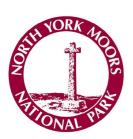
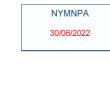
PP-11350482





North York Moors National Park Authority The Old Vicarage Bondgate Helmsley York YO62 5BP

Telephone: 01439 772700 Email: planning@northyorkmoors.org.uk Website: www.northyorkmoors.org.uk

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location	
Disclaimer: We can only make recommendation	ns based on the answers given in the questions.
If you cannot provide a postcode, the description help locate the site - for example "field to the No	n of site location must be completed. Please provide the most accurate site description you can, to orth of the Post Office".
Number	
Suffix	
Property Name	
Stray Head Farm	
Address Line 1	
Stray Head	
Address Line 2	
Littlebeck	
Address Line 3	
North Yorkshire	
Town/city	
Whitby	
Postcode	
YO22 5EY	
Description of site location must	be completed if postcode is not known:
Easting (x)	Northing (y)
487474	505228
Description	

Applicant Details
Name/Company
Title
Mr and Mrs
First name
John and Linda
Surname
Rayment
Company Name
Address
Address line 1
Stray Head Farm
Address line 2
Littlebeck
Address line 3
North Yorkshire
Town/City
Whitby
Country
Postcode
YO22 5EY
Are you an agent acting on behalf of the applicant?
 ✓ Yes
○ No
Contact Details
Primary number
Secondary number

Fax number	_
Email address	
	_
	_
Agent Details	
Name/Company	
Title	
Mr	
First name	_
Ashley	
Surname	_
Line	
Company Name	_
Line Architecture (Yorkshire) Limited	
	_
Address	
Address line 1	_
3 Dale View	
Address line 2	_
Address line 3	
Thornton-Le-Dale	
Town/City	
Pickering	
Country	
undefined	
Postcode	_
YO18 7LJ	
	_
Contact Details	
Primary number	7
Secondary number	_

Email address	
	J
Description of Proposed Works	
Please describe the proposed works	1
Erection of two storey side extension, installation of solar panels to southern elevation and erection of polytunnel.	
Has the work already been started without consent?	
○ Yes	
⊗ No	
Materials	
Does the proposed development require any materials to be used externally?	
○ No	

material)	
Type: Walls Existing materials and finishes: Stone Proposed materials and finishes: Stone Timber Cladding Type:	
Roof Existing materials and finishes: Clay Pantiles Proposed materials and finishes: Clay Pantiles	
Type: Windows Existing materials and finishes: uPVC Proposed materials and finishes: uPVC / Painted Timber Aluminium	
Type: Doors Existing materials and finishes: Timber Proposed materials and finishes: Timber / Aluminium	
Are you supplying additional information on submitted plans, drawings or a design and access statement? ② Yes ○ No If Yes, please state references for the plans, drawings and/or design and access statement	J
LA22-003-D&A	
Trees and Hedges Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development? ○ Yes ② No Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ○ Yes ② No	
	_

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each

Pedestrian and Vehicle Access, Roads and Rights of Way
Is a new or altered vehicle access proposed to or from the public highway? ○ Yes ○ No
Is a new or altered pedestrian access proposed to or from the public highway? ○ Yes ⊙ No
Do the proposals require any diversions, extinguishment and/or creation of public rights of way? ○ Yes ○ No
Parking
Will the proposed works affect existing car parking arrangements? ○ Yes ○ No
Site Visit
Can the site be seen from a public road, public footpath, bridleway or other public land? ○ Yes ⊙ No
If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? The agent Other person
Pre-application Advice
Has assistance or prior advice been sought from the local authority about this application? ○ Yes ○ No
Authority Employee/Member
With respect to the Authority, is the applicant and/or agent one of the following: (a) a member of staff (b) an elected member (c) related to a member of staff (d) related to an elected member
It is an important principle of decision-making that the process is open and transparent.
For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Ownership Certificates and Agricultural Land Declaration Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D. Is the applicant the sole owner of all the land to which this application relates, and has the applicant been the sole owner for more than 21 days? Yes Yes No Certificate of Ownership - Certificate A I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding* ""owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run. ""agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act. NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding. Person Role Or The Applicant The Agent Title Mar Lection Date 1006/2022 Declaration made	Do any of the above statements apply?
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○ The Applicant	
	Person Role
First Name Ashley Surname Line Declaration Date	
First Name Ashley Surname Line Declaration Date	Title
Ashley Surname Line Declaration Date 10/06/2022	Mr
Surname Line Declaration Date 10/06/2022	First Name
Line Declaration Date 10/06/2022	Ashley
Declaration Date 10/06/2022	Surname
10/06/2022	Line
	Declaration Date
✓ Declaration made	10/06/2022
	✓ Declaration made

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application. I / We agree to the outlined declaration Signed Ashley Line

Declaration

Date

27/06/2022

Planning Portal Reference: PP-11350482