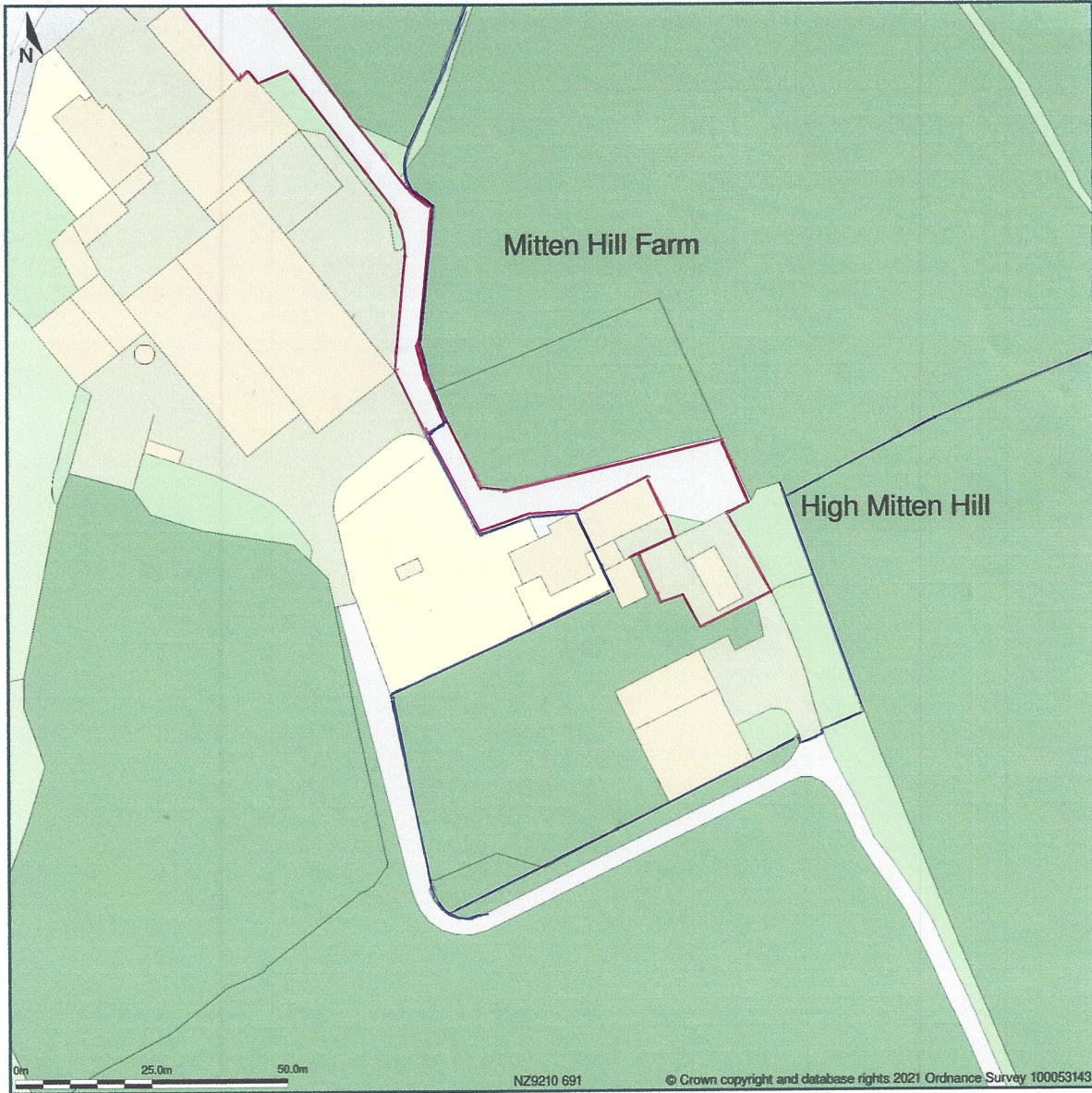


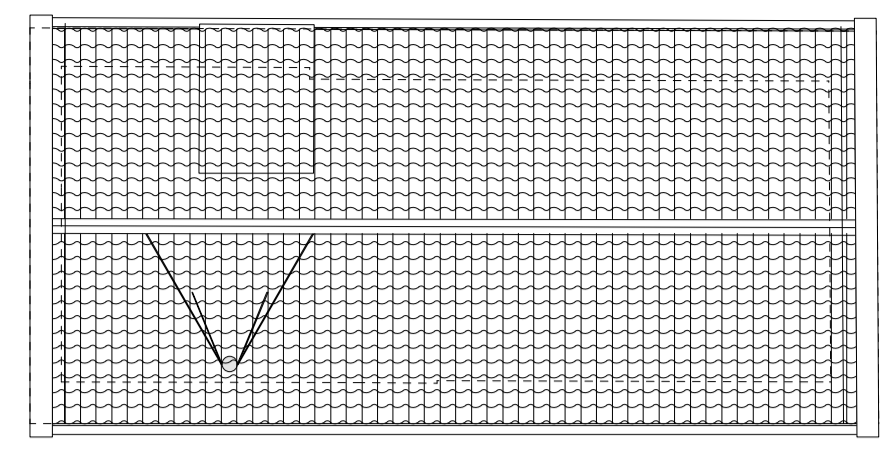
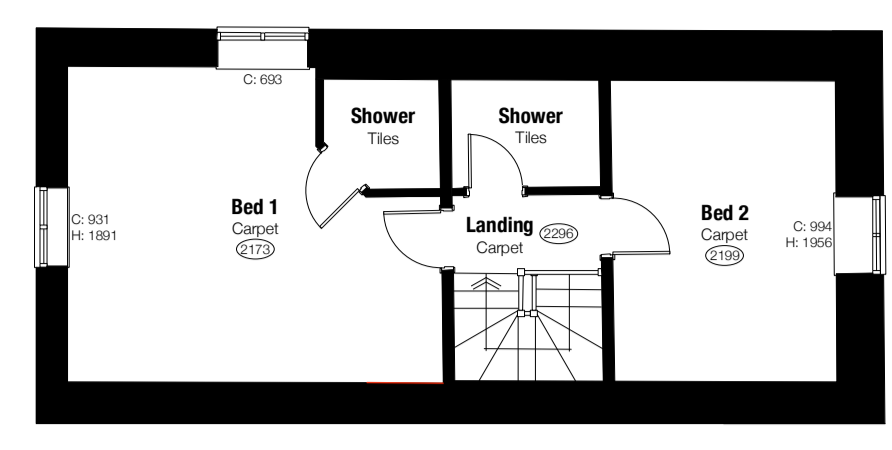
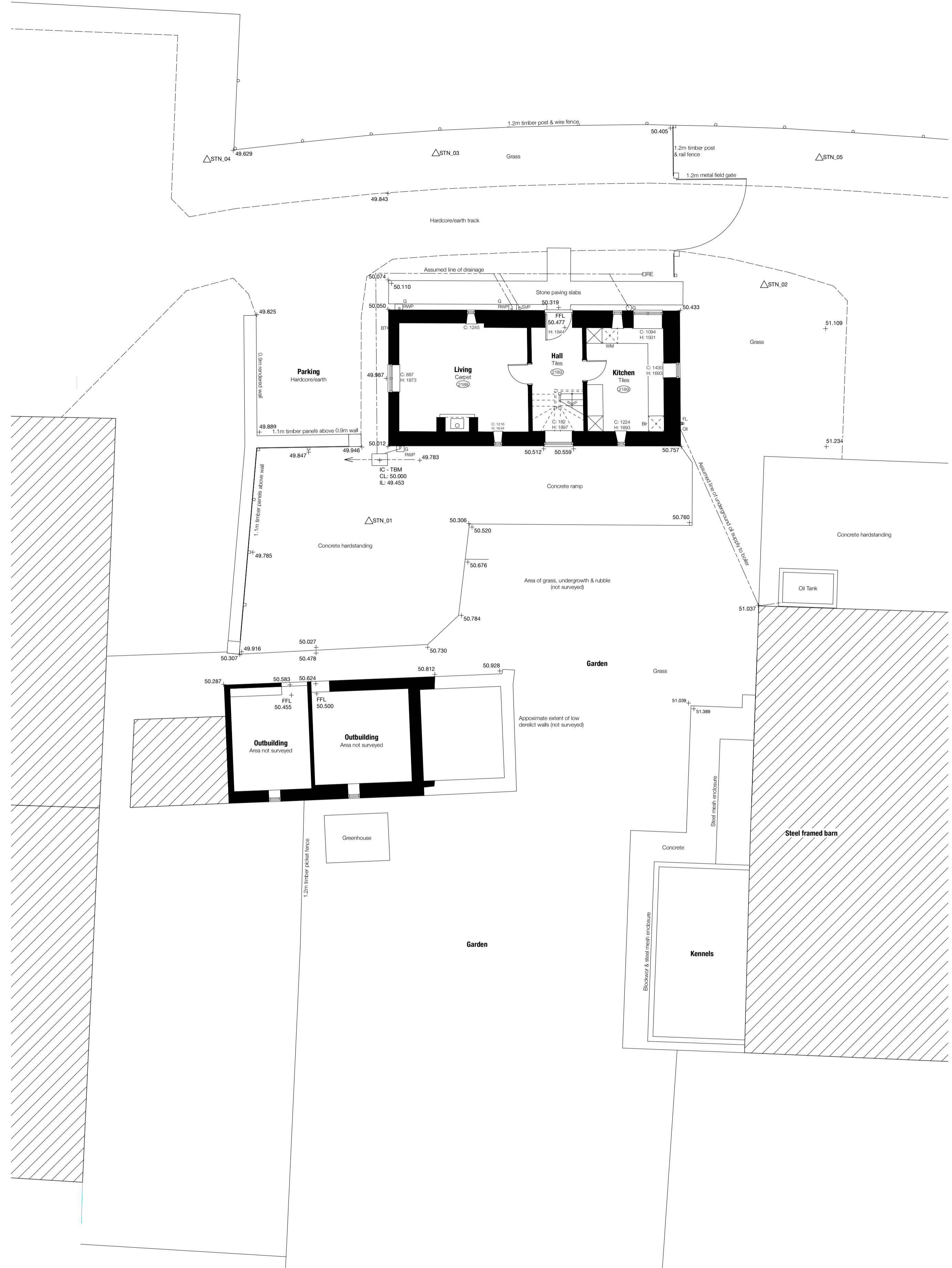
High Mitten Cottage, Back Lane, Hawsker, Whitby, North Yorkshire, YO22 4LW



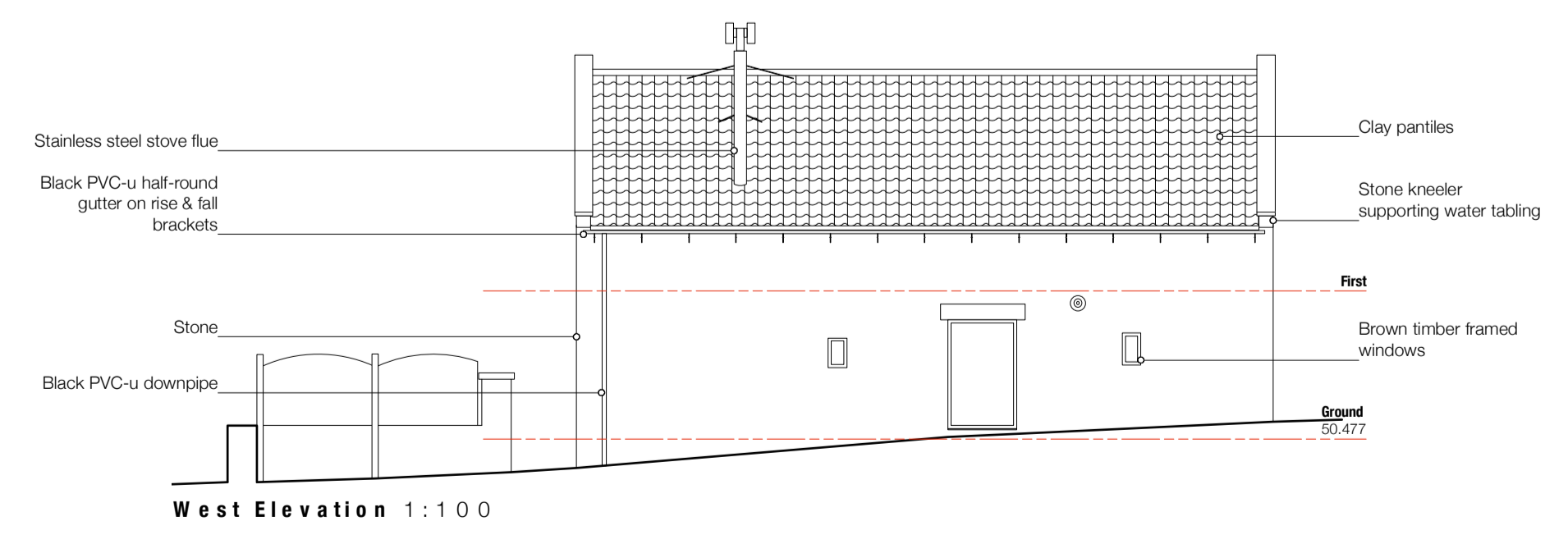
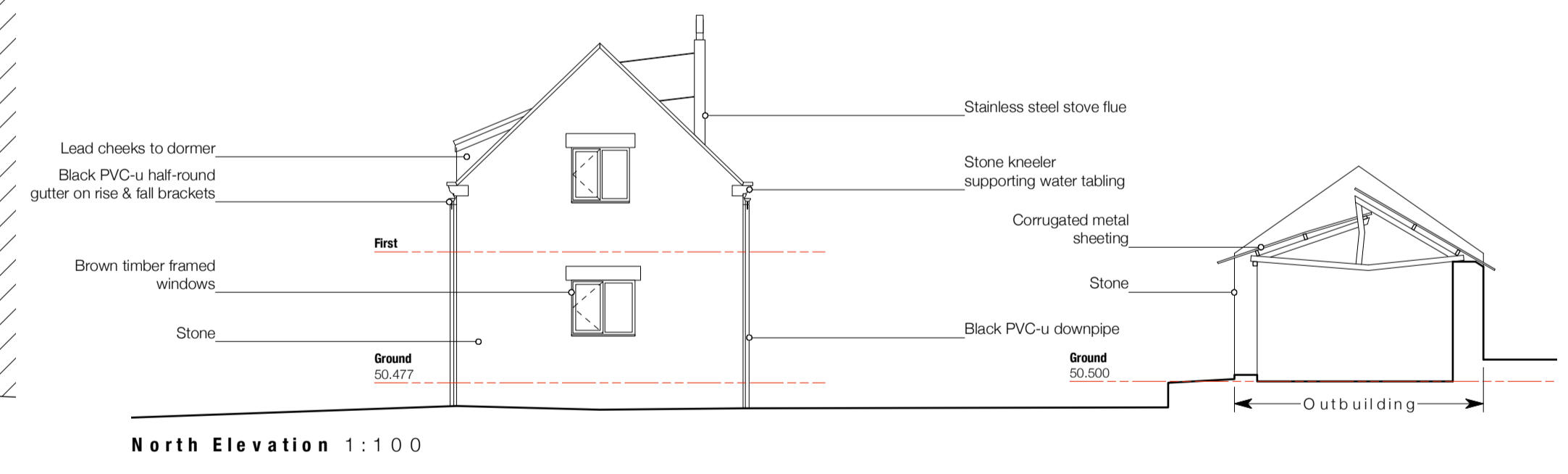
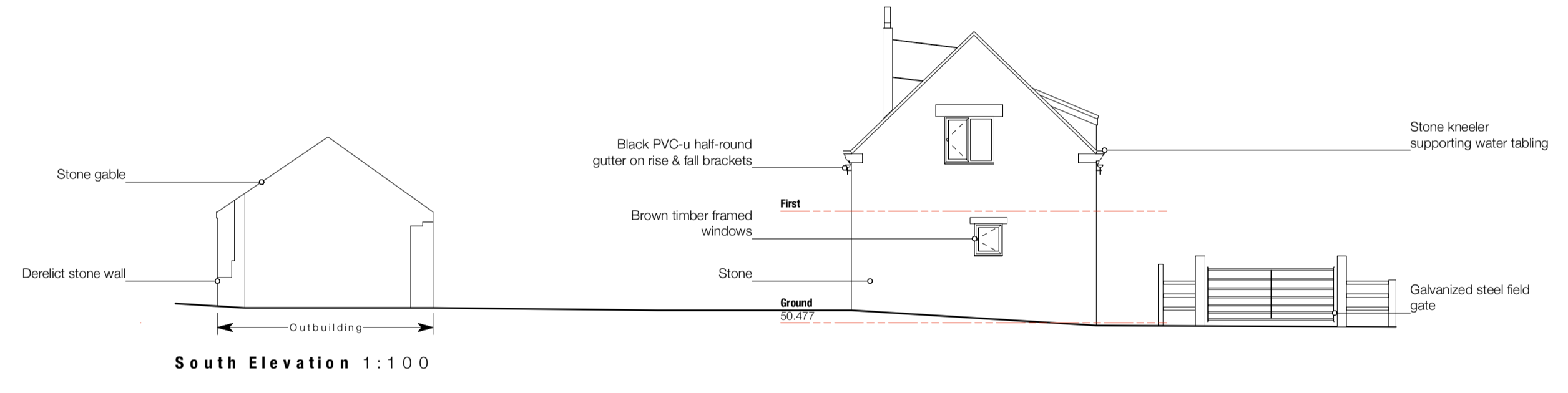
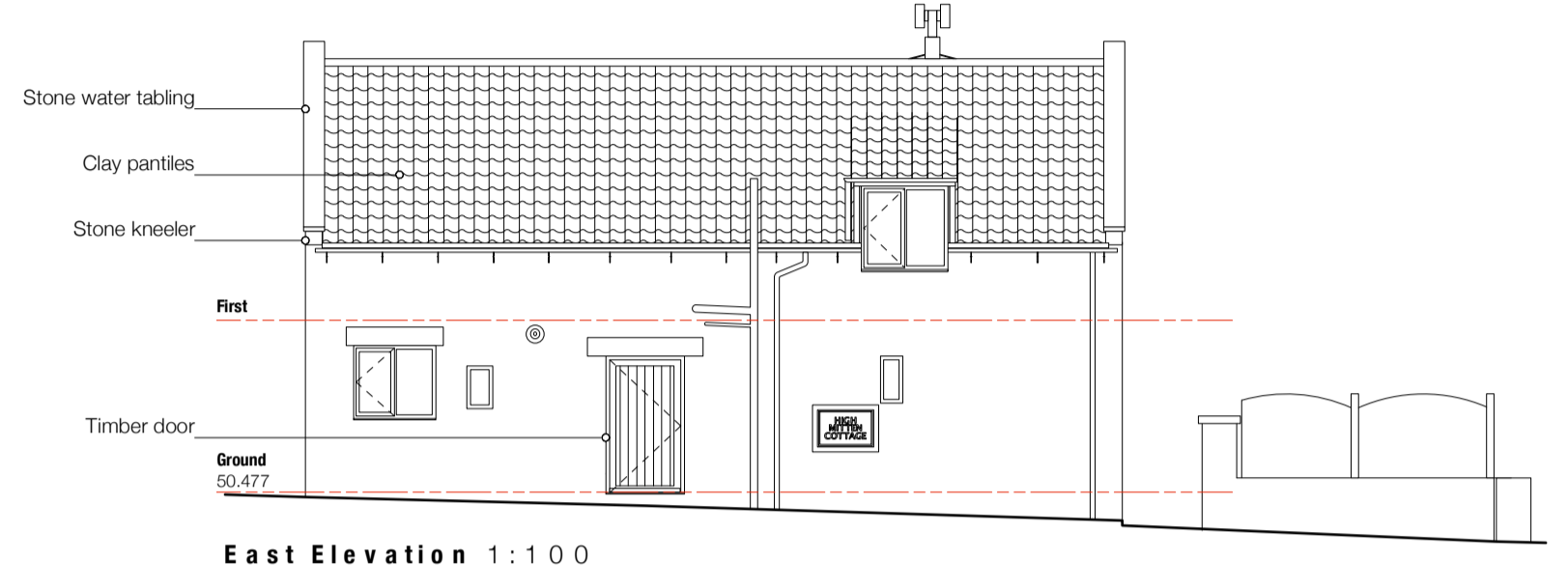
Site Plan shows area bounded by: 492008.99, 506816.02 492208.99, 507016.02 (at a scale of 1:1250), OSGridRef: NZ9210 691. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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Site & Ground Floor Plan 1:100

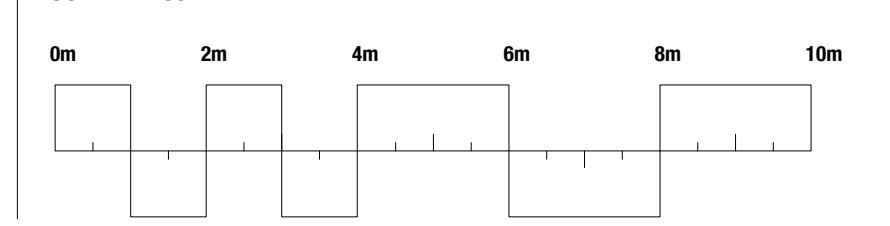
NOTES:

- 1 Site Plan based on Ordnance Survey data (licence number 100019980), site dimensions and information interpolated from photographs.
- 2 All levels in metres relate to temporary bench mark at IC cover at the north west corner of the cottage.

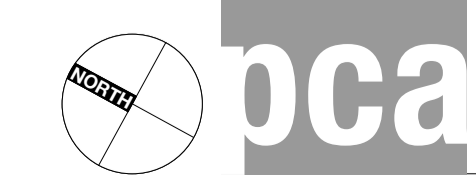
KEY:

- | | | | |
|-----|----------------------|-----|-------------------------|
| FFL | Finished floor level | SVP | Soil & vent pipe |
| IC | Inspection chamber | BT | Incoming telephone line |
| CL | Cover level | Oil | Incoming oil supply |
| IL | Invert level | FL | Flue |
| G | Gully | | |
| RE | Rodding eye | | |
| RWP | Rainwater downpipe | | |

SCALE: 1:100



existing



Revisions
A 02/08/22 PC Redrawn & updated.

Drawing
Existing Plans and Elevations

Client
Mr J Davies

Project
Proposed extension & alterations High Mitten Cottage

patrick cuddy architects
Chartered Architect
Town Farm House
9 High Market Place
Kirkby Moorside
York YO2 6AT

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Please do not scale from this drawing.
If in doubt please ask.

Job No. 0015 Date 06/2017

Scale(s) 1:100

Sheet size A1

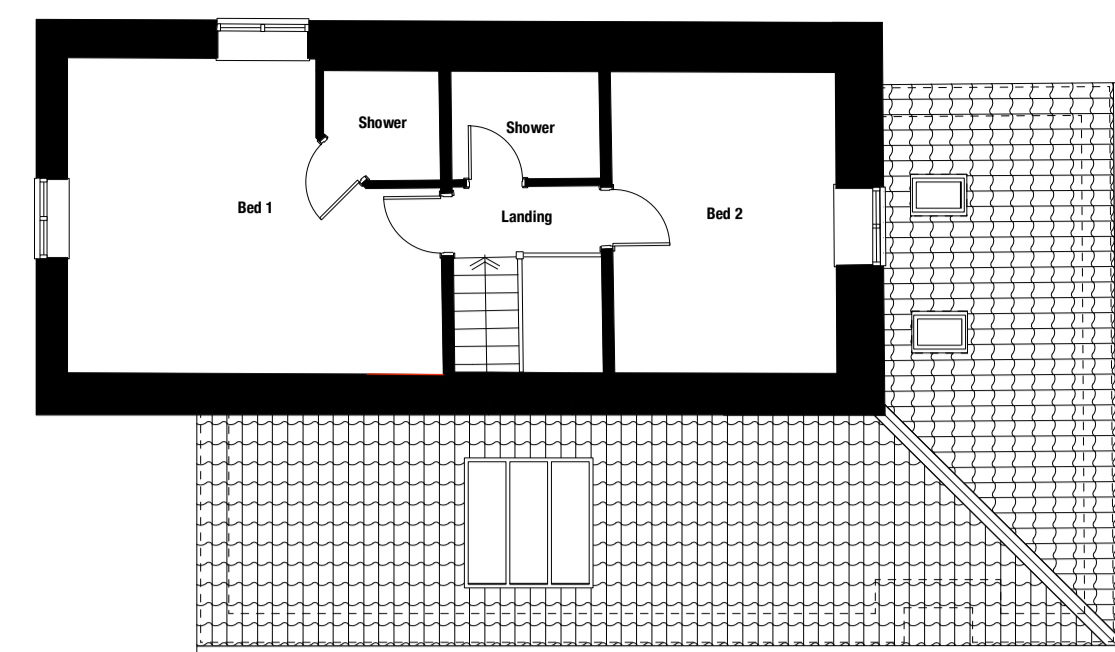
Drawing No. EX_002 Rev. A



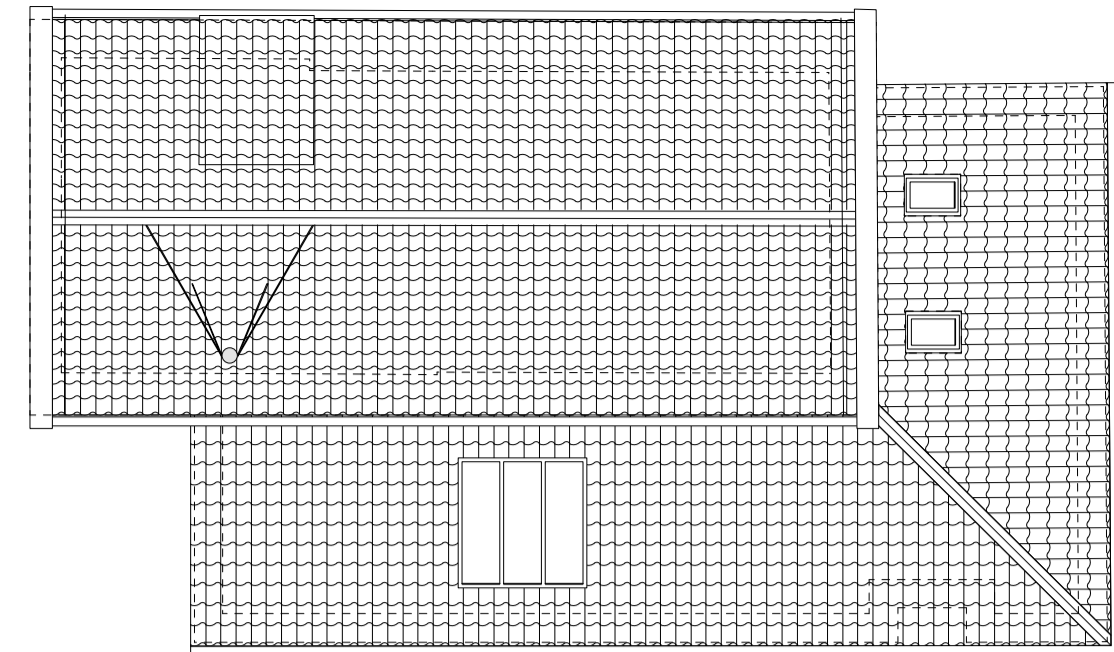
Site & Ground Floor Plan 1:100

KEY:
 - - - - - Extent of former buildings attached to barn interpolated from historic OS maps and aerial photograph
 - - - - - Extent of permitted development rights

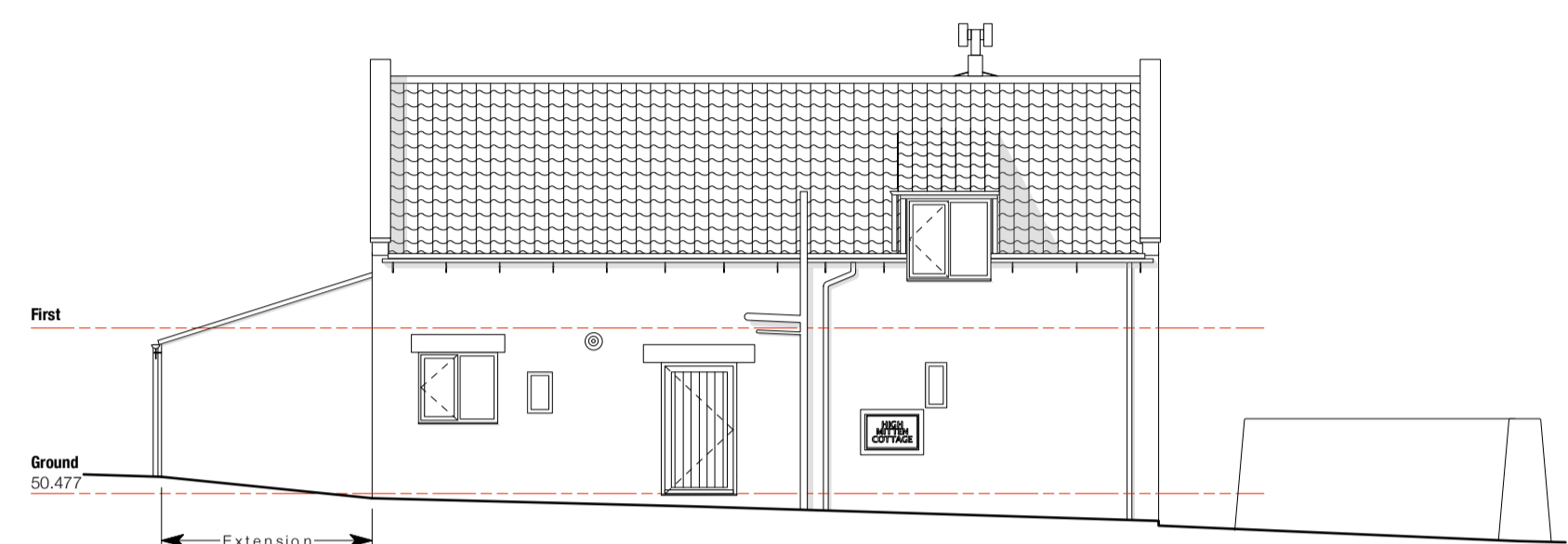
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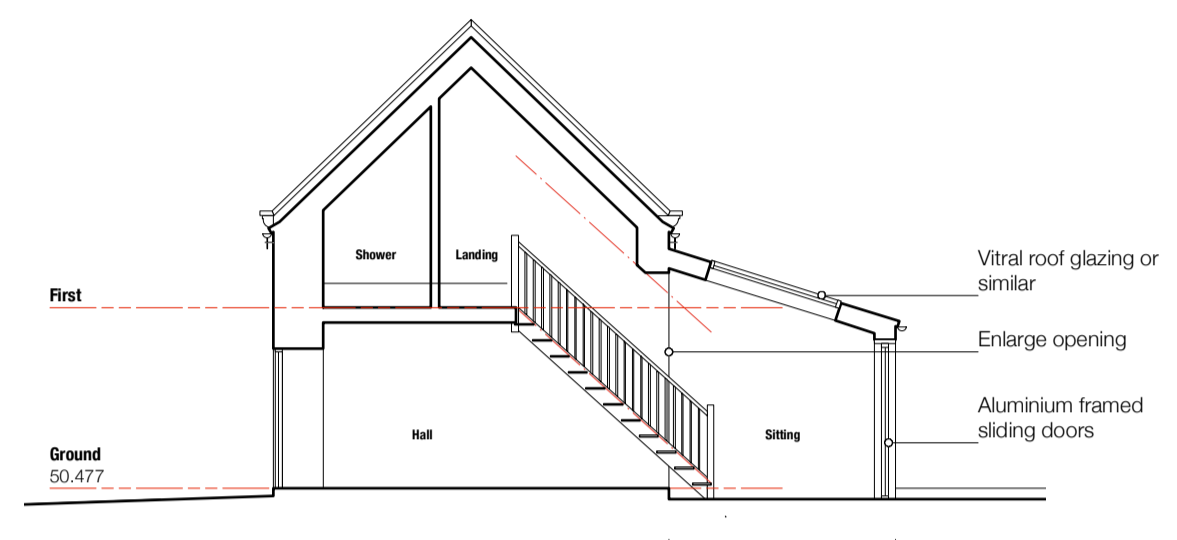
First Floor 1:100



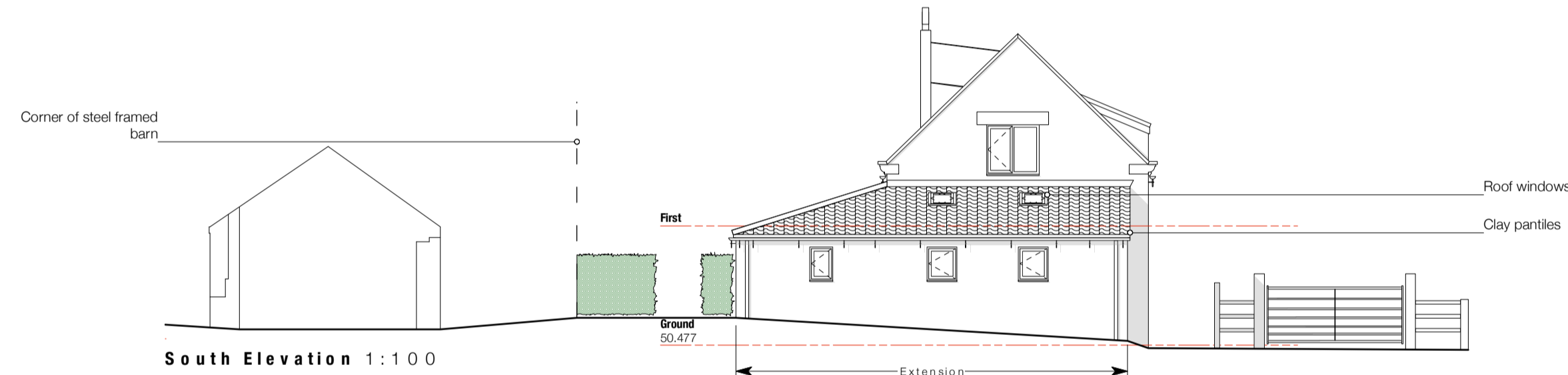
Roof 1:100



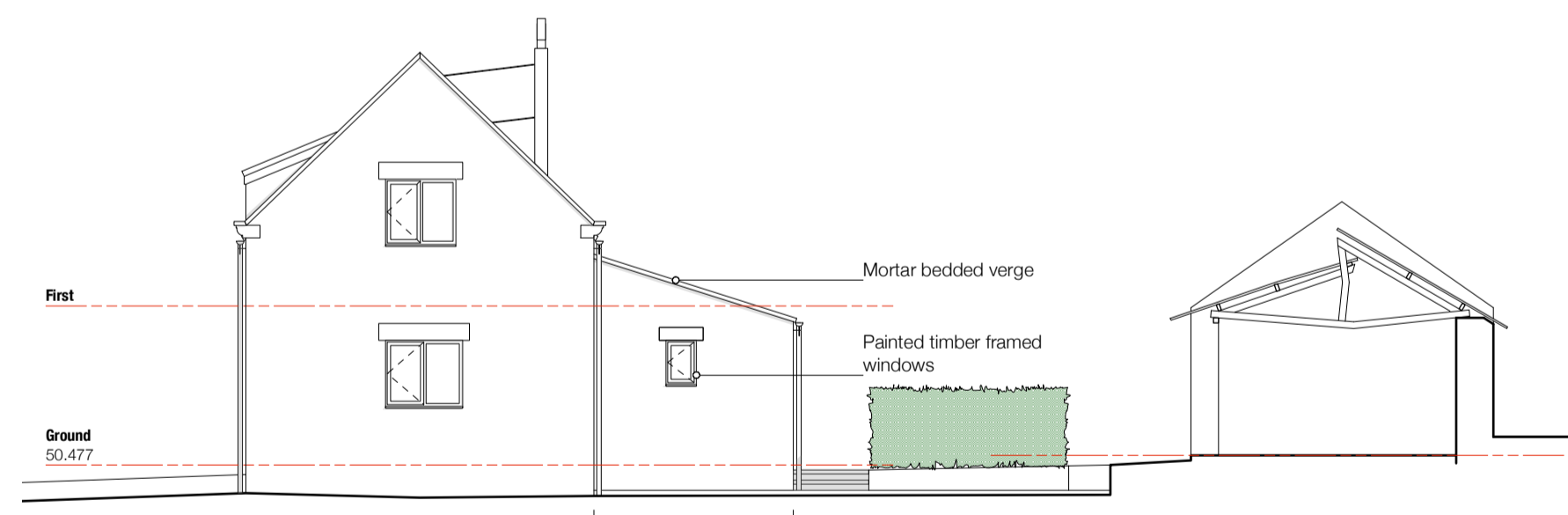
East Elevation 1:100



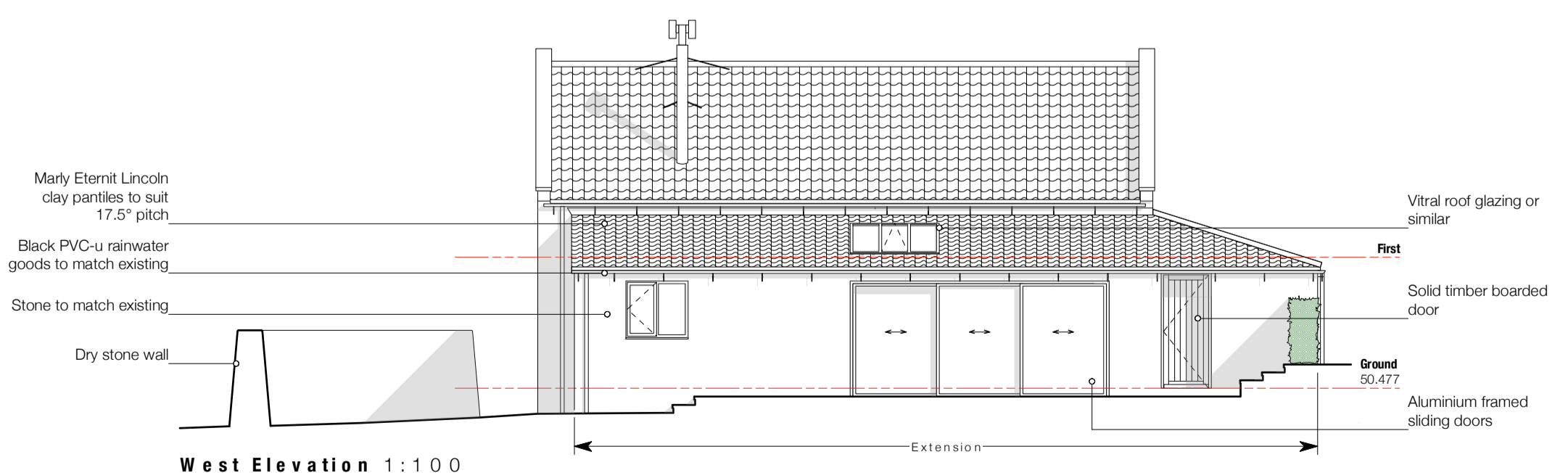
Section 1:100



South Elevation 1:100

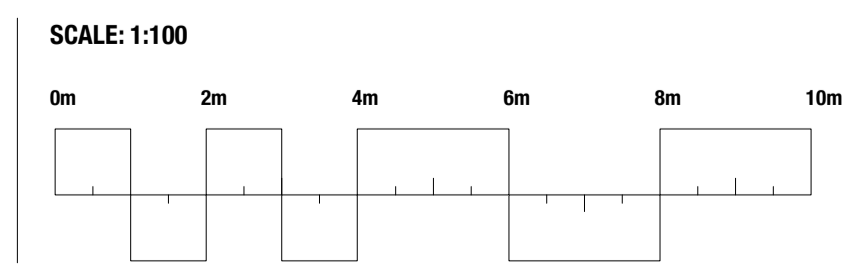


North Elevation 1:100



West Elevation 1:100

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 18/08/2022



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Revisions A 27/07/22 PC Redrawn & revised in line with Client's comments.	Drawing Proposed Plans, Elevation & Section	Client Mr I Davies	Patrick Cuddy Architect Chartered Architect
Job No. 0015	Date 07/2017	Scale 1:100	Sheet size A1
Drawing No. PL_001	Rev. A	Project Proposed extension & alterations High Mitten Cottage	Town Farm House 9 High Market Place Kirkby Moorside York YO2 6AT