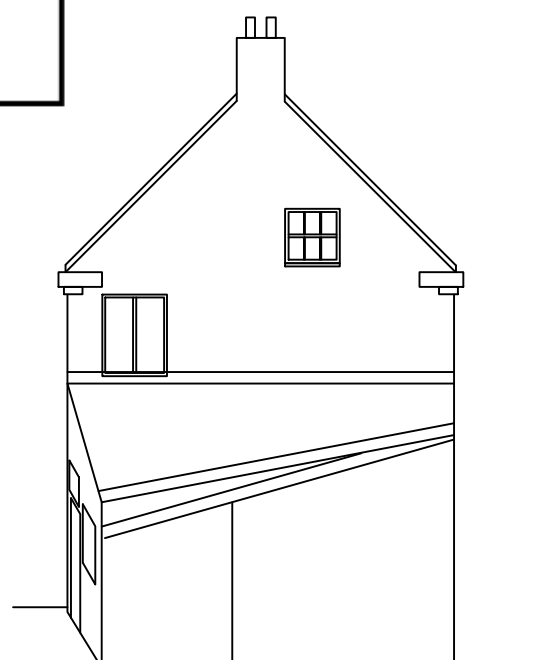
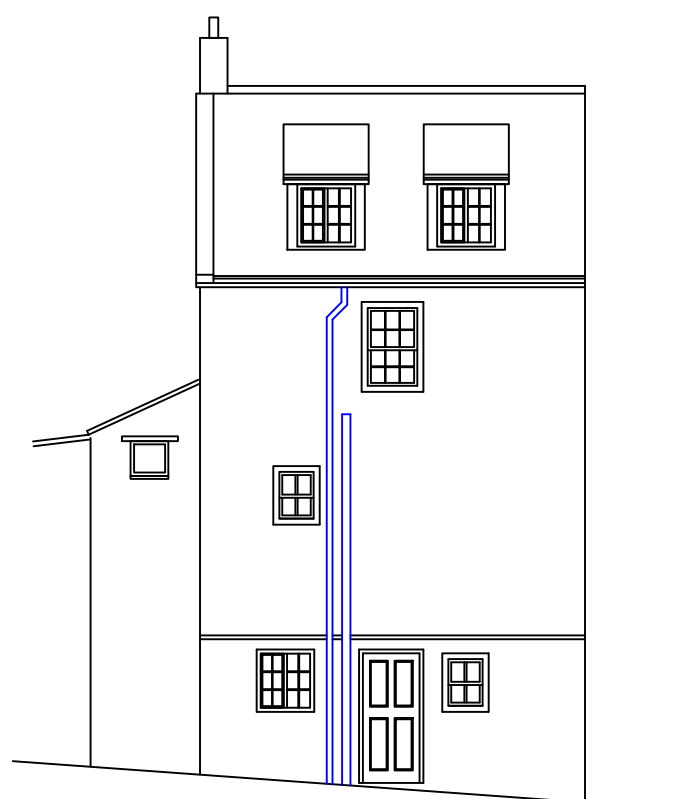


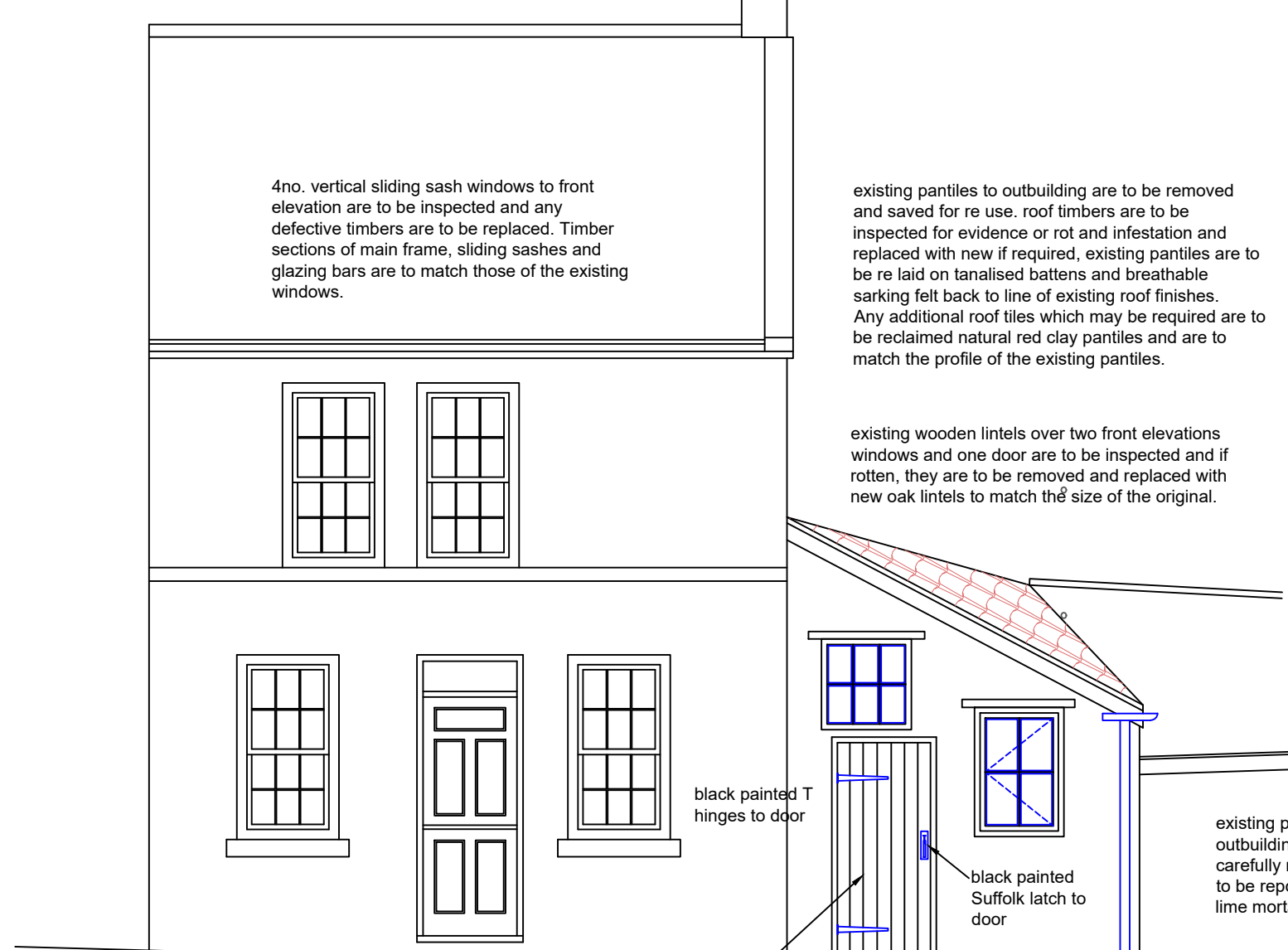
Existing Front Elevation



Existing Side Elevation



Existing Rear Elevation



Proposed Front Elevation

1no. timber window to side gable elevation is to be repaired as necessary, all replacement timbers to sash and glazing bars are to match those of the existing window. Glazing is to be single glazed to maintain appearance of original windows.

existing pantries to outbuilding are to be removed and saved for re use. roof timbers are to be inspected for evidence of rot and infestation and replaced with new if required, existing pantries are to be re laid on tanalised battens and breathable sarking felt back to line of existing roof finishes. Any additional roof tiles which may be required are to be reclaimed natural red clay pantries and are to match the profile of the existing pantries.

existing wooden lintels over two front elevations windows and one door are to be inspected and if rotten, they are to be removed and replaced with new oak lintels to match the size of the original.

2no. timber windows to front elevation are to be repaired as necessary, all new timber sections of main frame, opening sashes and glazing bars are to match those of the existing windows. Glazing is to be single glazed to maintain appearance of original windows.

existing paint to stonework of outbuilding to front elevation to be carefully removed and stonework is to be repointed with non hydraulic lime mortar.

existing rotten door and frame to front elevation of outbuilding is to be removed, new door and frame is to be manufactured and inserted into existing opening but secured in the closed position as a false door. details of door and frame to match those of the original door

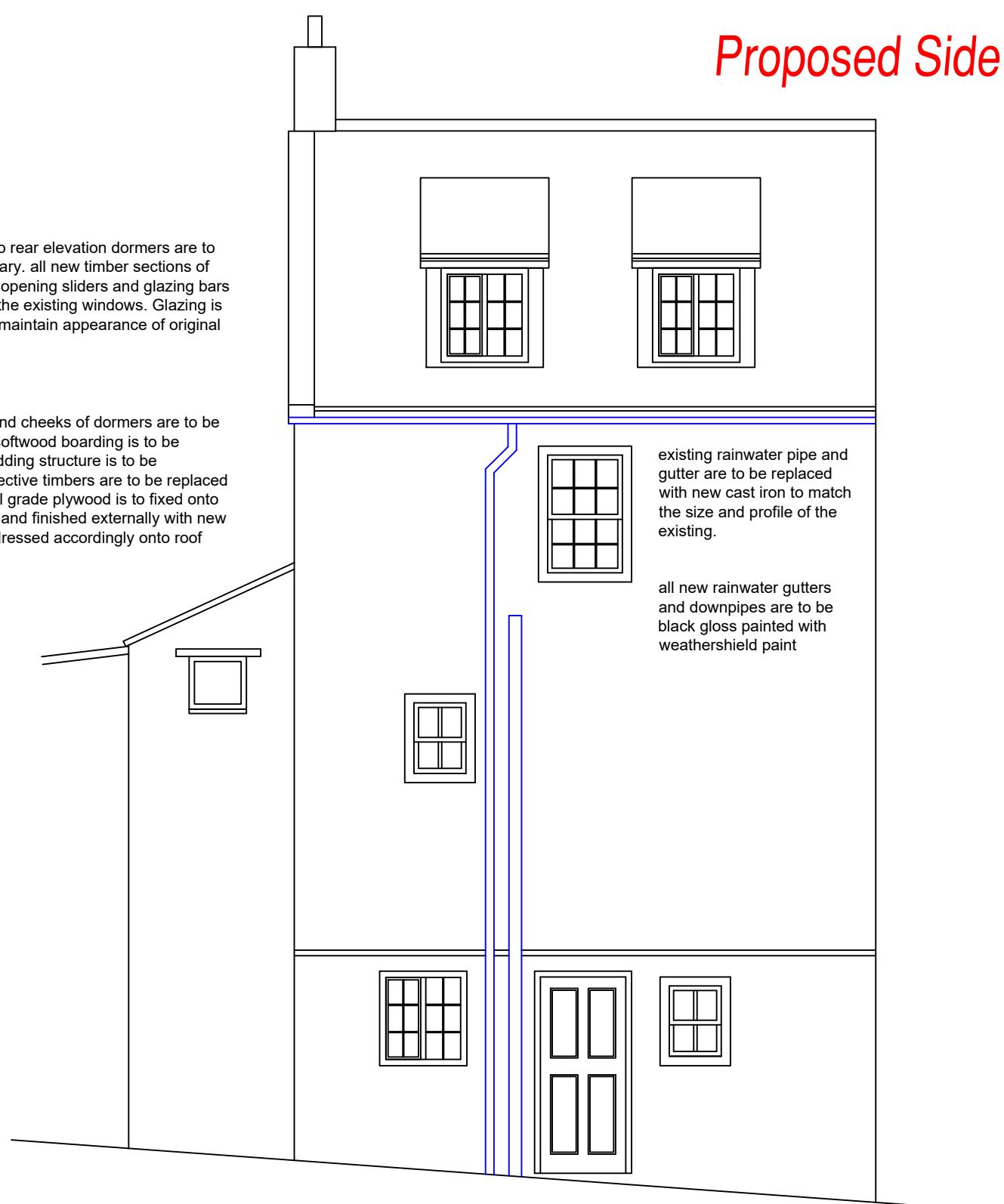
2no. timber windows to rear elevation dormers are to be repaired as necessary, all new timber sections of main frame, sideways opening sliders and glazing bars are to match those of the existing windows. Glazing is to be single glazed to maintain appearance of original windows.

all leadwork to faces and cheeks of dormers are to be removed, plywood or softwood boarding is to be inspected and any defective timbers are to be replaced with new. new external grade plywood is to be fixed onto breathable membrane and finished externally with new code 4 leadwork and dressed accordingly onto roof finishes

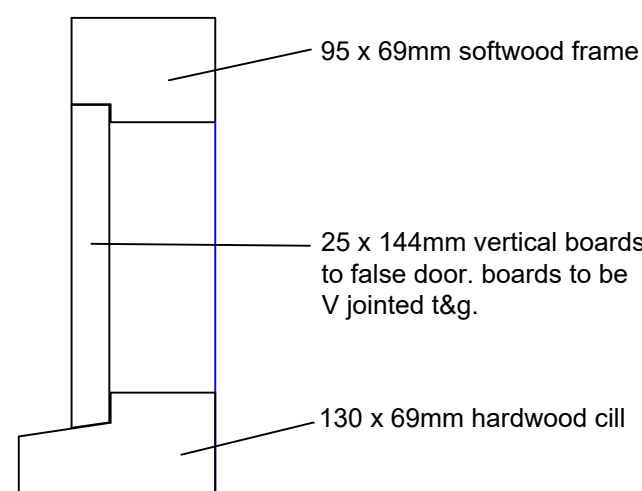
existing rainwater pipe and gutter are to be replaced with new cast iron to match the size and profile of the existing.

all new rainwater gutters and downpipes are to be black gloss painted with weathershield paint

Proposed Side Elevation



Proposed Rear Elevation



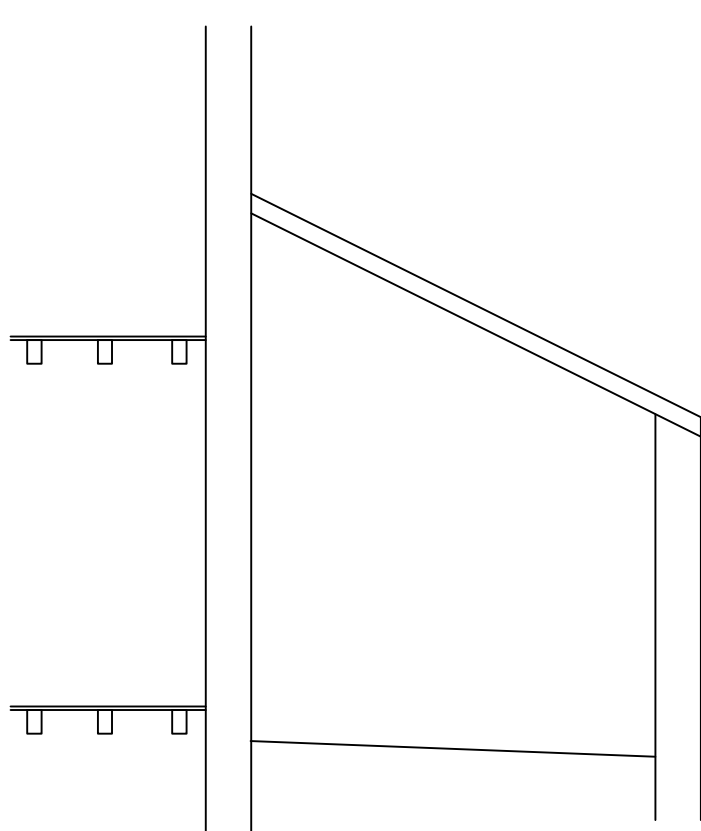
section through false door

Contractors must verify all dimensions on site before commencing any work or making any shop drawings: no dimensions are to be scaled from the drawing. All materials specified on this drawing are to be used strictly in accordance with the manufacturers recommendations and current codes of practise.

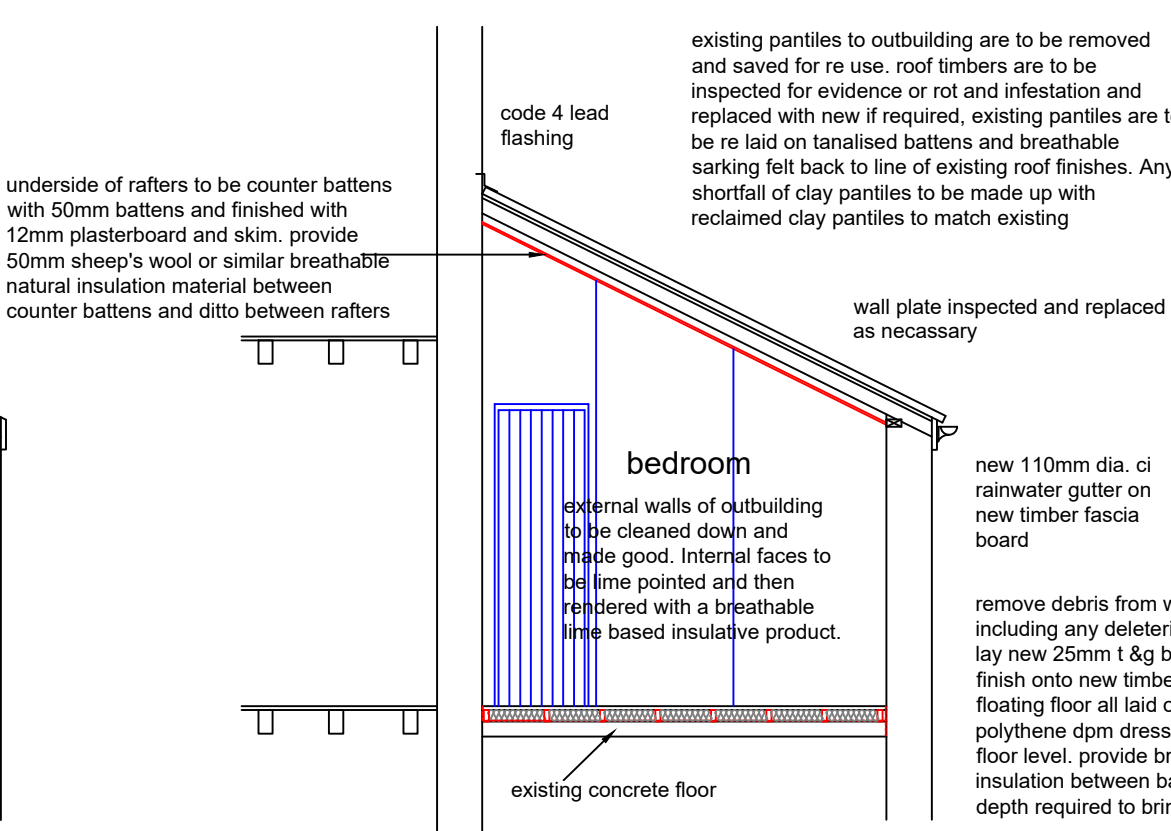
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Conservation revisions and confirmations:

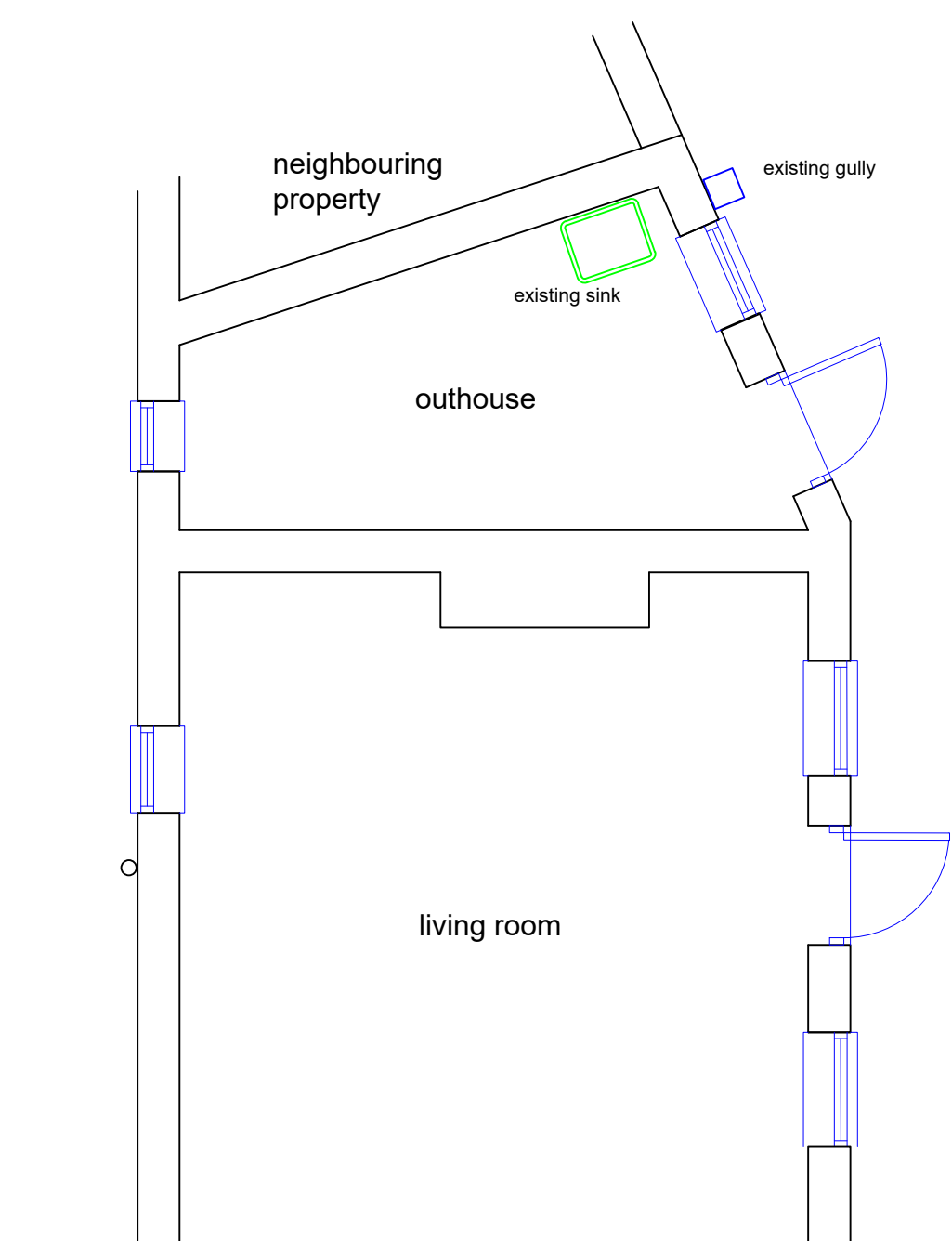
- 1. Where possible, all existing doors and windows should be repaired rather than replaced. Timber sections are to be as detailed. Note that all new glazing is to be single glazed.
2. The windows to the store have been revised to be repaired rather than replaced.
3. the proposed ironmongery to the replacement door has been shown and also the proposed timber sections for the door and frame.
4. Any additional pantries which may be required to complete the repairs to the store roof, must be of reclaimed red natural clay pantries and of a profile to match that of the existing roof tile.
5. the proposed flooring has been revised to allow for the existing floor to remain and to be finished above the existing surface with a timber floating floor.
6. the proposed roof insulation has been revised to be sheeps wool insulation.
7. the rainwater goods to the rear elevation have been noted as being removed and replaced with new cast iron and to receive a black gloss painted finish.
8. It is proposed to remove the existing paint finish from the front elevation of the store and to allow the stonework to dry out, whereupon it's condition is to be evaluated and repointing with a non hydraulic lime based mortar.



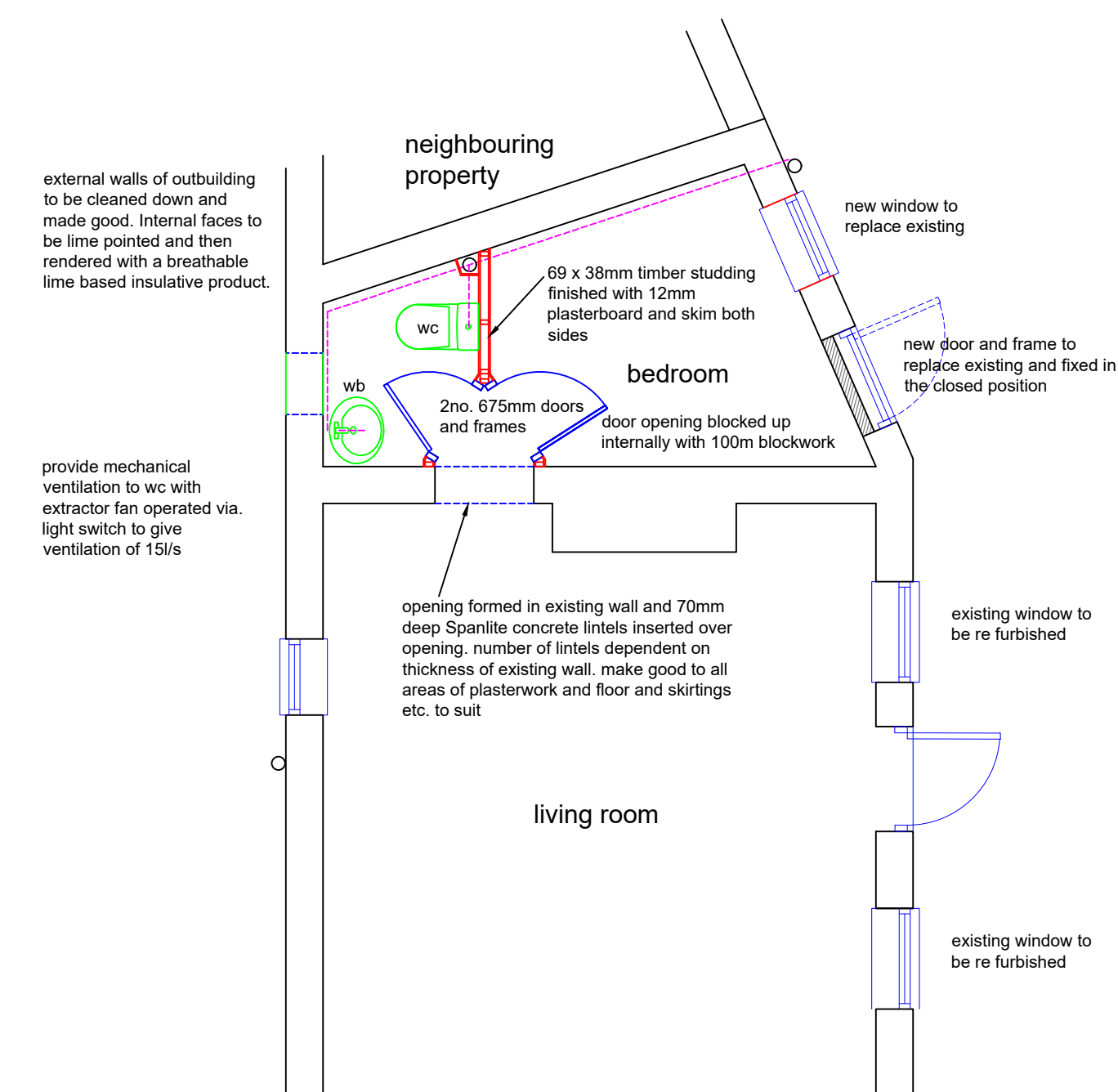
Existing Section



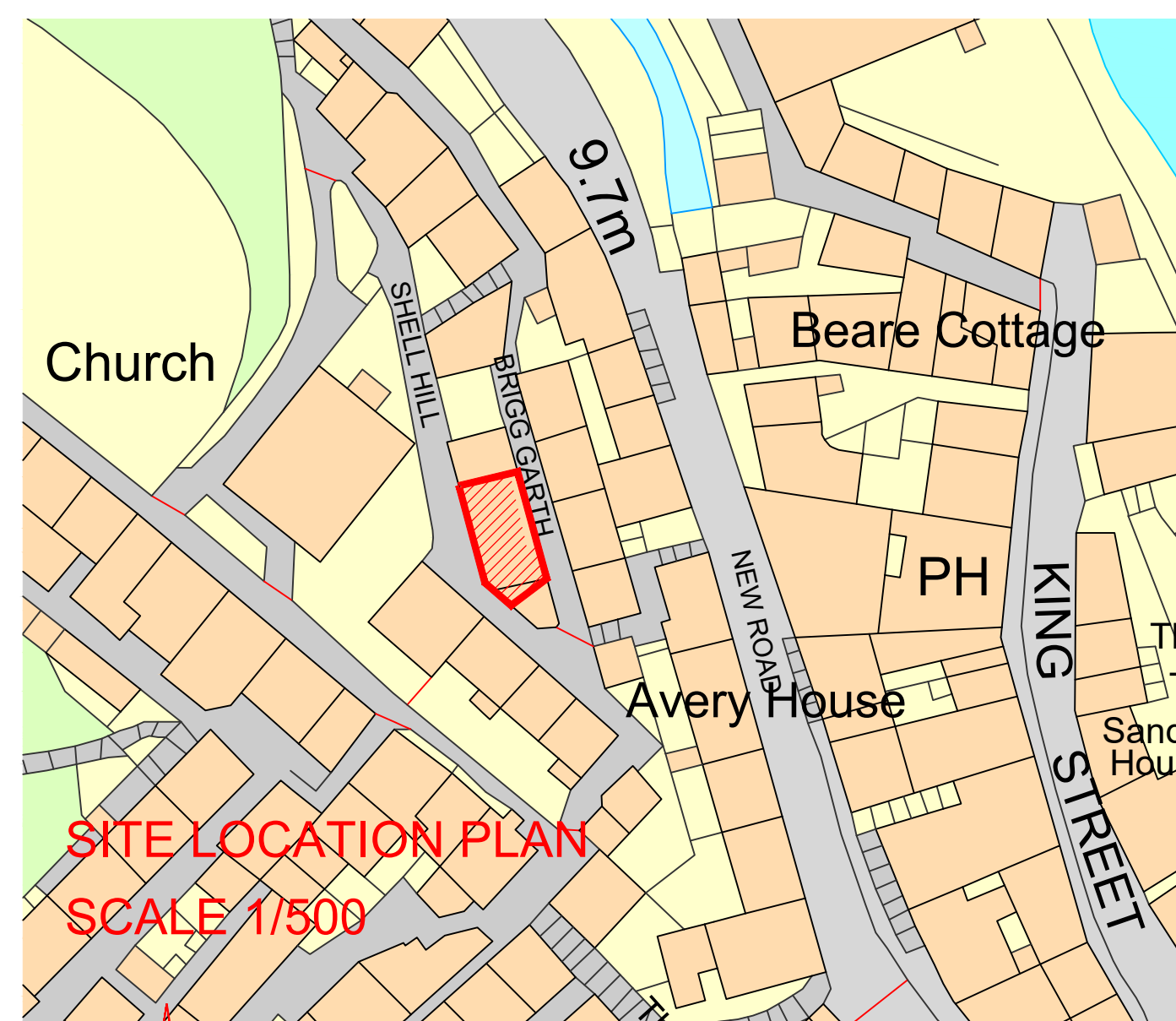
Proposed Section



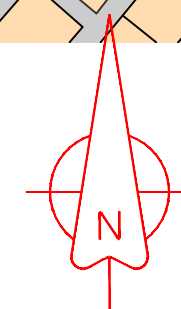
Existing Ground Floor Plan



Proposed Ground Floor Plan



SITE LOCATION PLAN SCALE 1/500



C 22/08/22 specification details revised RS
B 28/07/22 details of the refurbishment revised RS

REV DATE REV NOTES DRN CHK

VENTURE architectural

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CLIENT
MR. D. ISLIP

PROJECT
PROPOSED REPAIRS AND WORKS TO OUTBUILDING AT HILDA COTTAGE SHELL HILL, ROBIN HOODS BAY

TITLE
SCHEME DRAWING
PLANS & ELEVATIONS

DWG NO. 955-01 REV C DRN RS

SCALE 1/50 & 1/100 @ A1 DATE MAY 2022

