

From: neil.
Sent: 14 November 2022 10:19
To: Victoria Flintoff
Subject: FW: Air source heating unit

Hi Victoria,
Our clients sent this to me as well.
It is quite a tidy appearance, they seem to have improved this from previous installations I have seen.

Kind regards
Neil



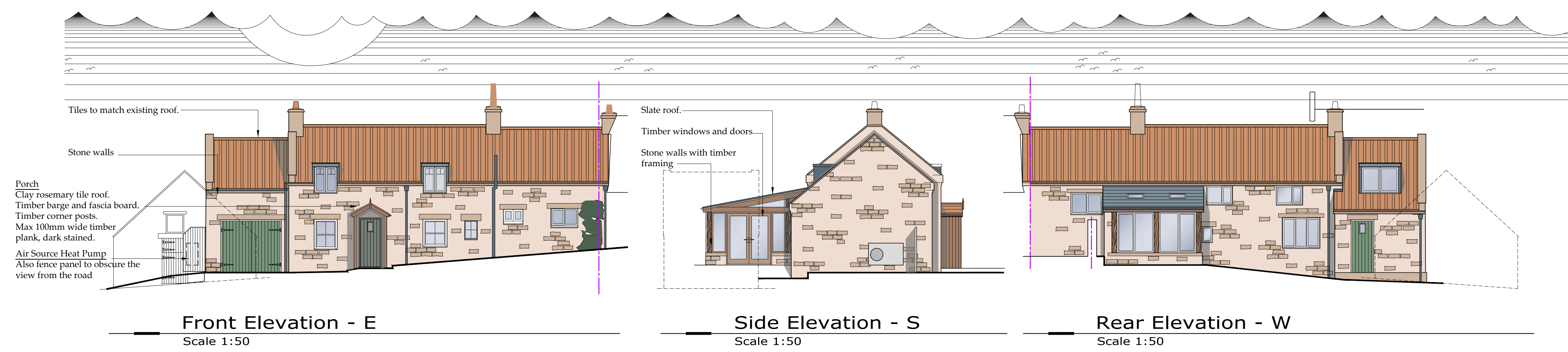
Sent from my iPhone

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NYMNPA
14/11/2022

AMENDED



Front Elevation - E
Scale 1:50

Side Elevation - S
Scale 1:50

Rear Elevation - W
Scale 1:50

Drainage
New below ground drainage pipes to be 'hepworth plastidrain' or similar. All new drainage to be laid at 1:40 falls. Pipes at depth of -0.6 to -7.5m cover to be bedded and surrounded in 100mm thick granular fill with 100mm granular material and 200mm selected as-dug material above.
The layout shown is provisional subject to excavation to locate existing runs. Should alterations be required, BHD to be advised. Confirm out fall level before starting drain runs.

Replace pipe with new PVC version. No joints below the new extension.

- Use UPVC waste pipes
- All fittings to have deep seal traps
- 40dia to Sink, washer etc.
- 32dia to WHB.
- 110 dia to WC

Plumbing & Heating
System to be designed installed and certified by specialist. Heating and hot water to be provided by new boiler.
Note:- max temp at point of use 43°C. Ensure protection against Legionella. Ensure full compliance with Building Regulations and Water Authority Bylaws.
Provide and fit kitchen and bathroom fittings as specified/agreed with client.

Lighting
Fixed internal lighting should comprise fittings that only take lamps with a luminous efficacy greater than 40 lumens per circuit-watt. The fittings will be installed in the areas affected by the work at a ratio of one per 25m² of dwelling floor area OR three per four fixed light fittings. All to Building control approval.

Surface Water drainage
Gutters to be 110mm diameter and downpipes 75mm diameter. Trapped gully entries for downpipes. Connect to soakaway as first priority.

Electrical Installation
Layout and position of fittings to be agreed with the client.
In accordance with Part P of the Building Regulations all electrical installation must be designed, installed, inspected, tested and certified in accordance with BS 7671:2001 Requirements for Electrical Installations. The 'Competent person' responsible for the electrical installation should supply these details to the Local Authority.
The contractor is to include all necessary cables, conduits, clips and associated fittings and fixtures to complete the entire system. All sockets, lighting & appliances are to comply with all current legislation and I.E.E. Regulations. All accessible sockets and outlets to be between the zone 450mm and 1200mm, in accordance with Part M of the Building Regulations. Automatic smoke detection to comply with part 'B1' of the building regulations & certified upon completion.
Note: 50% of all sockets to have USB points integral.
Garage to have basic power including car charging point.

Accessible doors and windows.
All accessible doors and windows to comply with part Q, security.
External doors
Ground floor doors to have a min. clear opening of 800mm.
Mechanical Extraction
Extraction rates are as follows:
• Kitchen - 30 l/sec
• Bathroom - 15 l/sec

Ventilation system to be designed and fitted by a competent person. All in accordance with Part F of the Building Regulations.
Mechanical extract fans to be designed in accordance with CIBSE Guide B 2005.
Heat loss calc.
This property will require a heat loss calculation to justify glazing to be provided by others.

WOOD BURNING STOVE
Provide and fix log burning stove and insulated flue pipe angled at max 45° across the gable wall to ensure vertical section exits roof at rear of ridge. Log burner sat on stone flagg hearth. Fit air brick to ensure adequate ventilation. Hearth to be constructed in accordance with Approved Document J.
Hearth to be made of non-combustible board/sheet material or tiles at least 12mm thick, if the appliance is not to stand in an appliance recess and it has been independently certified that it cannot cause the temperature of the hearth to exceed 100°C.
Note: Flue to be fitted into existing chimney at first floor level. Extraction levels to be checked by manufacturer/specialist to confirm acceptable due to open area to kitchen.

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Stair:
New staircase as shown at approximately 800mm wide. Set out stairs to ensure 2m min headroom achieved.
Provide and fix timber staircase with 12no. risers of approximately 187mm and 11no. treads and winders of approximately 225mm and with timber strings to suit.
Timber handrails at 900mm high (1100mm high at first floor landing) 75mm square newel posts and spindles all to suit clients. (gaps between spindles must not be of a size that would allow the passage of a 100mm sphere.)
All dimensions to be checked on site prior to fabrication.

Steel Column C2
Post 150x150x5.0 SHS and foundation 750x750x300mm with A193 mesh to bottom face, as designed by structural engineer.
depth to be 900mm below G.L. unless directed by Building Control Officer. Allow for minimum 150mm cover.

Rooflight
Trim out opening for 2No. 980x660 rooflight. Double up rafters to either side. All flashings provided to be fitted in accordance with manufacturers instructions.
NOTE: Due to low pitch an insulated kerb solution is required eg. Velux EAW 6000.

Break through wall and create new opening 1500 x 1800, Fit new beams B2 designed by Structural Engineer to support existing wall above. Make good wall and floor. Ensure wall fully supported throughout works.

Break through wall and increase existing opening to 1200mm wide, Fit new beams B3 designed by Structural Engineer to support existing wall above. Make good wall and floor. Ensure wall fully supported throughout works. Wall up existing door opening using construction to match existing.

Stair:
New staircase as shown at approximately 1200mm wide. Set out stairs to ensure 2m min headroom achieved.
Provide and fit staircase with 4no. risers of approximately 150mm and 3no. treads of approximately 225mm and with timber strings to suit.
Timber handrails at 900mm high (1100mm high at first floor landing) 75mm square newel posts and spindles all to suit clients. (gaps between spindles must not be of a size that would allow the passage of a 100mm sphere.)
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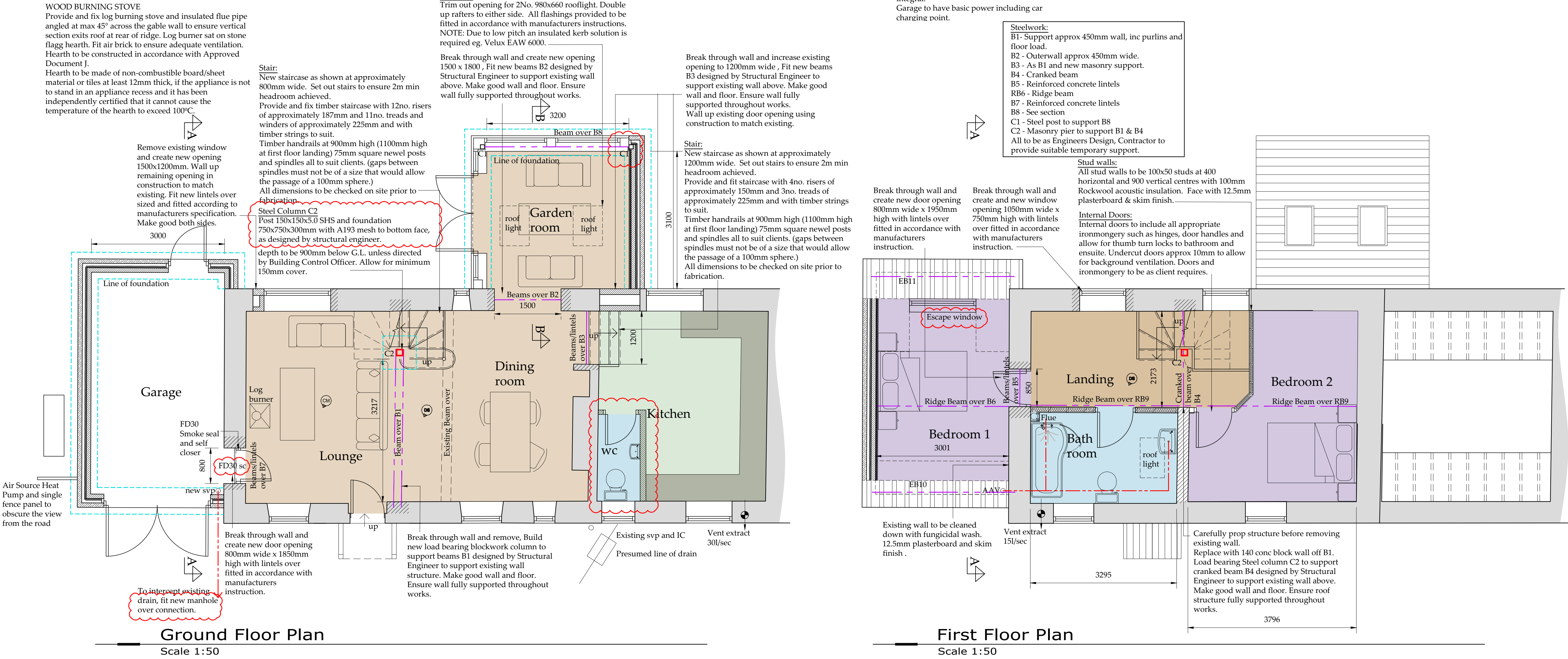
Steelwork:
B1 - Support approx 450mm wall, inc purlins and floor load.
B2 - Outerwall approx 450mm wide.
B3 - As B1 and new masonry support.
B4 - Cranked beam
B5 - Reinforced concrete lintels
B6 - Ridge beam
B7 - Reinforced concrete lintels
B8 - See section
C1 - Steel post to support B8
C2 - Masonry pier to support B1 & B4
All to be as Engineers Design. Contractor to provide suitable temporary support.

Stud walls:
All stud walls to be 100x50 studs at 400 horizontal and 900 vertical centres with 100mm Rockwool acoustic insulation. Face with 12.5mm plasterboard & skim finish.

Internal Doors:
Internal doors to include all appropriate ironmongery such as hinges, door handles and allow for thumb turn locks to bathroom and ensuite. Undercut doors approx 10mm to allow for background ventilation. Doors and ironmongery to be as client requires.

Break through wall and create new door opening 800mm wide x 1950mm high with lintels over fitted in accordance with manufacturers instruction.

Break through wall and create new window opening 1050mm wide x 750mm high with lintels over fitted in accordance with manufacturers instruction.



Ground Floor Plan
Scale 1:50

First Floor Plan
Scale 1:50

Drawing for Planning and Client consideration only

REV	DATE	BY	AMENDMENT
K	01/11/22	NID	Air Source and screening
J	18/01/22	CE	Amended to suit b con
I	10/01/22	CE	Amended to suit b con
H	07/12/21	NID	Structural Detail
G	01/11/21	CE	Construction notes added
F	20/10/21	CE	Porch altered
E	22/09/21	CE	Roof lowered, porch amended
D	29/06/21	CE	Coloured
C	21/06/21	CE	Amended to suit client
B	07/06/21	CE	Amended to suit client
A	17/03/21	CE	Issued for approval

bhd partnership
Architecture + Engineering

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Whitby, N. Yorks. YO21 1QB.
P: +441947 604871 F: +441947 600010
E: general@bhdpartnership.com

CLIENT: Mr G Withers

PROJECT: Ivy Cottage
Egton YO21 1TX

Drawing: Proposed
Floor plans
and Elevations

DRAWING STATUS: Preliminary

DRAWN: C Eynon CHECKED: N I Duffield

SCALE @ SIZE: 1:50 @ A1 DATE: 25/02/21

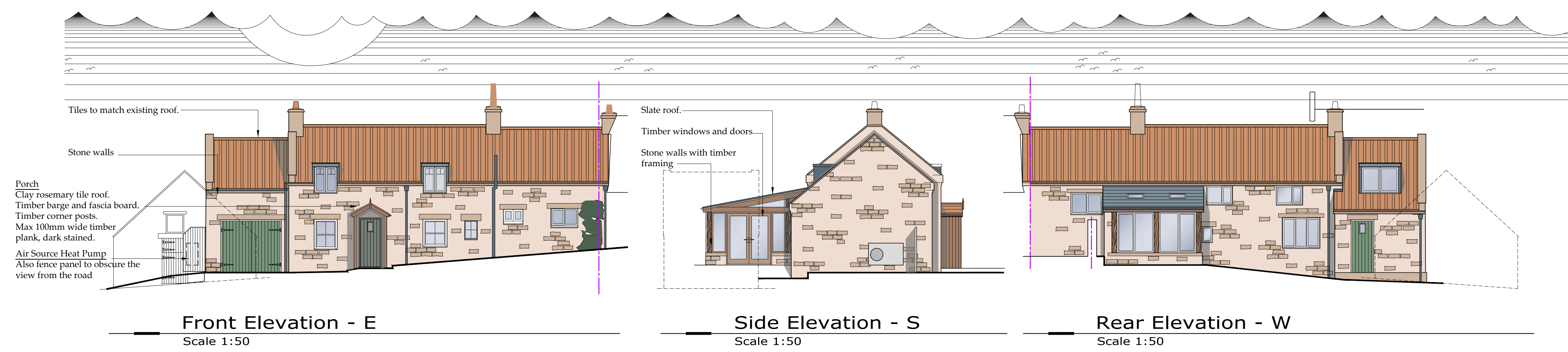
DRAWING No: D12063-03 REV: K

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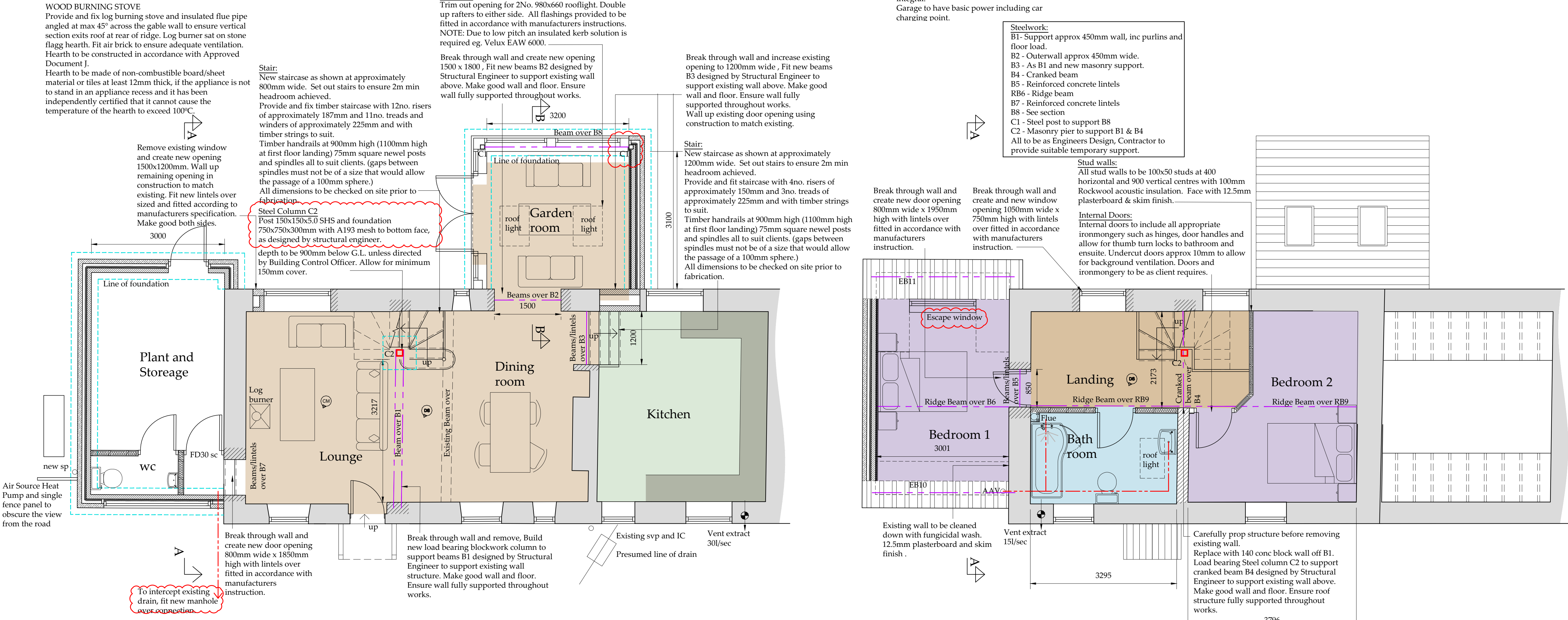
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E: general@bhdpartnership.com

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DRAWN: C Eynon CHECKED: N I Duffield

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