

North York Moors National Park Authority

Plans list item 4, Planning Committee report 08 September 2022

Application reference number: NYM/2020/0702/FL

Development description: erection of 3 no. single storey lodges to provide 5 no. woodland rooms ancillary to existing Hotel with associated linkage paths

Site address: Raithwaite Estate, Sandsend Road, Sandsend

Parish: Newholm-Cum-Dunsley

Case officer: Mrs Hilary Saunders

Applicant: Raithwaite Trading Company Limited c/o agent

Agent: NTR Planning fao: Mr Niall Roberts, Clareville House, 26-27 Oxendon Street, London, SW1Y 4EL

Director of Planning's Recommendation

Approval subject to the following:

Condition(s)

Condition number	Condition code	Condition text																					
1	TIME01	The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.																					
2	PLAN01	<p>The development hereby permitted shall not be carried out other than in strict accordance with the following documents:</p> <table><thead><tr><th>Document Description</th><th>Document No.</th><th>Date Received</th></tr></thead><tbody><tr><td>Site location plan</td><td>90-8001 Rev P2</td><td>30/06/2022</td></tr><tr><td>Dunsley Beck</td><td>90-8003 Rev P7</td><td>30/06/2022</td></tr><tr><td>Proposed site plan</td><td></td><td></td></tr><tr><td>Woodland Room Type A</td><td>00-8002 Rev P2</td><td>30/06/2022</td></tr><tr><td>Woodland Room Type C</td><td>00-8004 Rev P3</td><td>30/06/2022</td></tr><tr><td>Proposed site sections</td><td>90-8010 Rev P5</td><td>30/06/2022</td></tr></tbody></table>	Document Description	Document No.	Date Received	Site location plan	90-8001 Rev P2	30/06/2022	Dunsley Beck	90-8003 Rev P7	30/06/2022	Proposed site plan			Woodland Room Type A	00-8002 Rev P2	30/06/2022	Woodland Room Type C	00-8004 Rev P3	30/06/2022	Proposed site sections	90-8010 Rev P5	30/06/2022
Document Description	Document No.	Date Received																					
Site location plan	90-8001 Rev P2	30/06/2022																					
Dunsley Beck	90-8003 Rev P7	30/06/2022																					
Proposed site plan																							
Woodland Room Type A	00-8002 Rev P2	30/06/2022																					
Woodland Room Type C	00-8004 Rev P3	30/06/2022																					
Proposed site sections	90-8010 Rev P5	30/06/2022																					

Condition number	Condition code	Condition text
		or in accordance with any minor variation thereof that may be approved in writing by the Local Planning Authority.
3	WPDR12	Notwithstanding the provisions of Class B, Part 5 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015, or any Order revoking and re-enacting that order, no development required by the conditions of a site license shall be permitted without the granting of planning permission by the Local Planning Authority.
4	RSU000	The three single storey lodges hereby approved shall not be used for residential purposes other than holiday letting purposes. For the purpose of this condition 'holiday letting' means letting to the same person, group of persons or family for period(s) not exceeding a total of 28 days in any one calendar year.
5	RSU015	The lodges hereby permitted shall form and remain part of the wider curtilage of the business currently known as the Raithwaite Estate as a single planning unit and shall not be sold or leased separately from the main dwelling without a further grant of planning permission from the Local Planning Authority.
6	GACS00	No external lighting shall be installed in the development hereby permitted until details of lighting have been submitted to and approved in writing by the Local Planning Authority (lighting will only be considered acceptable if it is of a style and luminance which minimises glare and light pollution with all bulbs shielded to prevent upward and minimise horizontal light spill).The lighting shall be installed in accordance with the details so approved and shall be maintained in that condition in perpetuity.
7	MATS26	The external elevations of the lodges hereby approved shall, within three months of first being brought into use, be clad in vertical timber boarding and shall thereafter be so maintained unless otherwise agreed in writing by the Local Planning Authority.
8	MATS00	The roof of the lodges hereby permitted shall be covered in a sedum planting mix which shall thereafter be so maintained and replaced if any of the plants die.

Condition number	Condition code	Condition text
9	MATS74	All flues associated with the proposed development shall be coloured matt black and maintained in that condition in perpetuity unless otherwise agreed in writing with the Local Planning Authority.
10	MISC00	Prior to the commencement of development, a Construction Environment Management Plan shall be submitted to and approved in writing by the Local Planning Authority and the works shall thereafter be undertaken in accordance with the approved plan.
11	MISC00	Prior to the commencement of development, a Habitat and Species Management Plan shall be submitted to and approved in writing by the Local Planning Authority and the works shall thereafter be undertaken in accordance with the approved plan.
12	MISC00	The development shall be undertaken in accordance with the Woodland and Ecology Management and Monitoring Plan dated April 2021.
13	MISC00	If the use of the lodges hereby permitted permanently ceases they shall be removed from the land and the land shall as far as practicable be restored to its condition before development took place.

Map showing application site



**North York Moors
National Park**

Application Number: NYM/2020/0702/FL

Scale: 1:2500

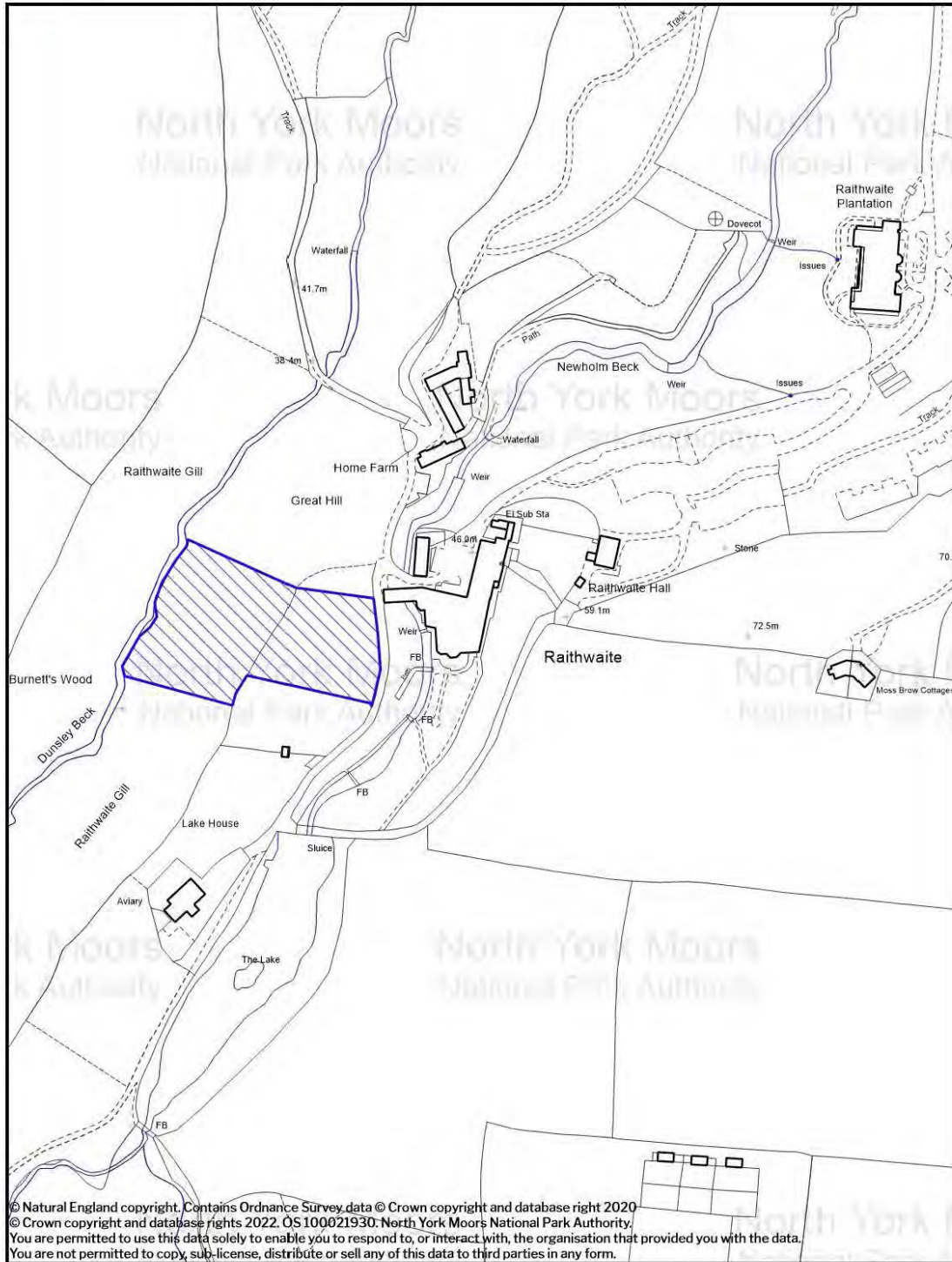


Photo from front of hotel, looking across to the site of lodges behind the trees



Photo from rear of hotel looking across to the site of lodges behind the trees



Consultation responses

Parish

12/07/2022 – Revised scheme - Reiterate the previous objection and associated comments it made in response to the revised plans.

03/09/2021 - Council resolved to object with the following comments made:

- The planning application is over development of the site, even more so when you take into context the overall development at Raithwaite Estate currently being undertaken.
- The lodges are not in character or sympathetic to the surrounding environment
- There will be an increase in overall traffic movements that will have impacts to the current infrastructure in situ. The entrance/exit to the estate, and hence the lodges, has in the past proven to be unstable and landslips have occurred. Additionally, the increase in volume of traffic to/from the Estate could have detrimental safety issues to traffic on the main A174. Whilst outside of the NYMNP, access to the site and whether adequate still needs to be taken into consideration
- There are concerns regarding the loss of biodiversity due to the destruction of habitat
- Infrastructure impacts caused by increase of sewerage/drainage requirements and concerns whether this has been adequately provided for and will not detrimentally overload the current system in place
- The parish council would also like restrictive conditions to be placed on the lodges, if planning application is approved, to state that the usage is for holiday let purposes only and that they cannot be sold off as individual units

Highways

16/10/2020 – No local highway objections

Forestry Commission

13/10/2020 – Standing advice re Ancient Woodland

Environmental Health

1/07/2022 – Revised scheme – No objections

08/10/2020 – No objections

Designing Out Crime Officer, North Yorkshire Police

8/07/2022 – No further comments

25/09/2020 – In relation to designing out crime, having reviewed the documents submitted, it is pleasing to note that the Design & Access Statement has taken into

consideration safety and security for the site. I have no further comments to make regarding the proposal.

North Yorkshire Fire & Rescue

4/07/2022 – Revised scheme – No objections/observations

01/11/2021 - The proposals/plans should ensure that they demonstrate compliance with the requirement B5 of Schedule 1 to the Building Regulations 2010 (as amended), access and facilities for the fire service.

Water

No comments received

Third party responses

No comments received

Consultation expiry

20 October 2020

Background

Raithwaite Hall Hotel comprises a country house hotel and spa with associated parking, gardens, and landscaping on the land at Raithwaite Estate, near to Sandsend. The overall development lies on both sides of the boundary of the National Park and Scarborough Borough Council. The majority of the hotel development is within the National Park, with the northern extension and conversion of the existing outbuilding opposite, along with the associated car parking being under Scarborough Borough Council's jurisdiction.

The entrance to the Estate is off the A174 Sandsend to Whitby Road, which fronts the Coast. It is located one mile from Sandsend Village and two miles from Whitby. The Estate is situated within a mature deep wooded valley and is generally secluded from wider public views due to the valley location and the local topography. There is no through road to anything else other than the Estate owned land from the A174.

In July 2018 planning permission was granted by Scarborough Borough Council on the main part of the Estate for the erection of 71 cottages, eighty-two apartments and 37 lodges for holiday use, a new restaurant, café and shop, additional car parking, roads and an extension to the footpath network including landscaping and ancillary works.

As amended, this application now seeks permission for the siting of three single storey lodges to provide five woodland rooms ancillary to the existing Hotel. The lodges would be sited to the west of the main hotel buildings, on the other side of the access road on the valley side partly screened by boundary trees, which screens the site from the access road which is also the route of a public footpath. The lodges would be clad in vertical larch cladding with mono-pitch sedum roofs and would be raised above the ground on micro pile foundations. Each woodland room would measure 5.35m wide x 8m long.

Each unit would measure a maximum height of 4.2m from floor level with the lower eaves' height measuring 3.4m.

The rooms would be positioned as two pairs of two rooms and a single lodge providing one room. Each woodland room would contain a small entry vestibule, a small kitchenette to provide basic meals and beverages from hotel delivered meal kits; a main bedroom, and an external terraced seating area.

Associated linkage paths would be created, but parking would be at the main car park with the hotel providing buggy transport at the beginning and end of guests stays.'

The scheme has been reduced in numbers during negotiations in response to consultation feedback from the Parish Council, North York Moors woodland and ecology officers. As requested by officers, the number of proposed lodges has been reduced from ten units to five units, (in the form of three lodge buildings rather than eight lodge buildings) with the retained lodges located on the eastern side of the site, close to the existing hotel and outside of the woodland.

Main issues

Local Plan

Strategic Policy J - Tourism and Recreation - seeks to support such development where it is consistent with the principles of sustainable tourism, does not lead to unacceptable harm to the local landscape character or an ecological or archaeological asset; provides opportunities for people to increase their awareness, understanding and enjoyment of the special qualities of the National Park; is of a quality, scale and design that takes into account and reflects the sensitivity of the local landscape; any accommodation is used only for short term holiday stays; it does not compromise the enjoyment of existing tourism and recreational facilities or Public Rights of Way.

Policy UE2 - Camping, Glamping, Caravans, and Cabins - seeks to permit small scale holiday accommodation in the Open Countryside where the site is screened by existing topography, buildings, or adequate well-established vegetation which is within the applicant's control. The accommodation should avoid extensive alteration to ground levels, have a low environmental impact, not lead to unacceptable harm in terms of noise and activity on the immediate area; not detract from the character, tranquillity or visual attractiveness of the area; and is of a high-quality design which complements its surroundings and is not isolated from an existing business or residential unit which will be used to manage the accommodation.

The policy refers to 'small scale' developments. Small scale is intended to mean development that conserves the natural beauty, wildlife and cultural heritage of the National Park. The supporting text sets out as a guide, sites comprising no more than twelve units are likely to be considered small in scale.

Strategic Policy K - The Rural Economy - seeks to support development that fosters the economic and social well-being of local communities where it promotes and protects existing businesses by providing flexibility for established rural businesses to diversify and expand; it helps maintain or increase job opportunities in the agricultural, forestry and tourism sectors and provides for and supports small and micro business through the provision of flexible start-up businesses; it provides additional opportunities to diversify and better equip the National Park's workforce, or provides additional facilities, or better use of existing facilities for educational and training uses.

Strategic Policy H - Habitats, Wildlife, Biodiversity and Geodiversity - seeks to ensure the conservation, restoration and enhancement of habitats, wildlife, biodiversity and geodiversity in the North York Moors National Park is given great weight in decision making.

Policy C02 - Highways - only permits new development where it is of a scale which the adjacent road network has the capacity to serve without detriment to highway safety.

Policy ENV4 - Dark Night Skies - seeks to ensure that the darkness of the night skies above the National Park are maintained, enhanced, and requires that all development will be expected to minimise light spillage through good design and lighting management.

Material considerations

Siting and design

The proposed lodges would be of lightweight timber clad construction with sedum roofs, and with pile foundations, so easily removed in the future.

The design is contemporary and due to woodland edge screening, would not be seen in the context of the main hotel building. The larch cladding would further reduce their visibility through the trees.

The lodges would be sited at the lower edge of the valley side and would not be visible from outside the Raithwaite Estate.

Highways

The proposal would result in an additional five bedrooms being provided within this existing substantial hotel. Consequently, it is not considered that the increase in traffic would be noticeable. Whilst the Parish Council have expressed concerns regarding increases in traffic movements, the Highway Authority has no objection to the proposal.

Ecology and woodland management

The scheme has been amended significantly to take the proposed development out of the more ecologically and woodland sensitive areas. The Authority's Ecologist and Woodland Officer have withdrawn their initial objections following the revisions to the scheme.

Character of area, activity levels and infrastructure

The site is within the grounds of the Raithwaite Hotel, which is a substantial commercial hotel business with significant ancillary developments within its grounds. It is not considered that the increase of five bedrooms would result in a noticeable increase in activity levels and would not put unnecessary pressure on existing infrastructure.

Tourism

The proposals would add to the existing range of accommodation provided on the Raithwaite Estate and would meet the aims and objectives of Strategic Policy J of the Local Plan, without any detrimental to the character of the locality.

Dark night skies

The site is in close proximity to the existing hotel building, and it is considered that as the number and type of any external lighting can be controlled by condition to ensure that light pollution is minimised, it is not considered that unacceptable light pollution would result.

Conclusion

The proposed development is considered to be in accordance with the Local Plan Policies outlined above and consequently, approval is recommended.

Pre-commencement conditions

Condition(s) 10 & 11 are pre-commencement conditions and have been agreed in writing with the applicant/agent.

Contribution to Management Plan objectives

Approval is considered likely to help meet Outcome 4 of the Management which seeks to place that lifts the nation's health and wellbeing and encourage visitors to make a positive contribution to the National Park.

Explanation of how the Authority has worked positively with the applicant/agent

The Authority's Officers have appraised the scheme against the Development Plan and other material considerations and recommended changes to the proposal including reduction in the number of units, so as to deliver sustainable development.