurbishment revised RS

REV DATE REV NOTES DRN CHK  
**VENTURE** architectural  
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CLIENT  
**MR. D. ISLIP**  
 PROJECT  
**PROPOSED REPAIRS AND WORKS TO OUTBUILDING AT HILDA COTTAGE SHELL HILL, ROBIN HOODS BAY**  
 TITLE  
**SCHEME DRAWING PLANS & ELEVATIONS**

DWG NO. 955-01 REV B DRN RS  
 SCALE 1/50 & 1/100 @ A1 DATE MAY 2022

Contractors must verify all dimensions on site before commencing any work or making any shop drawings: no dimensions are to be scaled from the drawings.  
 All materials specified on this drawings are to be used strictly in accordance with the manufacturers recommendations and current codes of practise.

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- Conservation revisions and confirmations:
- Where possible, all existing doors and windows should be repaired rather than replaced. However, it is felt that the existing windows to the dormers are beyond repair and do require to be replaced with new timber windows. Timber sections are to be as detailed. Note that all new glazing is to be single glazed.
  - The windows to the store have been revised to suit the timber sections proposed on the detailing.
  - the proposed ironmongery to the replacement door has been shown and also the proposed timber sections for the door and frame.
  - Any additional pantries which may be required to complete the repairs to the store roof, must be of red natural clay pantries and of a profile to match that of the existing roof tile.
  - the proposed flooring has been revised to allow for the existing floor to remain and to be finished above the existing surface with a timber floating floor.
  - the proposed roof insulation has been revised to be sheeps wool insulation.
  - the rainwater goods to the rear elevation have been noted as being removed and replaced with new cast iron and to receive a black gloss painted finish.
  - It is proposed to remove the existing paint finish from the front elevation of the store and to allow the stonework to dry out, wherupon it's condition is to be evaluated and repointing with a lime based mortar is to be carried out.