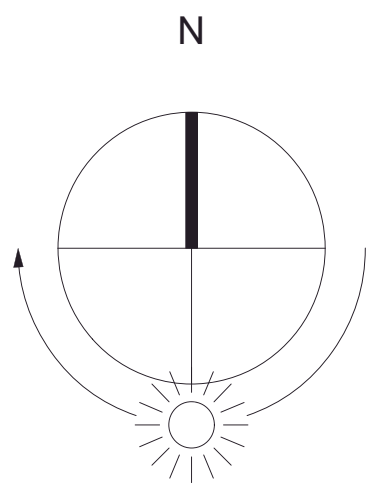


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Site Location Plan 1:1250

KEY

- Application Area
- Land in Same Ownership



NYMNP
03/10/2022

B	30.09.22	Planning Application	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn

Scale 1:1250 @ A3

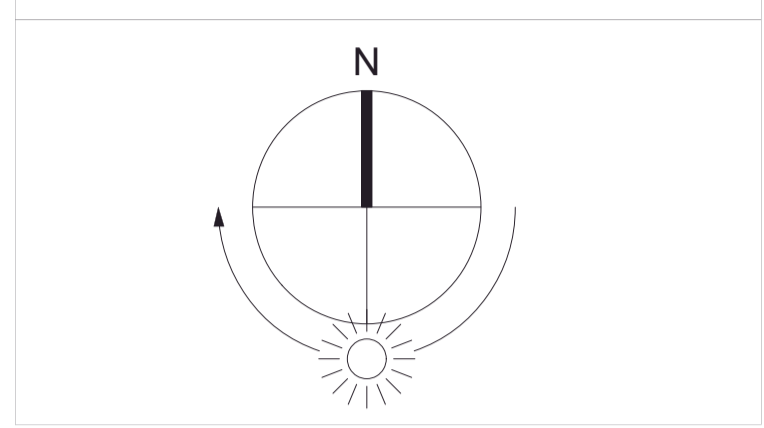
SIMMONS ARCHITECTS

www.simmonsarchitects.co.uk

Client	Mr James Noble		
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Site Location Plan		
Drawing No.	2204-00	Rev.	B



- KEY**
- Existing Construction Carefully Removed
 - Existing Construction Retained
 - Proposed Construction
 - Existing Tree Removed
 - Existing Tree Retained
 - Proposed New Tree



NYMNPA
03/10/2022

B	30.09.22	Planning Application	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn

Scale 1 : 200 @ A1



Client	Mr James Noble		
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Existing - Site Plan		
Drawing No.	2204-01	Rev.	B

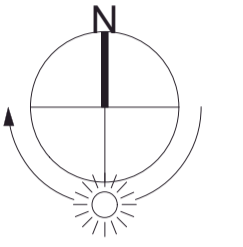


NYMNP A

03/10/2022

KEY

- Existing Construction Carefully Removed
- Existing Construction Retained
- Proposed Construction
- Existing Tree Removed
- Existing Tree Retained
- Proposed New Tree
- Existing Mains Foul Drainage



Proposed Materials:
(Applicable to all buildings/structures included in this application)

- Walls:**
Natural sandstone to match existing.
- Roof:**
Red pantiles to match existing.
- RW Goods:**
Black plastic.
- Glazed Screens, Doors & Windows:**
Black aluminium framed double glazed units recessed 100mm.
- Proposed Drainage:**
All surface water drainage will be to newly formed, below ground soakaways on site.
All foul drainage to connect to existing public sewer on site.

General Notes:
(Applicable to all buildings/structures included in this application)

- 1) Repair and retain as many architectural features as possible. All work to follow a principle of 'repair first, replace only if necessary'.
- 2) Any items shown as special interest to be preserved and protected during any construction work.
- 3) All works to be carried out by skilled craftsmen and in strict accordance with architect's drawings and specifications.
- 4) Surface finishes and colours not shown for clarity.
- 5) Existing roof finishes/structure being retained to be repaired or renewed as necessary, using best quality materials and to match existing and in accordance with the ecological requirements identified in the specialist report submitted with this application.
- 6) Existing stonework to be repaired or renewed as necessary, using best quality materials and to match existing. All cement-based pointing to be carefully removed and replaced with lime mortar.
- 7) All external parapets, architectural embellishments and window/door surrounds to be repaired or renewed as necessary, using best quality materials and to match existing.
- 8) All rainwater goods, air bricks and vents to be repaired or replaced using black plastic fittings.
- 9) Existing doors to be repaired or renewed as necessary using best quality materials.
- 10) All existing mechanical and electrical services to be stripped out and adjoining surfaces made good. New plumbing, drainage, heating and wiring throughout and to be chased into building fabric where necessary. Proposed radiators and/or underfloor heating not shown for clarity.
- 11) New floor finishes throughout with new subfloors to suit modern construction standards.
- 12) All internal wall/floor/ceiling finishes and plasterwork/joinery to be repaired or renewed as necessary, using best quality materials and decorated throughout.
- 13) All existing building fabric is to be repaired with the best available materials.
- 14) Making good of retained structure and faces upon formation of new openings to be in the highest quality materials and to match existing.
- 15) Insulation to be added within existing roof structures.
- 16) Underpinning and other structural remedial works to be carried out as necessary and to modern construction standards.
- 17) External security/ambient artificial lighting and CCTV to be renewed/upgraded.







B	30.09.22	Planning Application	CS
B	07.09.22	Building C Amended	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn
Scale 1 : 200 @ A1			

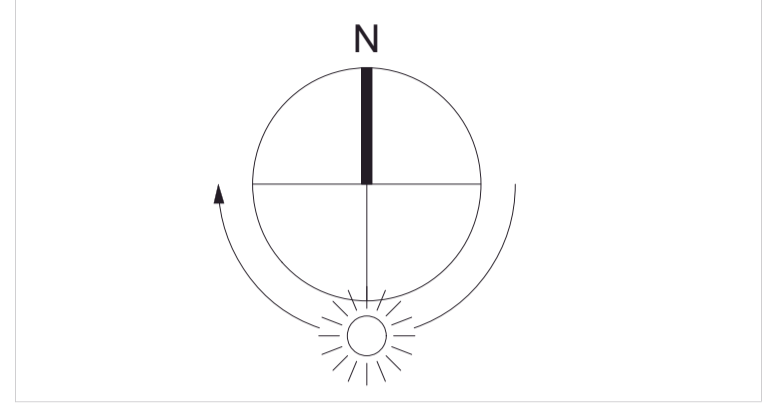
SIMMONS ARCHITECTS
www.simmonsarchitects.com

Client	Mr James Noble		
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Proposed - Site Plan		
Drawing No.	2204-11	Rev.	C




NYMNPA
03/10/2022

- KEY
-  Existing Construction Carefully Removed
 -  Existing Construction Retained
 -  Proposed Construction
 -  Existing Tree Removed
 -  Existing Tree Retained
 -  Proposed New Tree

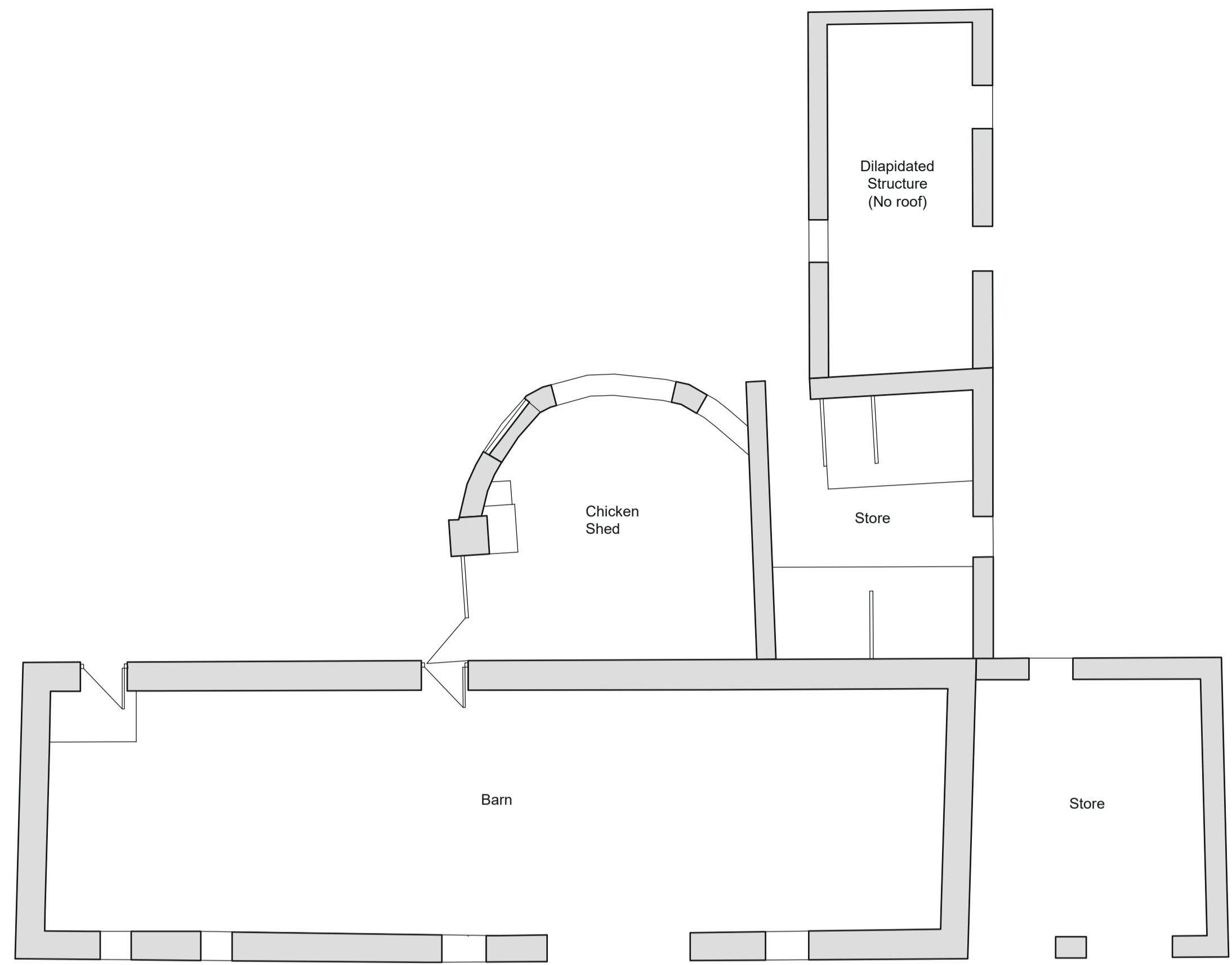


C	30.09.22	Planning Application	CS
B	07.09.22	Building C Amended	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn

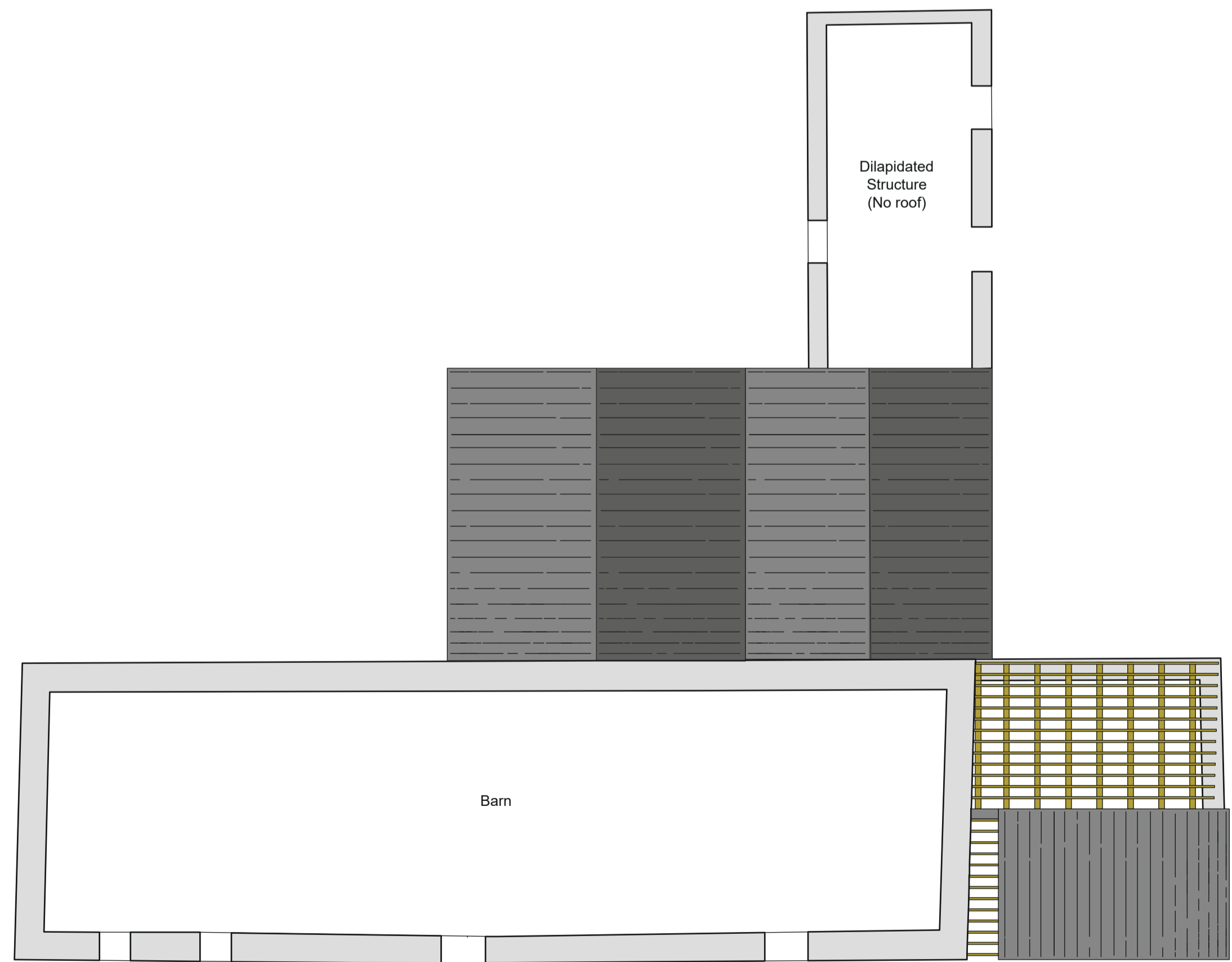
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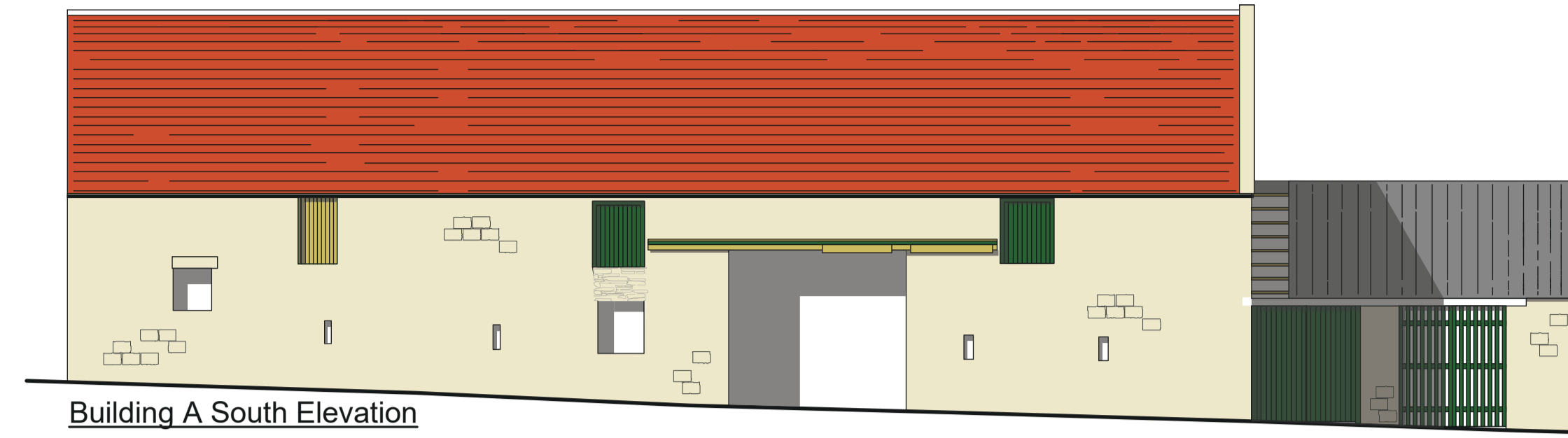
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Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Proposed - Block Plan		
Drawing No.	2204-15	Rev.	C



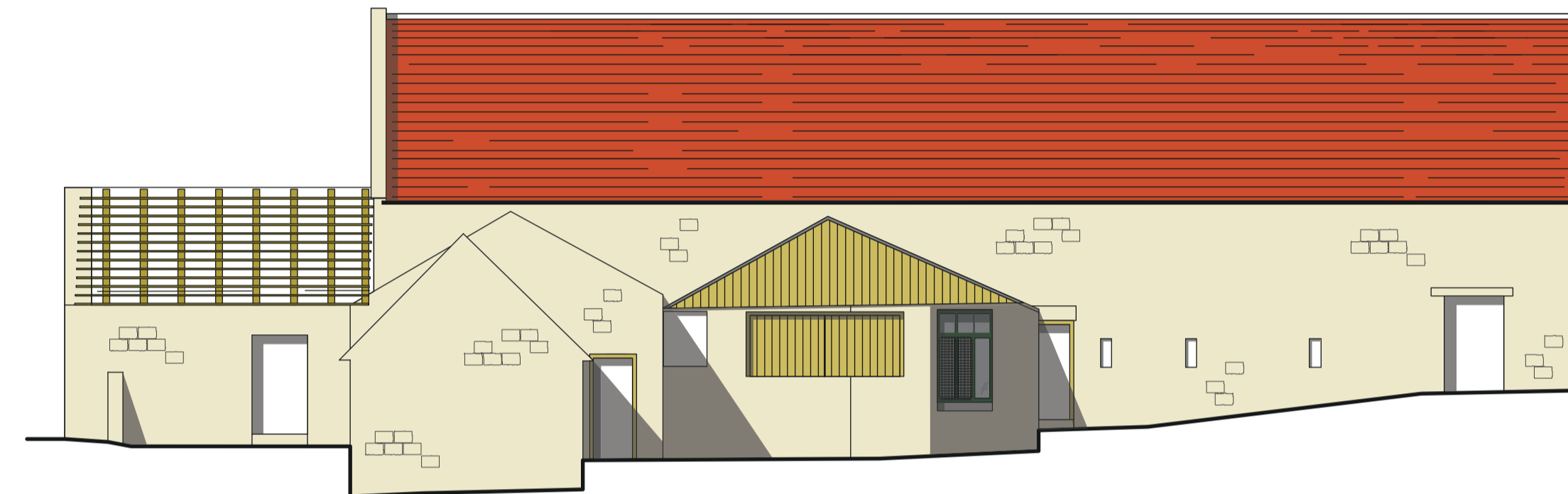
Building A Ground Floor Plan



Building A First Floor Plan



Building A South Elevation



Building A North Elevation



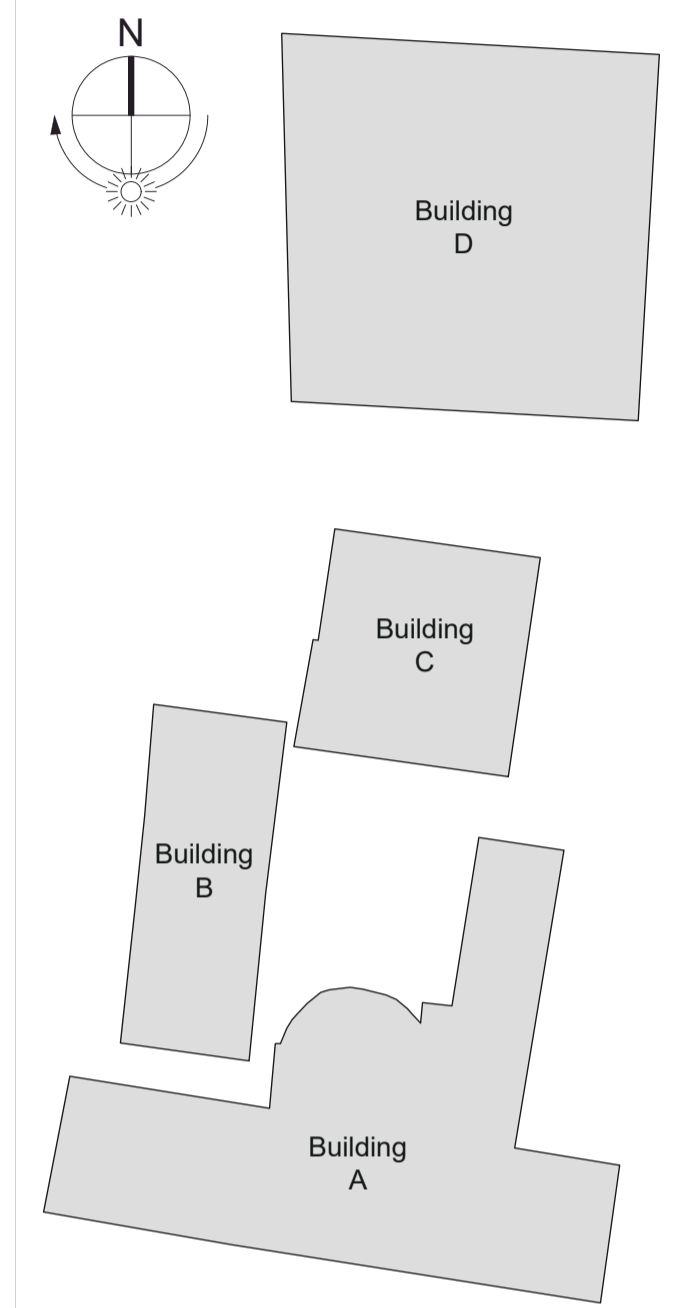
Building A West Elevation



Building A East Elevation

- KEY**
- Existing Construction Carefully Removed
 - Existing Construction Retained
 - Proposed New Construction
 - Areas with Less Than 1750mm Head Room
 - Existing Coursed Sandstone
 - Existing Brick
 - Existing Pantiles

REFERENCE PLAN



NYMNP

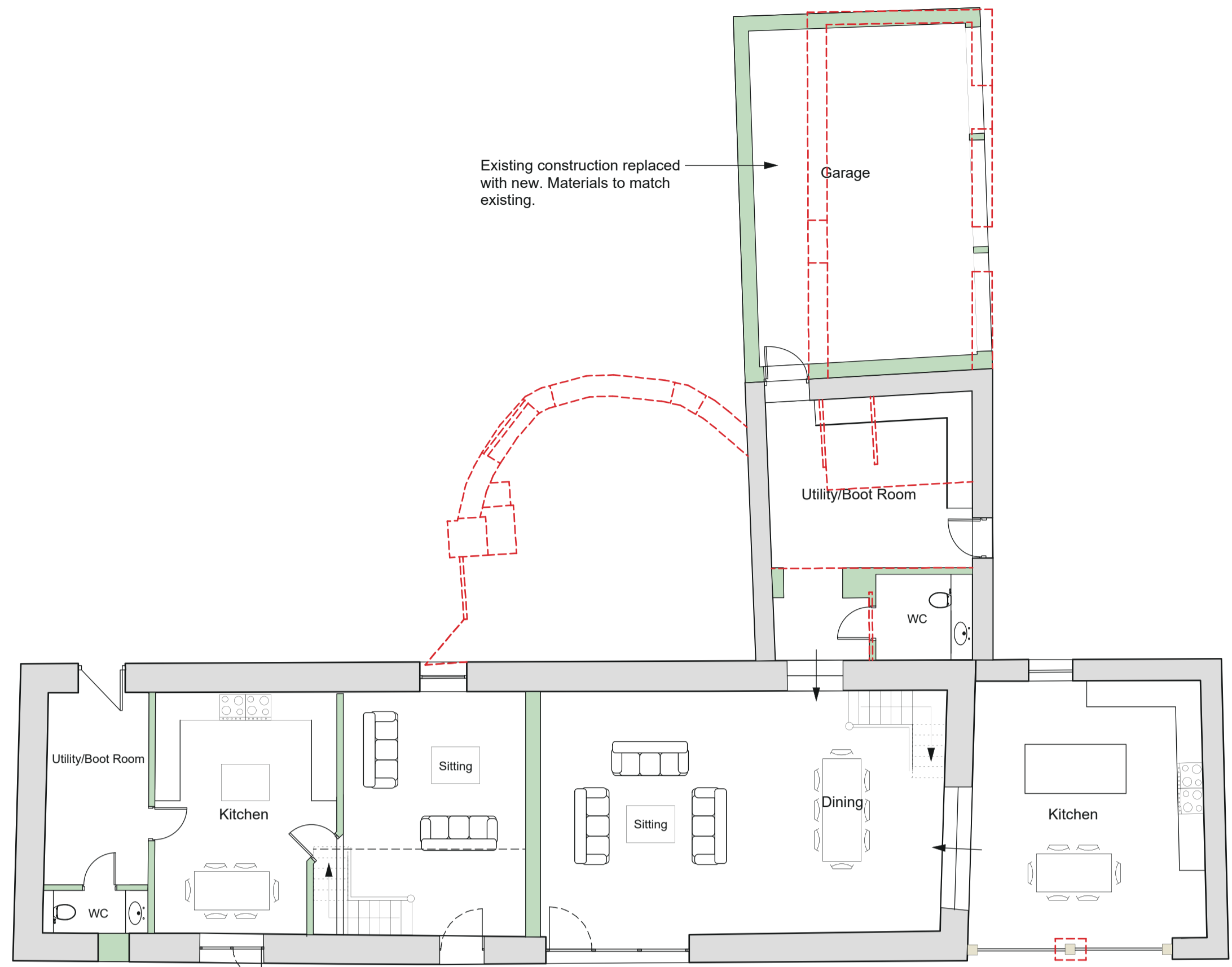
03/10/2022

B	30.09.22	Planning Application	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn

Scale 1 : 100 @ A1



Client	Mr James Noble
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP
Project Description	Alteration & Replacement
Drawing Title	Existing - Building Plans and Elevations - Building A
Drawing No.	2204-02
Rev.	B



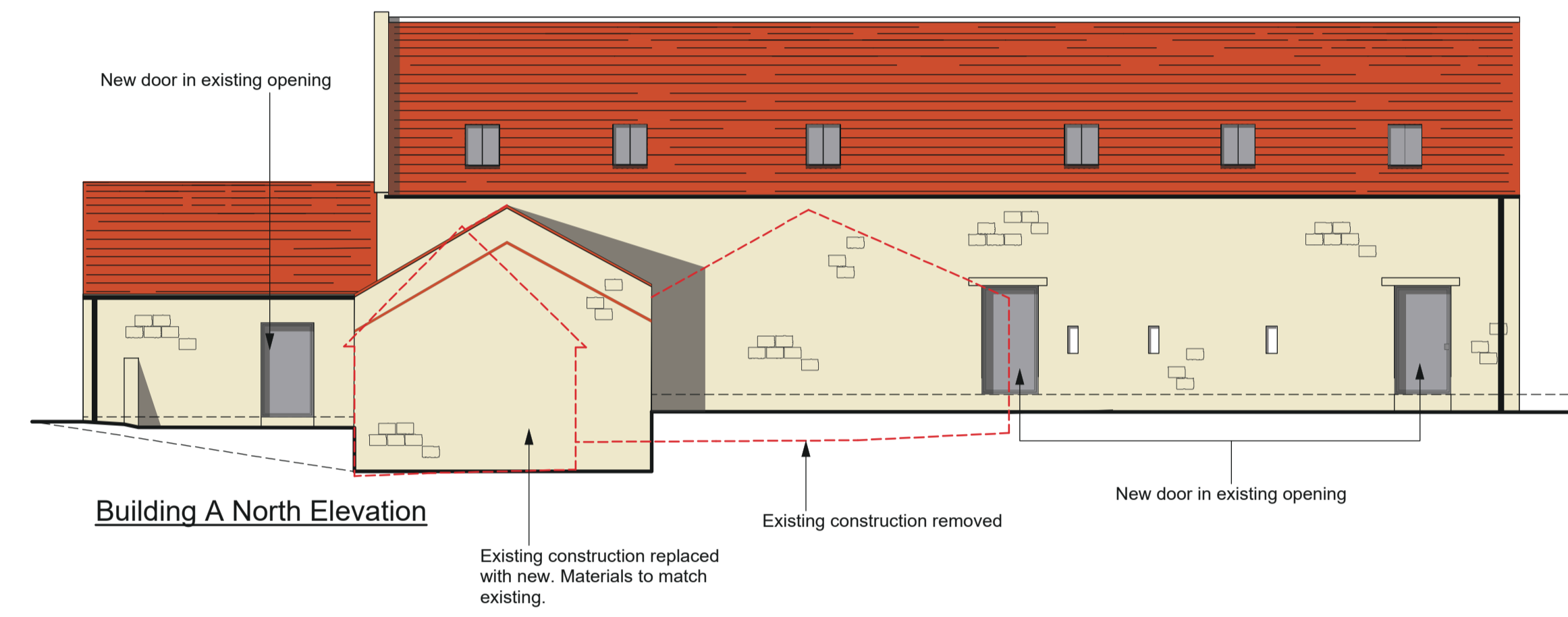
Building A Ground Floor Plan



Building A First Floor Plan



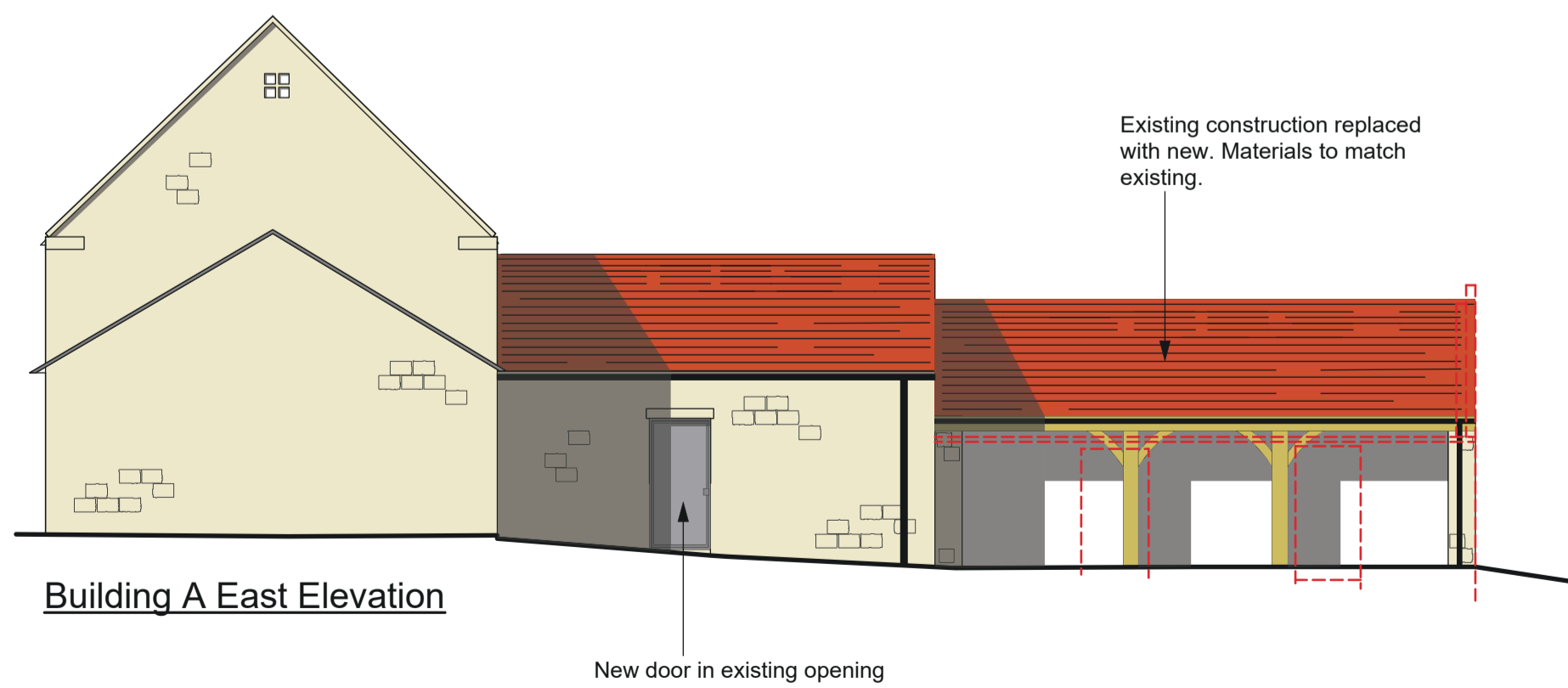
Building A South Elevation



Building A North Elevation



Building A West Elevation

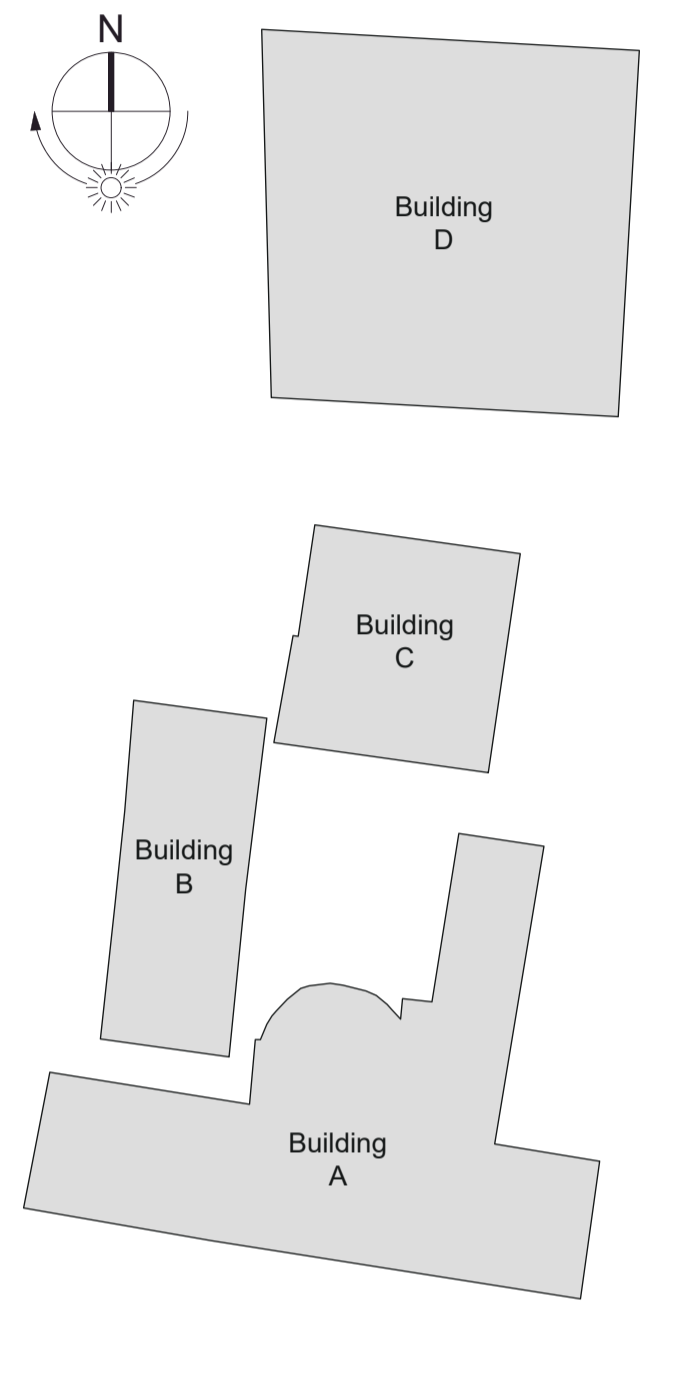


Building A East Elevation

KEY

- Existing Construction Carefully Removed
- Existing Construction Retained
- Proposed New Construction
- Areas with Less Than 1750mm Head Room
- Existing/Proposed Sandstone
- Existing/Proposed Brick
- Existing/Proposed Pantiles
- Existing/Proposed Timber

REFERENCE PLAN

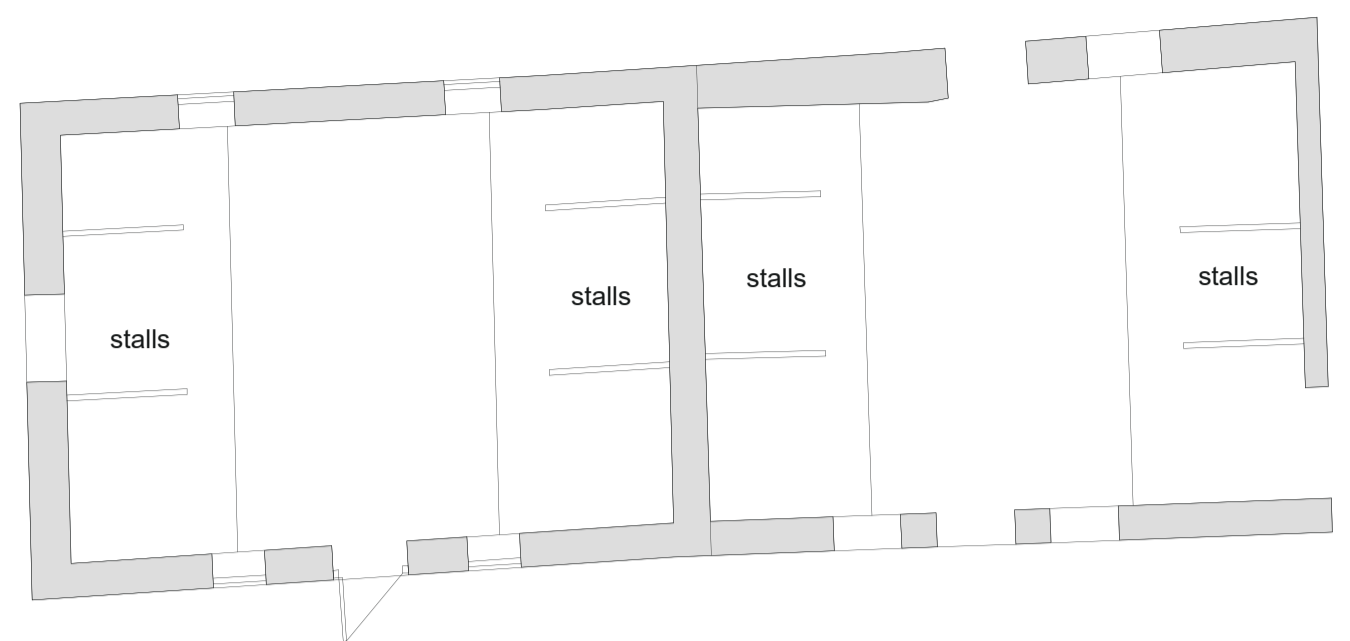


NYMNP

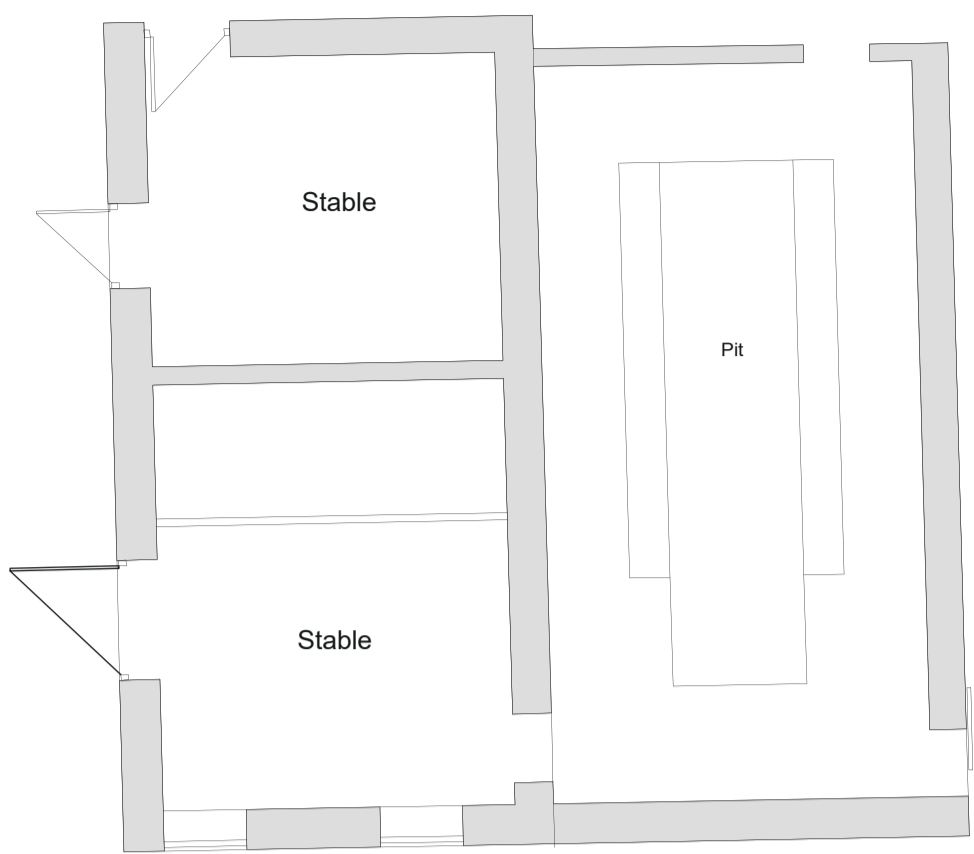
03/10/2022

B	30.09.22	Planning Application	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn
Scale 1 : 100 @ A1			
SIMMONS ARCHITECTS www.simmonsarchitects.com			
Client	Mr James Noble		
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Proposed - Building Plans and Elevations - Building A		
Drawing No.	2204-12	Rev.	B

NYMNP
03/10/2022



Building B Ground Floor Plan

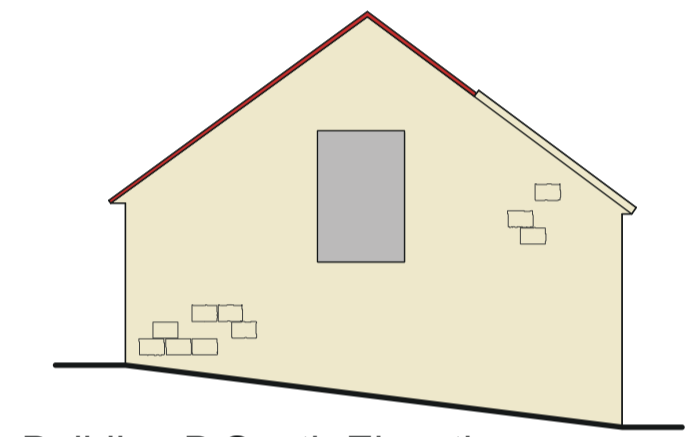
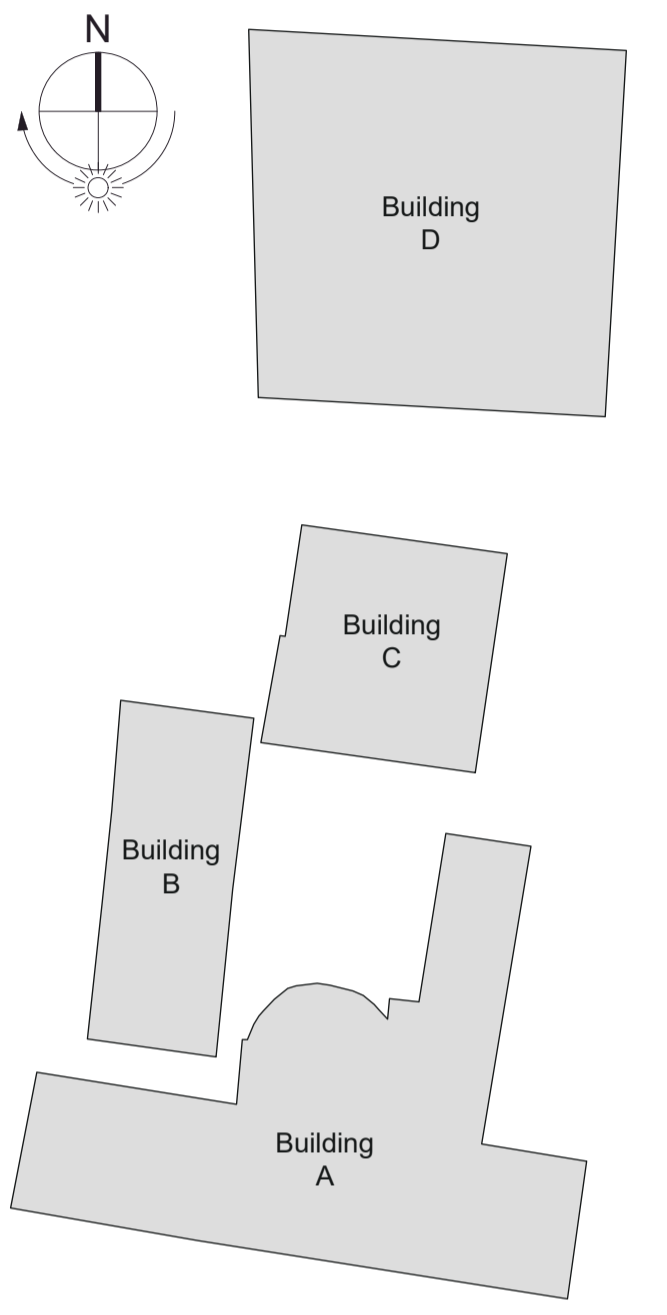


Building C Ground Floor Plan

KEY

- Existing Construction Carefully Removed
- Existing Construction Retained
- Proposed New Construction
- Areas with Less Than 1750mm Head Room
- Existing Coursed Sandstone
- Existing Brick
- Existing Pantiles

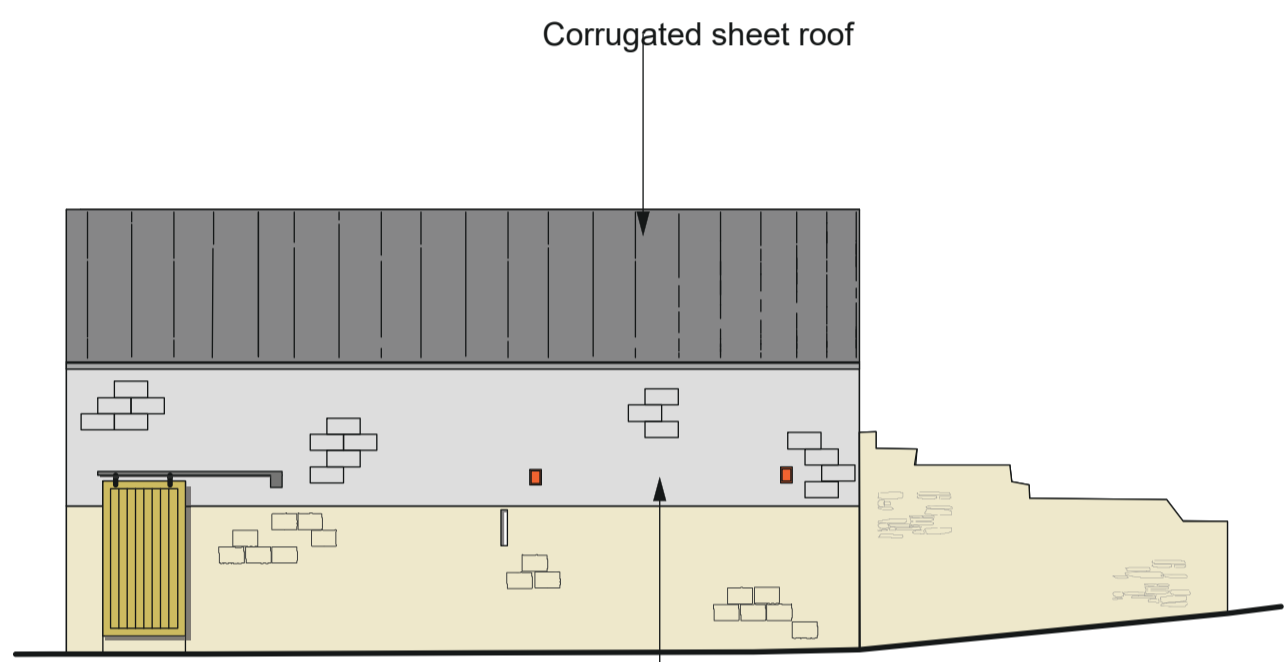
REFERENCE PLAN



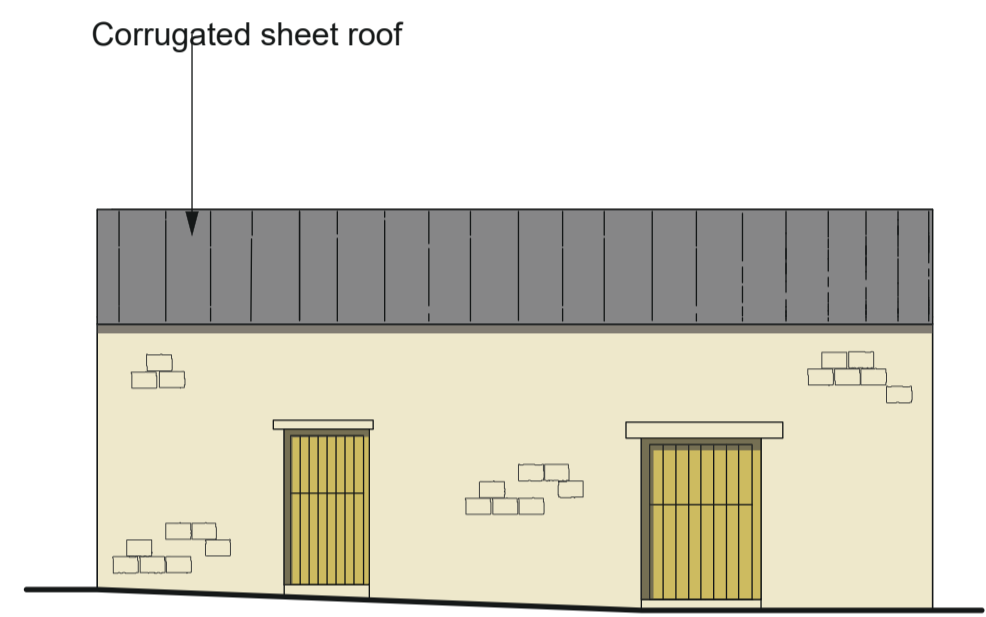
Building B South Elevation



Building B West Elevation



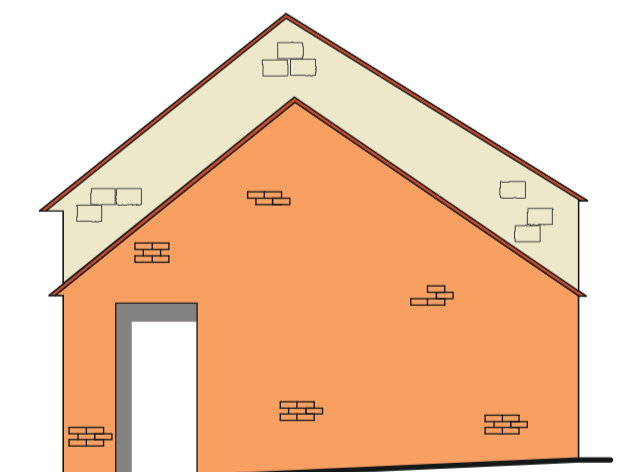
Building C North Elevation



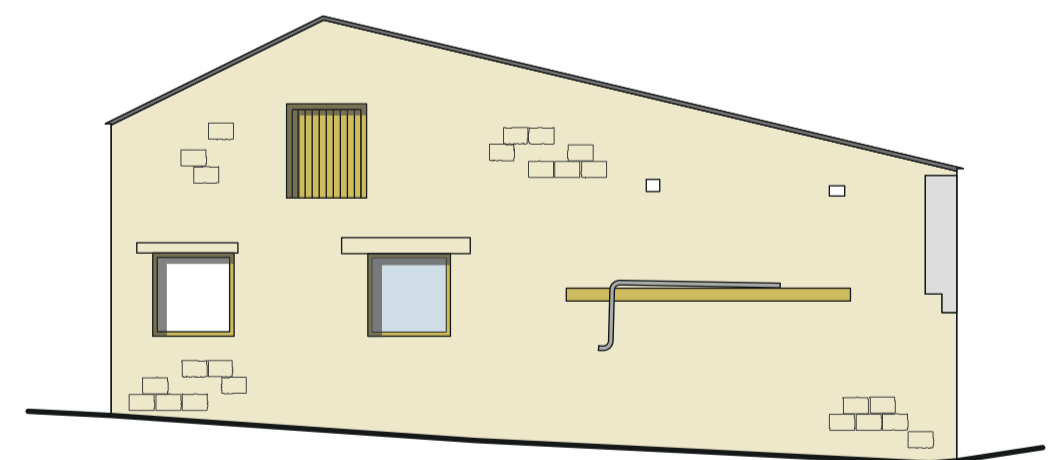
Building C South Elevation



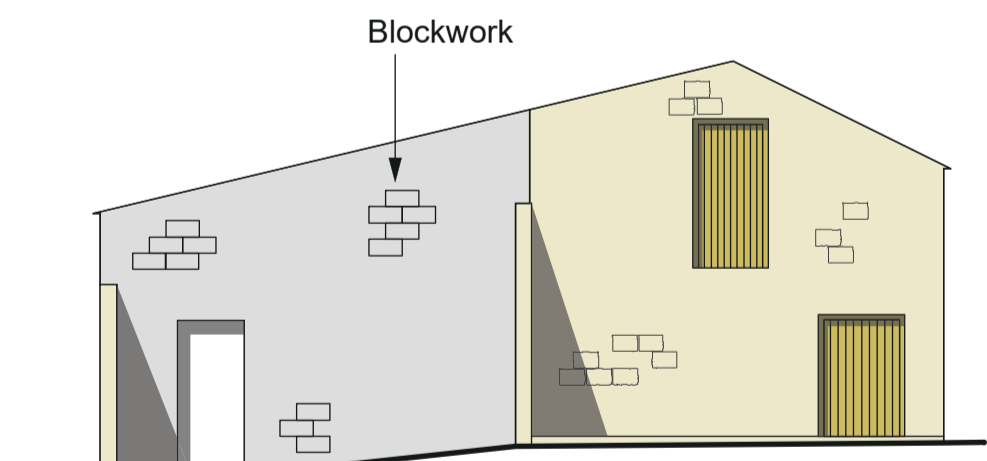
Building B East Elevation



Building B North Elevation



Building C East Elevation



Building C West Elevation

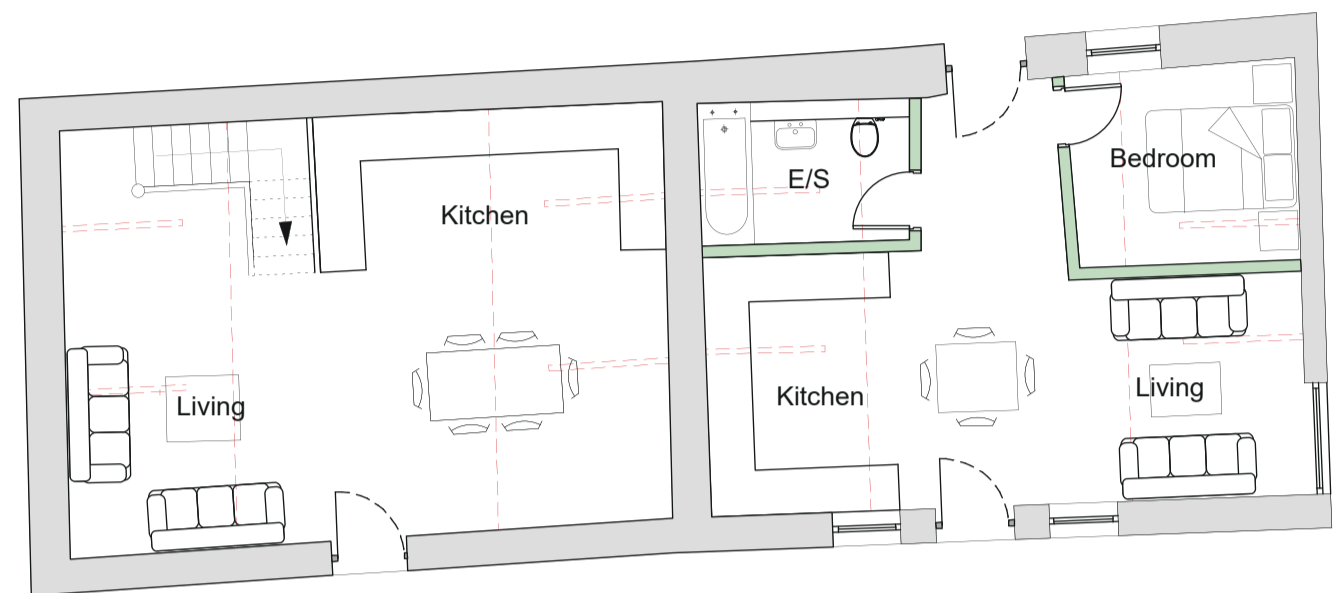
B	30.09.22	Planning Application	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn
Scale		1 : 100 @ A1	



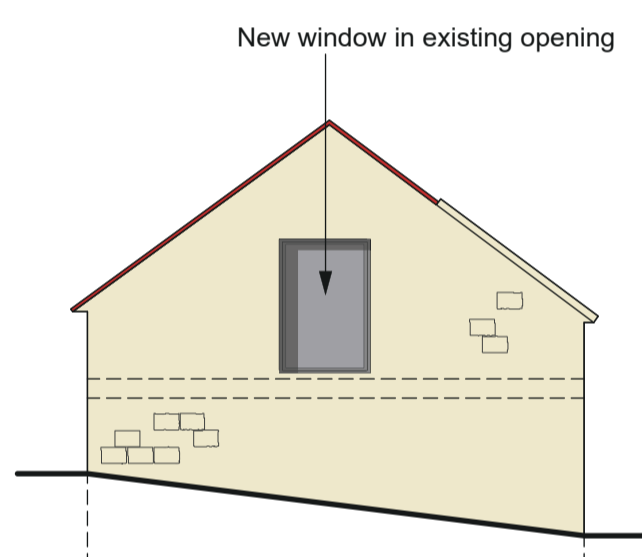
Client	Mr James Noble		
Project Address	Manor Farm, Sneton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Existing - Building Plans and Elevations - Buildings B & C		
Drawing No.	2204-03	Rev.	B



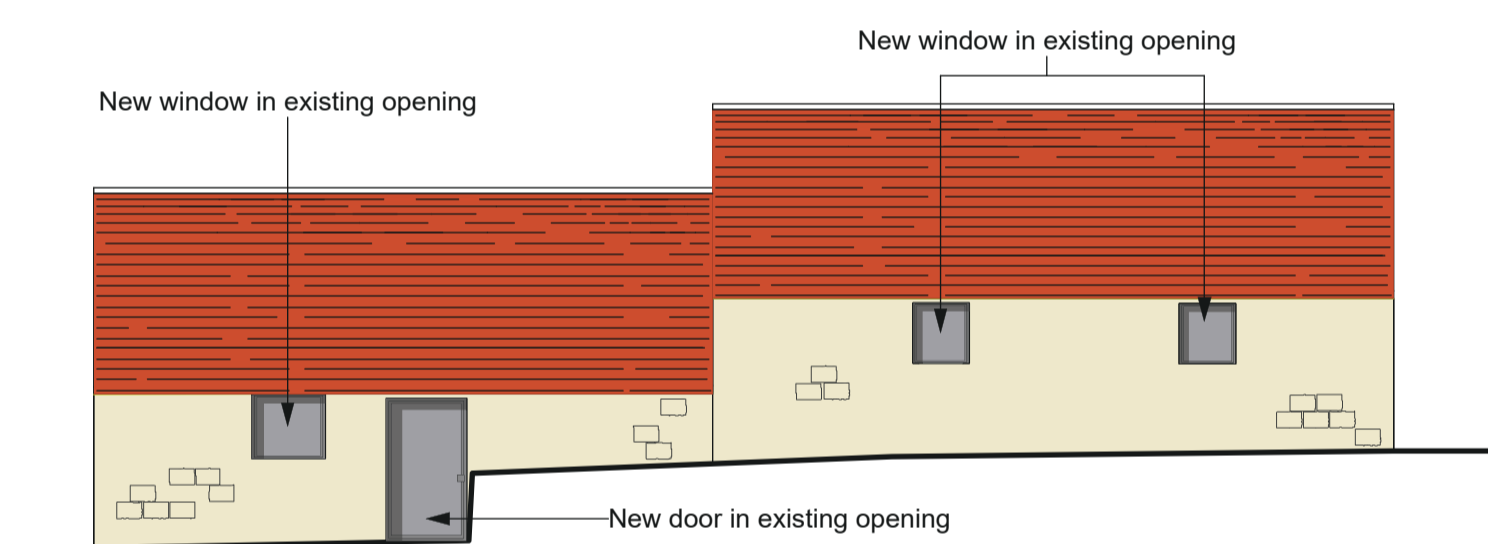
Building B First Floor Plan



Building B Ground Floor Plan



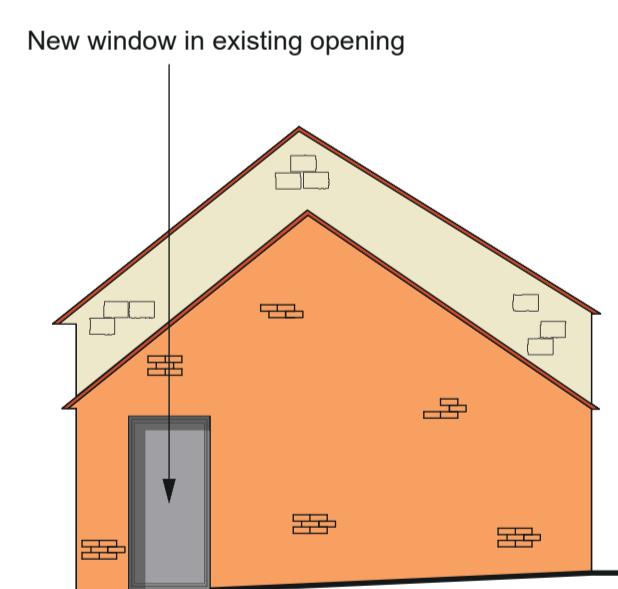
Building B South Elevation



Building B West Elevation



Building B East Elevation



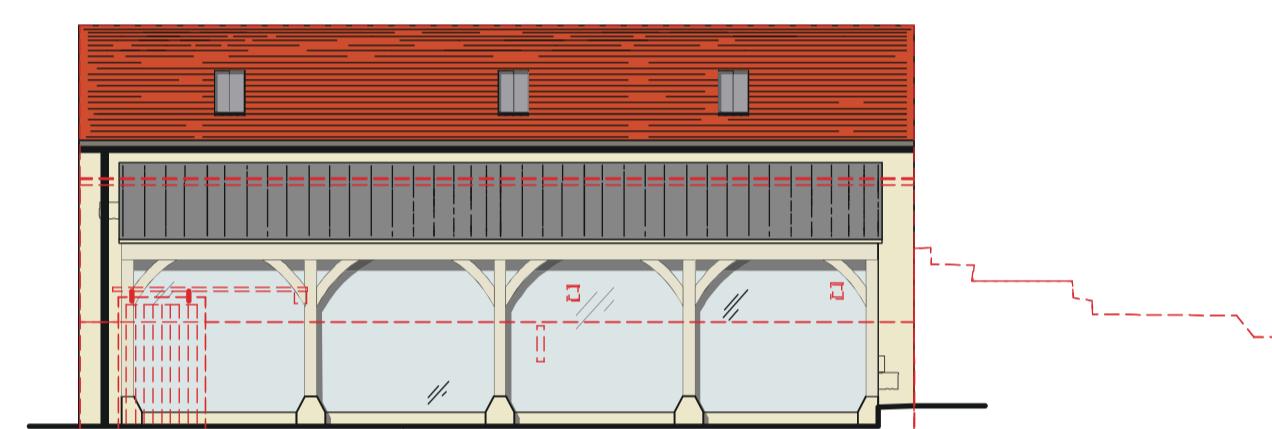
Building B North Elevation



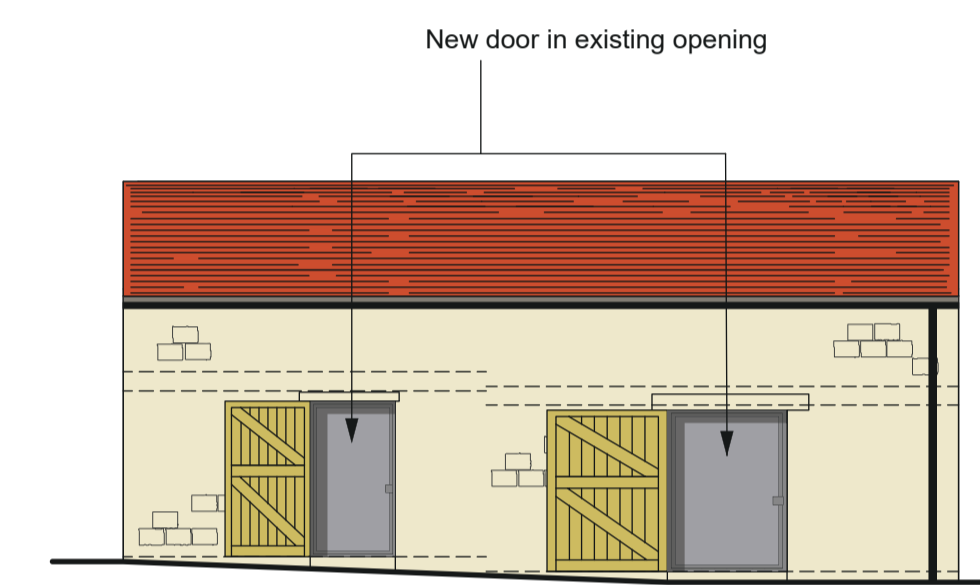
Building C Ground Floor Plan



Building C First Floor Plan



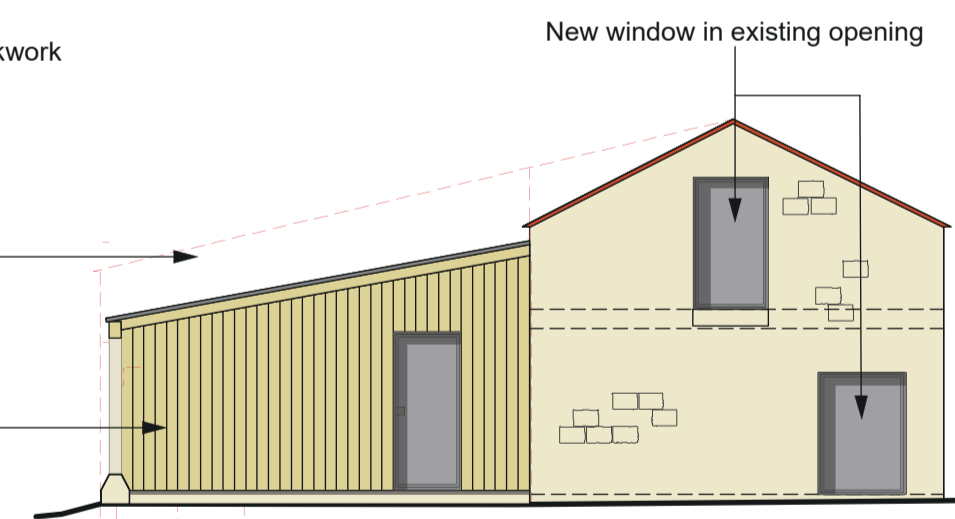
Building C North Elevation



Building C South Elevation



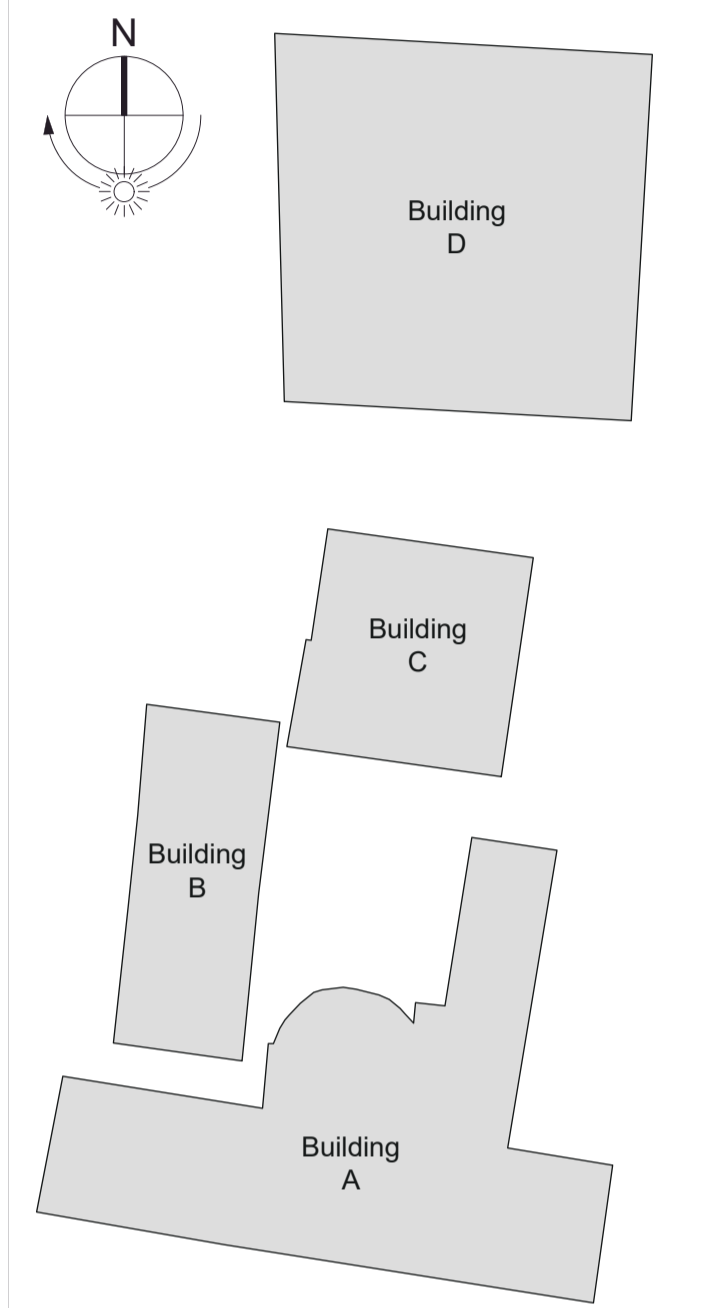
Building C East Elevation



Building C West Elevation

- KEY**
- Existing Construction Carefully Removed
 - Existing Construction Retained
 - Proposed New Construction
 - Areas with Less Than 1750mm Head Room
 - Existing/Proposed Sandstone
 - Existing/Proposed Brick
 - Existing/Proposed Pantiles
 - Existing/Proposed Timber

REFERENCE PLAN



NYMNP A

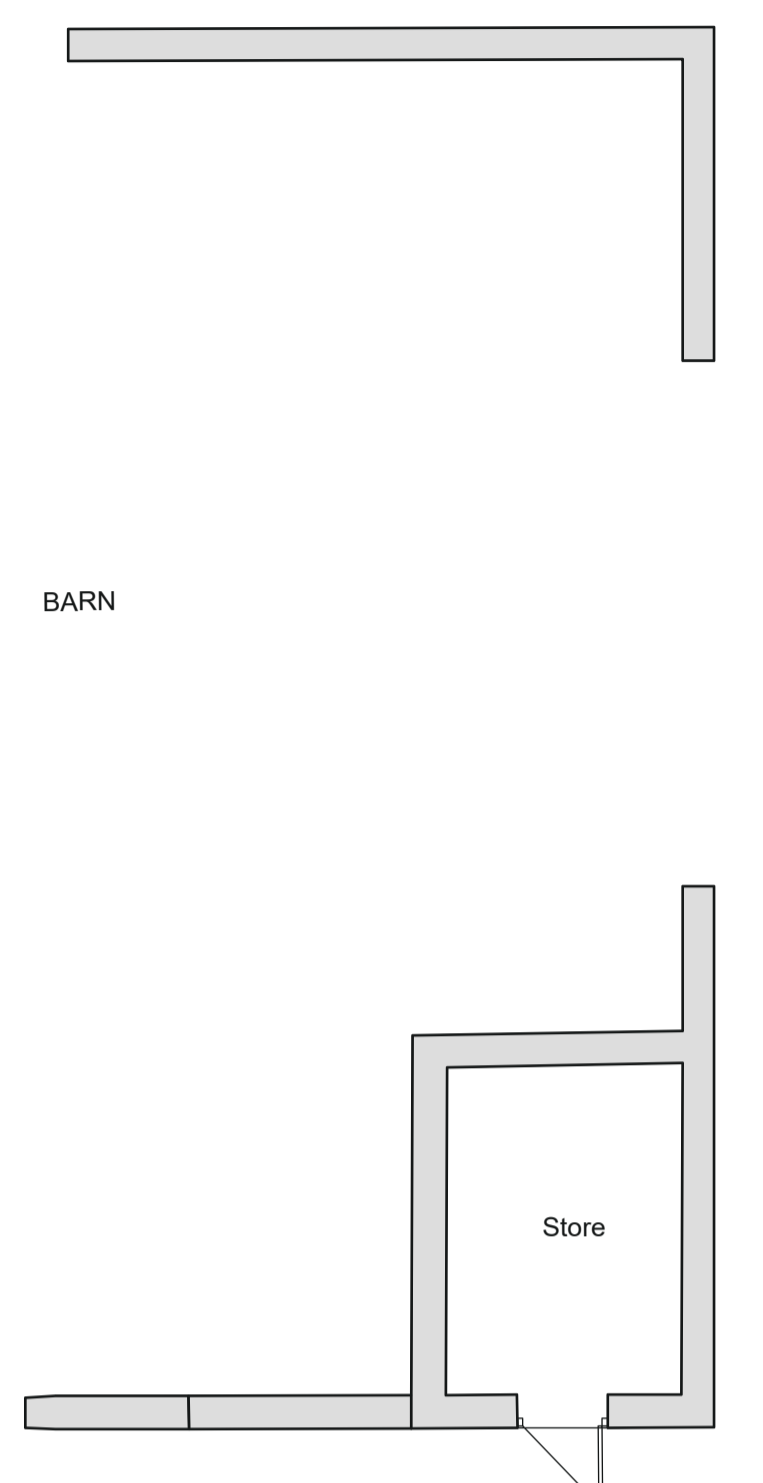
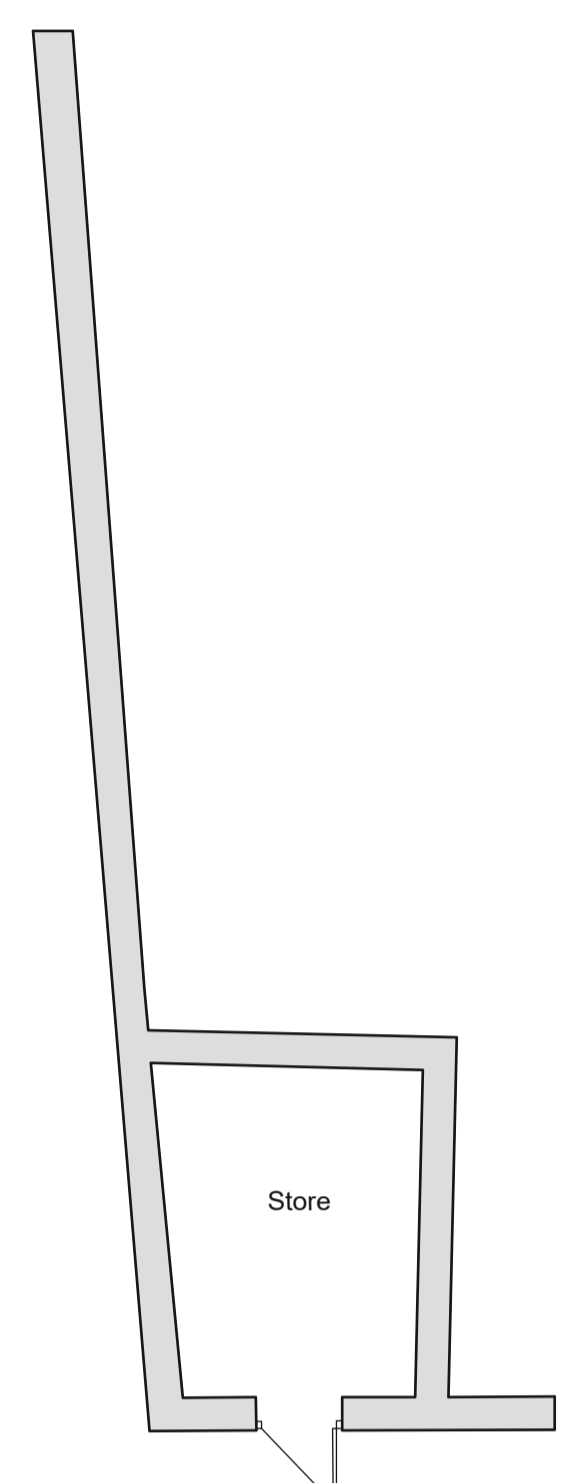
03/10/2022

C	30.09.22	Planning Application	CS
B	06.09.22	Building C Amended	CS
A	26.07.22	Pre-application Enquiry	CS
Rev	Date	Notes	Drawn

Scale 1 : 100 @ A1

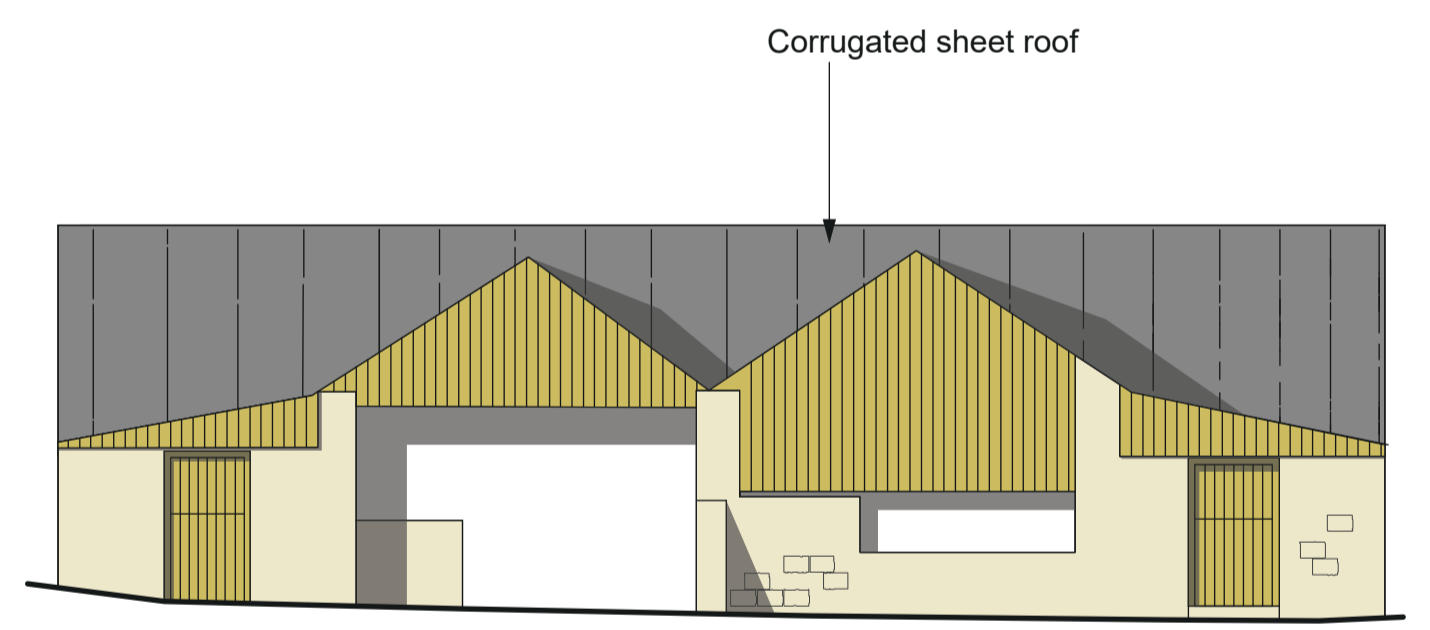
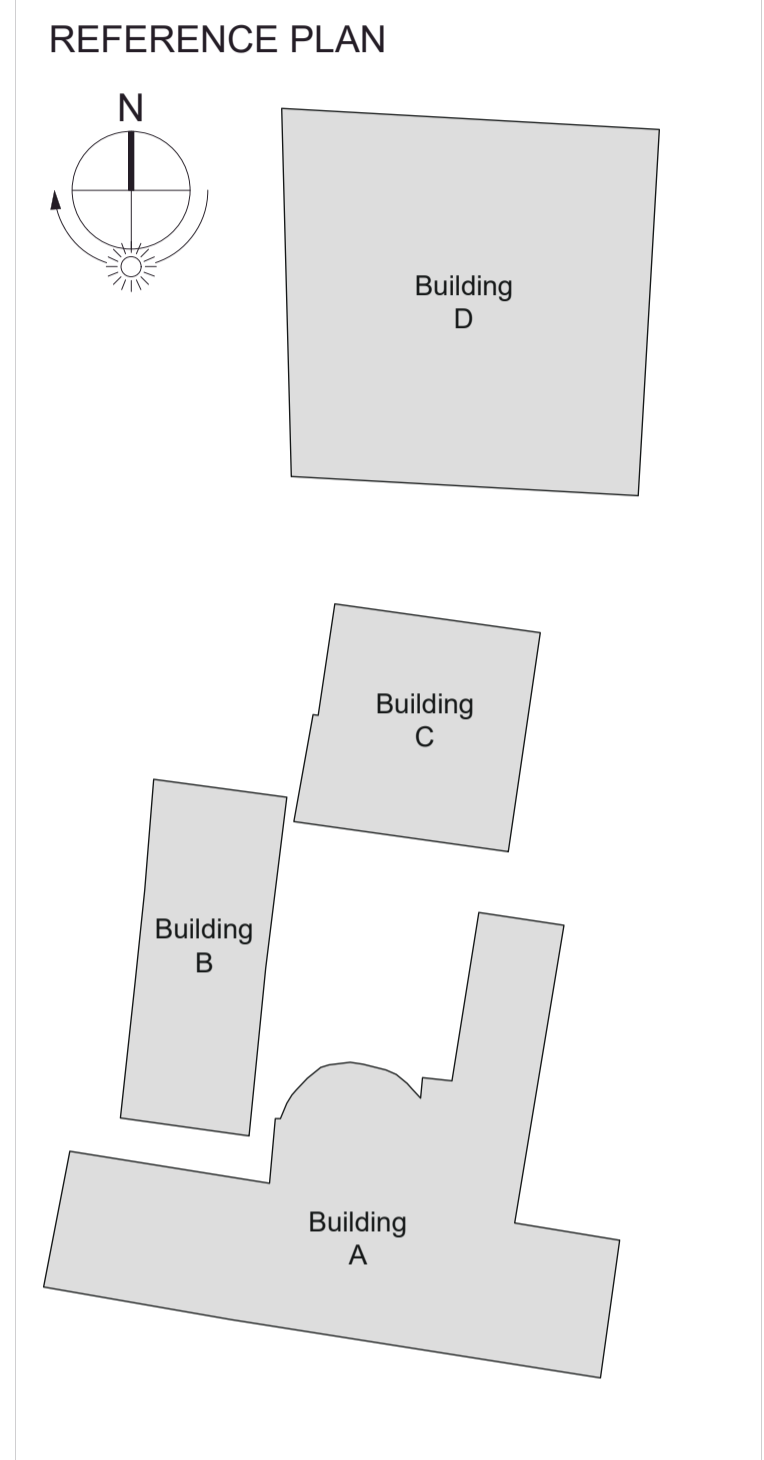


Client	Mr James Noble
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP
Project Description	Alteration & Replacement
Drawing Title	Proposed - Building Plans and Elevations - Buildings B & C
Drawing No.	2204-13
Rev.	C

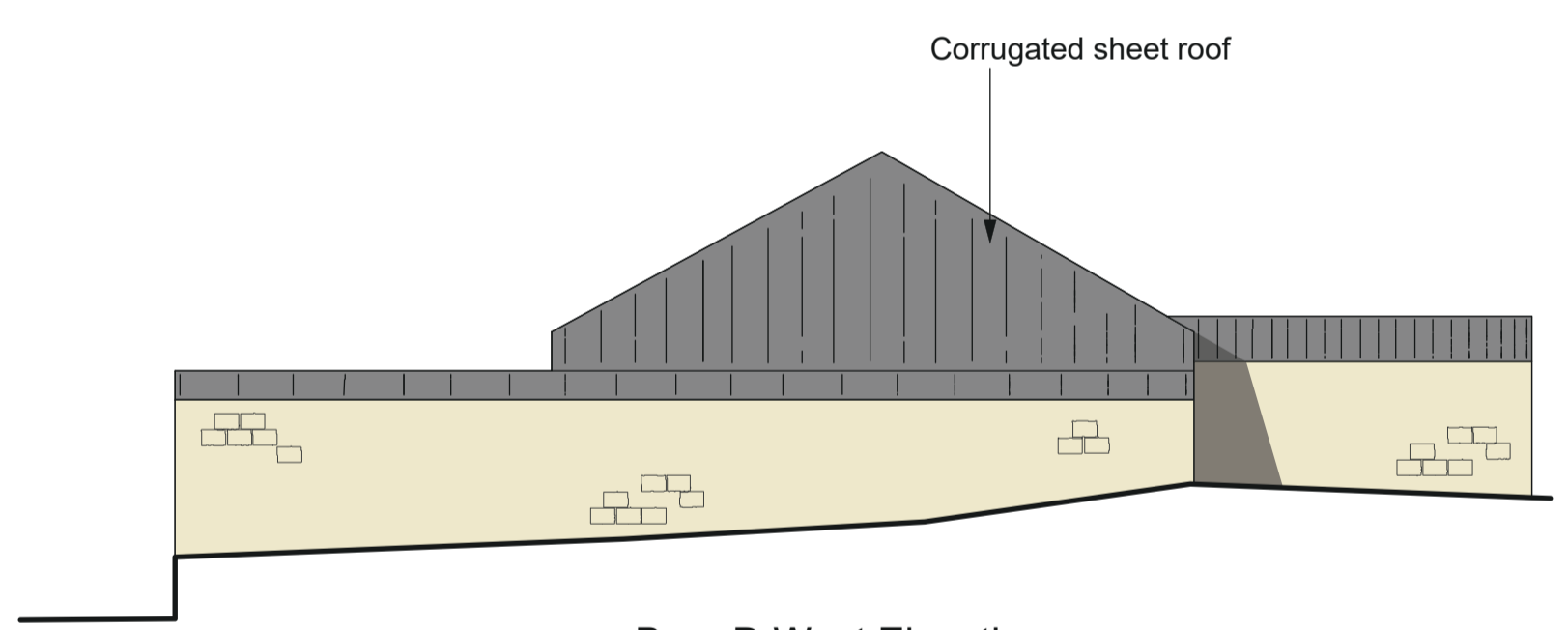


NYMNP
03/10/2022

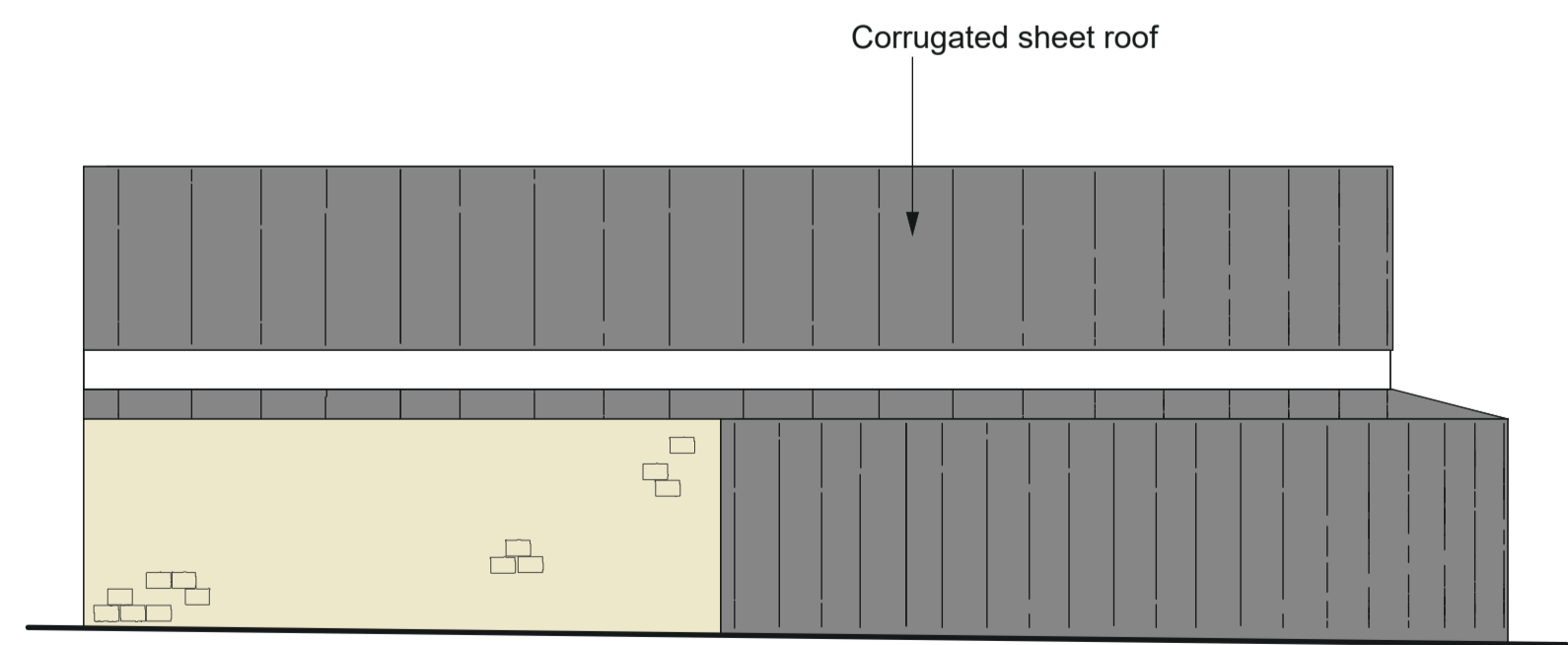
- KEY**
- Existing Construction Carefully Removed
 - Existing Construction Retained
 - Proposed New Construction
 - Areas with Less Than 1750mm Head Room
 - Existing Coursed Sandstone
 - Existing Brick
 - Existing Pantiles



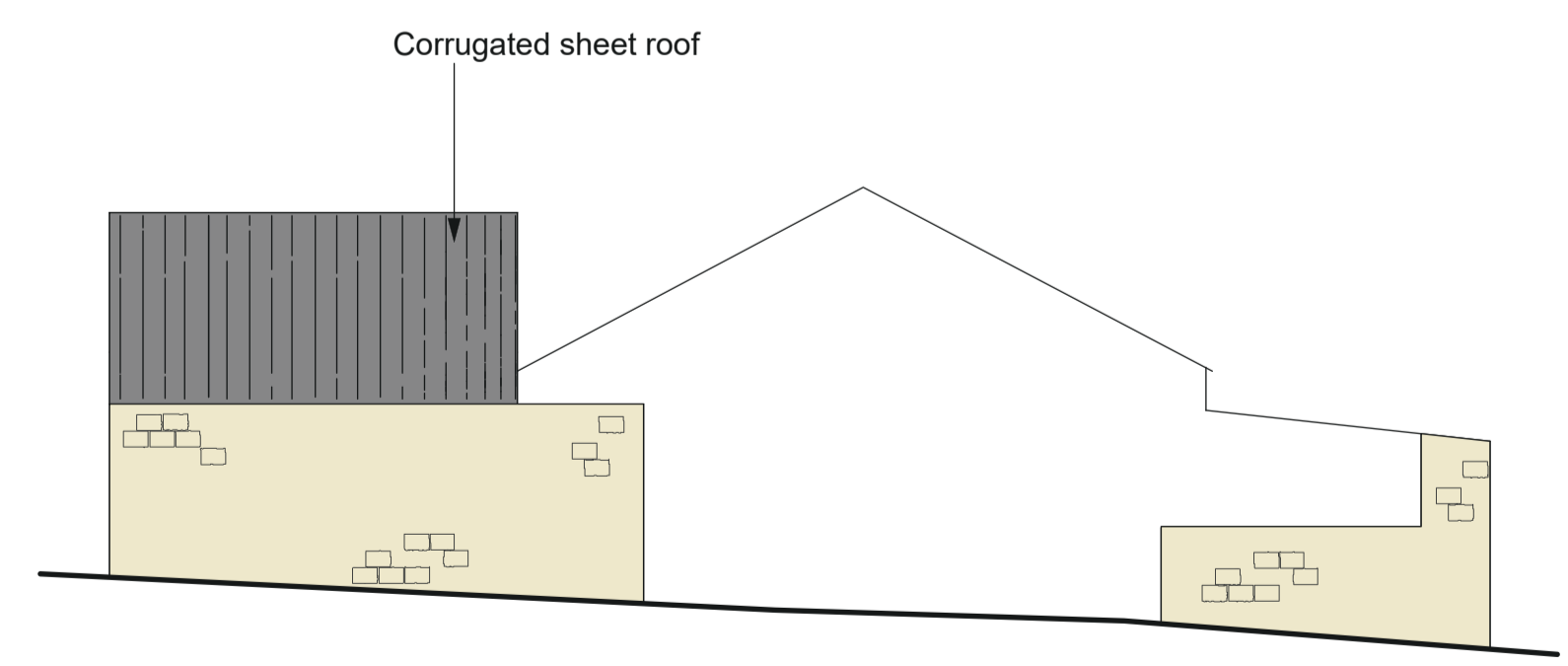
Barn D South Elevation



Barn D West Elevation



Barn D North Elevation



Barn D East Elevation

B	30.09.22	Planning Application	CS
A	26.07.22	Pre-application Enquiry	CS

Rev	Date	Notes	Drawn



Client	Mr James Noble		
Project Address	Manor Farm, Sneaton, Whitby, YO22 5HP		
Project Description	Alteration & Replacement		
Drawing Title	Existing - Building Plans and Elevations - Building D		
Drawing No.	2204-04	Rev.	B