

Heritage Statement/ Planning Statement Combined

Retrospective Listed Building Consent

“Alleged unauthorised internal works to Grade II Listed Building including removal of Yorkshire range and digging out of basement at Cranny, King Street, Robin Hoods Bay”

CRANNY, KING STREET, ROBIN HOODS BAY



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NYMNP

16/11/2022

Contents

Contents	2
Introduction.....	3
Listing Information	4
Previous Planning History.....	5
Regularisation of Unauthorised Internal Works to Grade 2 Listed Building by Listed Building Consent.....	6
Overview.....	6
Previous Site Visits and suggested normalisation via Listed Building Consent:.....	7
Forthcoming site meetings:.....	7
Listed Building Consent - Items to be submitted:	8
1.Reinstatement of Range to Kitchen.....	9
The Range - History	10
Stone Surround.....	11
Overall opinion and evidence	12
Evidence the range is still present.....	15
Necessity of Re exposure Works	15
Proposals	16
Listed Building Consent – Range.....	17
2. Retention of basement.....	18
Listed Building Consent – Stairs.....	18
A. Retaining the staircase as existing	19
B. Re-siting of the stairs by inclusion of a spiral staircase	21
Listed Building Consent - Cellar Conversion	23
Retrospective Listed Building Consent – Cellar	23
Works Conducted:	24
3. Replacement of basement window with flush fitting window without cill.	27
Listed Building Consent – Replacement window to rear basement elevation.....	27
4. Realignment of steps will be required to the basement to allow the range to be reinstated.....	28
5. Replacement of Roof light to bathroom with a conservation roof light	29
Listed Building Consent – Replacement window to bathroom	29
6. Reinstatement of fireplace to lounge.....	31
Fire Surround History and historic merit.....	32
Listed Building Consent – Amendments to front room fireplace.....	33

Introduction

This statement has been prepared for use with the submission for a Listed Building Consent application for retrospective permission for alterations to The Cranny.

The property is sited in the Robin Hoods Bay Conservation areas and is a Grade 2 listed.

The site falls within the Article 4 Direction.

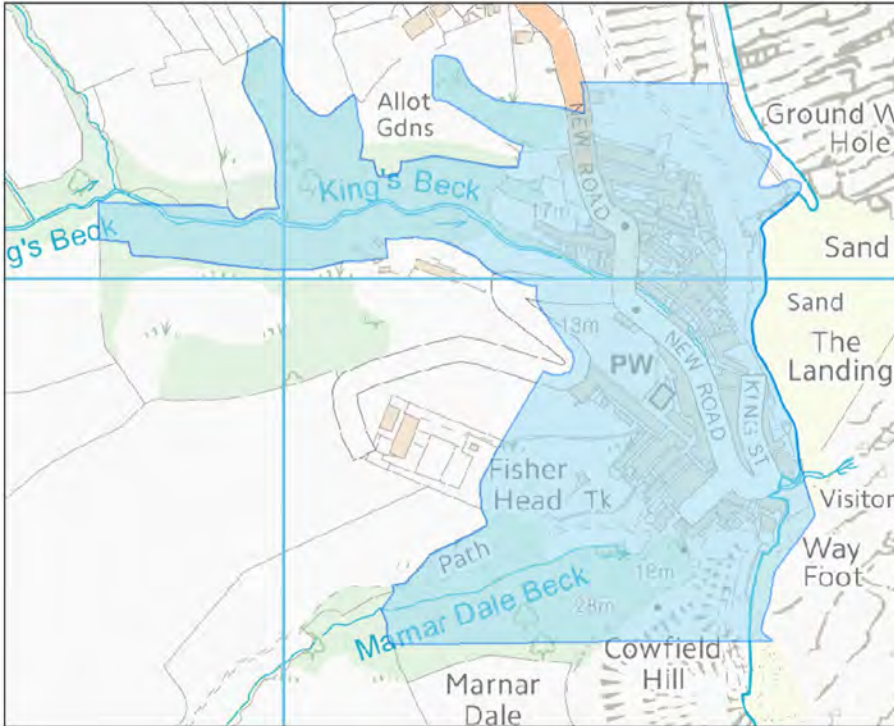


Figure 1. The Conservation Area of Robin Hood's Bay

Conservation Area Appraisal and Management Plan for Robin Hood's Bay Conservation Area



Listing Information

<https://historicengland.org.uk/listing/the-list/list-entry/1148688?section=official-list-entry>

List name: DOWNHOLME AND THE CRANNY

Location: Fylingdales, Scarborough, North Yorkshire, YO22

List number: 1148688

Date listed: 06/10/1969

Grade: II

Official list entry

Heritage Category: Listed Building

Grade: II

List Entry Number: 1148688

Date first listed: 06-Oct-1969

Statutory Address 2: DOWNHOLME AND THE CRANNY, KING STREET

Statutory Address: DOWNHOLME AND THE CRANNY, KING STREET

The building or site itself may lie within the boundary of more than one authority.

County: North Yorkshire

District: Scarborough (District Authority)

Parish: Fylingdales

National Park: NORTH YORK MOORS

National Grid Reference: NZ9529704923

FYLINGDALES KING STREET NZ 9504 Robin Hood's Bay (west side) 19/114 Downholme and The Cranny 6.10.69. GV II Pair of houses, probably mid C19 with alterations.

Painted brick in Flemish bond; part of first floor right rebuilt in bigger bricks.

Pantiled roof with brick stacks; Downholme has French tiles. 2 storeys and attic, 3 bays, irregular.

Downholme (at left) has replaced 6-panel door with overlight,

The Cranny a Victorian 4-panel door with blocked overlight; they share a bracketed hood.

Flanking 4-pane sashes, in wood box frames, on both floors. 3-brick first floor band; stepped and dentilled brick eaves cornice.

Much disturbance to brickwork at ground floor left.

One wide and one narrow dormers. Small basement window at left.

Included for group value.

Listing NGR: NZ952970492

Previous Planning History

NYM/2019/0583//LB

Granted Approval - replacement of Stair Window (first Floor).

<http://planning.northyorkmoors.org.uk/Northgate/PlanningExplorer/Generic/StdDetails.aspx?PT=Planning%20Applications%20On-Line&TYPE=PL/PlanningPK.xml&PARAM0=815172&XSLT=/Northgate/PlanningExplorer/SiteFiles/Skins/NorthYorkMoors/xslt/PL/PLDetails.xslt&FT=Planning%20Application%20Details&PUBLIC=Y&XMLSIDE=/Northgate/PlanningExplorer/SiteFiles/Skins/NorthYorkMoors/Menus/PL.xml&DAURI=PLANNING>

Regularisation of Unauthorised Internal Works to Grade 2 Listed Building by Listed Building Consent

Overview:

Following communication by letter dated 15th July 2019, North Yorkshire Moors National Park Authority notified the owners of The Cranny that they were made aware of unauthorised works.

A series of emails back and forth were made, where they appologised for carrying out the work at the Cranny without consultation.

As a vast range of properties across Robin Hoods Bay have done similar works to listed building without consent (including properties in the immediate vicinity), they assumed the internal works were not protected by the listing.

They mistakenly took on the common misconception that grade 2 is external only, which by looking at lots of work within Robin Hoods Bay is a common mistaken opinion. The majority of dwellings in Robin Hoods Bay have carried out works unauthorised.

The alterations and work were carried out with full innocence and no malice and are fulling willing to issue this formal Listed Building Consent.

There are items that can be resolved quickly but there are other matters (eg. the historic importance of the non-original range) that need to be discussed further with a heritage expert following the evidence we will provide in this document.

Unfortunately, due to the client's poor health, the Pandemic (whereby a face-to-face meeting offered by the owners at the Council Offices was cancelled by NYM due to covid guidance), lead to significant delays in progress.

The owners have always been willing to address the concerns but the fact the property is a holiday let, whereby access for to the property for meetings and surveys was limited, progress with addressing the issues raised formally has been very staggered.

We again appologise for this but please take this LBC as positive intention.

Previous Site Visits and suggested normalisation via Listed Building Consent:

Over a period of time and following a site visit by NYM enforcement, the clients agreed with NYMs offer that the best way to address the concerns was by means of a Listed Building Application. After suggestion by NYM this could be done.

This was formally agreed by Rosie Gee – 22/03/22.

SG Architectural Design was appointed then, to compile the relevant information for the application.

Multiple site visits have been needed which have been delayed by access issues and workload.

NYM have been updated on delays throughout by SGAD via email.

But recently (whilst we were formulating the following application), we were notified that an enforcement notice was now being issued by NYM. This was in direct response to our “progress update” via email when we instructed, we will need to visit the property again.

As you can understand formulating correspondence like this is difficult, when no regular access is possible.

We needed to carry out and issue accurate information that can be used legally if required.

We responded again explaining we were processing the application and requested the enforcement notice was held back on.

By response NYM have agreed that the Enforcement notice will be held back, as long as the LBC is received by dates outlined 18th November 2022 by noon.

This will be done via planning portal process and confirmation emails issued.

We request a formal response and receipt in case of delays by NYM admin and verification processes.

Forthcoming site meetings:

Please note that as part of this application / consultation process. We will need to communicate directly with the heritage officers appointed by NYM.

- Site visits are requested by SGAD and the client.

These will be required to be booked with notice (as the property is a holiday let and we will need to travel from Derbyshire to meet).

When the application is received – Please contact SG Architectural Design and we can book in times and dates that are suitable for NYM.

- Additional site visits with the conservation officer are required predominately, to outline key elements within this application, with expert conservation knowledge.

Listed Building Consent - Items to be submitted:

On 07 March 2022, after multiple stages of communication, Rosie Gee of NYM enforcement clarified what would likely to be included in a suggested enforcement notice (currently on hold).

“Our Ref: NYM\2016\ENQ\12675 2 Date: 07 March 2022”

We will use the points below as a basis for our proposals and in some area’s clarification / discussion.

“1. Reinstatement of range to kitchen. Exposure of range will be required (and the reinstatement of stone surround if removed).

2. Retention of basement. The boarding over of the range has taken place to facilitate access to basement.

We include a statement regarding the cellar conversion within this section also.

3. Replacement of basement window with flush fitting window without cill. The storm proofs cellar window required to be replaced with flush fitting window without cill.

4. Realignment of steps will be required to the basement to allow the range to be reinstated.

5. Replacement of rooflight to bathroom with conservation style rooflight. A conservation style rooflight will be required to be installed.

6. Reinstatement of fireplace to lounge. The Art nouveau fire surround and wood burning stove to be replaced by original or replica fire surround and insert.”

1.Reinstatement of Range to Kitchen

NYM request –

“Reinstatement of range to kitchen.

Exposure of range will be required (and the reinstatement of stone surround if removed).”

Please note that within stages of correspondence the client stated that the range cooker had not been removed but requests to reinstate have been made.

The following section of information is to prove the Stone surround and the Range are not original features of the property and put forward 2 solutions to move forward.



Photo 1. copy provided by NYM which is present on Right Move and Zoopla



Photo 2. The non-original poorly fitting range after removal of non-original stone surrounds installed by others in 1970'

The Range - History

Following the purchase of the property and a short period of holiday lets, the clients were extremely worried about the fire risk of the Range.

- The Range was not connected to the stack above and numerous persons in the holiday let on early weeks of ownership, decided to set a fire in the Range.
- No flue was present which is required for an appliance under current HETAS regulations
- This posed risk of Fire Damage a carbon monoxide poisoning.
- The owners were contacted by the persons staying at the property, stating smoke was back filling the room.
- Even with warning signs up after this period, instructing no persons to light fires in the range, they were still being lit.

Something had to be done to reduce risk to the property, business and persons letting the properties.

The above condition and risk are a condemnable situation whereby any HETAS accredited installer would have issued notices.

Even though the owners clearly should have applied for Listed Building consent in hindsight (even though the works effect previous non original fabric), after inspection the range was not believed to be original.

If the owners put in an application at that stage the conservation officer would have maybe determined LBC would not be required.

We welcome the conservation officers' input in person, but we have evidence to contradict the opinions of NYM).

- It is believed this non-original range was sourced from Sheffield (stamp on the frame) and was inserted into an opening that was made amended by previous owners (see the photos to follow showing patching and significant works).
- Photos to follow also clearly show the poorly fitted Range into an opening that has been amended – If this was original then this would be built in tight not lose with infills.
- Detailing on the Range with modern details resembling the 1970s favorite “taurus profile” can clearly be seen.
- We are more than happy for the conservation officer to see this in person by exposure works but these are clearly not required as the photos show all detail that is required.

Stone Surround

- The photos also show the stone surround removal. You can clearly see a stone inset heath with tiles on top.
- This is another key indicator this range was not original.

The photos provided by NYM in the letter, from the internet source are of very poor quality (these can still be seen online).

It could easily be assumed from these photos the stone was also original.

But this is not true.

The reconstituted modern machined edge Stone surround is now knowing to have been covering a vast array of bodged work and infilled cheeks.

We will expand on this in the following section

- The clients made a decision to cover over the wall accommodating the Range in the same phase of works that included, removal of the original kitchen and the additional unauthorised works highlighted by NYM.
- We can clearly understand that NYM believe this has been removed and that this is an original feature, but this is not the case.

Overall opinion and evidence

During the LBC we have contacted and acquired Photos from the builders, which clearly show the removal of the non-original reconstituted stone surround and poorly fitted non original range and resin heath.

The reconstituted stone surround was stuck on with adhesive and relatively modern building materials.

This substantiates our belief this is not an original feature of the Cranny. Changes were previously made.

There is clear evidence that the fireplace has significant amendments made a substantial period of time ago.

There is clearly lintel that appears horizontally (Maybe the original stone lintel is in place still – behind all the plaster and adhesive).

The opening reveals have clearly been amended in a process to fit the non-original range. Infill using spoil from assumed demolition works and we believe an original stone surround is still present hidden behind non original materials.

It is clear that alterations were made to install the Range.



Photo 3. The Poorly fitting non original Range and evidence of previous alterations



Photo 4. The Poorly fitting non original Range and evidence of previous alterations

A lintel outline is apparent it is unknown if this is original – The level of infill suggest may this opening was made larger.

It appears that a left stone section has been removed to fit the non-original stove.

From the outlines of the left side of the lintel it appears the lintel sits onto a stone vertical section.

This is not present on the left-hand side. Clearly this was removed when the range was fitted in years gone by.

We cannot provide any clearer evidence that the current owners have not damaged any historic fabric around this fireplace – This was all done before.

The Range cooker that is being requested to be reinstated / retained is actually the reason the original fabric was altered.

Previous Works (1970s)

We believe that the previous significant works were carried out to the cranny in the 1960-70s.

The builder has stated lots of 1960's - 1970s building materials and waste such as newspapers were found.

We strongly believe the inclusion of this range as a non-working feature were established then and have been present for a substantial amount of time with new kitchens being fitted.

Although there are no direct proof on time frame, this works was clearly done previously, and the current owners had no control over them.

Under the (listed Building and conservation areas) Regulations 1990,
*Unauthorised work is clarified as any work carried out to a listed building, **after the date of listing** that has taken place that should have had listed building consent or planning permission.*

The Date first listed is 06-Oct-1969 (List Entry Number: 1148688).

It is impossible to say these initial amendments were made after the original listing.

But what we do know after acquiring the photos shown, is that the owners inherited a poorly fitting non original Range that was inset into an amended opening.

The Range was significantly dangerous and a risk to the property when the owners took responsibility.

Evidence the range is still present

SG Architectural Design intentions were to provide the required additional information, to prove that the range cooker is still present and to enable accurate discussions and solutions with the heritage officer.

- Due to time limits imposed by NYM to submit the application, the information shown is now limited, but we include as much evidence as possible.

Necessity of Re exposure Works

The client is currently planning a visit In Jan 2023 with a builder.

- The plasterboard covering over the Range cooker can be removed if requested by the planners / heritage officers want us to show what is present.
- We can then install a temporary ply covering to enable easy viewing by the conservation officer and planning officers in person at a date to be agreed.

We invite the site visits as previously covered by the conservation officer, to establish an approach deemed fit and to verify our evidence issued.

We welcome the prior input from the heritage officer and comments in response to our findings and what is deemed now to be necessary.

Our findings clearly have an impact on the approach of remediation and question if the exposure of a non-original Range is the best thing for the listed building.

We have only removed Non original features and plaster boarded over.
This is fully reversable if required.

We also do not feel the re-inclusion of replacement reconstituted stone is pointless.

This was clearly a fake surround that would have been used to bodge the works of the fireplace during previous works.

We have done research on this subject on other properties in Robin Hoods Bay and we believe Range cookers like this were not present originally.

Proposals

How we move forward is varied and has multiple options.

We are happy to discuss this with the conservation officer in person.

***We can show anyone the opening after the access work and removal of plasterboard is facilitated if requested.

Local properties such as Georgian House, King Street, Robin Hoods Bay, contain examples of what we believe to have been originally present.



Listed Building Consent – Range

The Range Cooker is still covered over by plasterboard and can only be exposed once time frames are set for meetings to ensure its safe and to stop holiday makers making unsafe fires again.

If the heritage officer deems it necessary to permanently expose the non-original range and reinstate reconstituted stone, we are happy to do so.

But with no historic merit we find this non-beneficial to the Architectural merit and historic significance of the property.

Even if retained this is not connected to the chimney stack and legally will require capping off.

We also strongly object to the reintroduction of non-original reconstituted stone surrounds that the client removed.

The listed building consent applied for is therefore to either:

- 1. Retain the clients cover up the non-original works – Not a reinstatement.**
- 2. Remove the Plasterboard covering the openings and remove the Non original Range Fully and make good the opening shown and clean off all 1970s building materials (this may need silicone blasting) – Repointing in lime mortar where required
Remove tiles stuck onto stone heath
Clean the Stone hearth
This will create an open feature.
The stack will be closed off to prevent any open fire being lit**

Option 2 clearly is more in line with conservation stances. But Option 1 is fully reversable which is also often favoured.

Note: We are not putting forward the option to retain the Range if exposed – Its either to be covered (option 1) as existing or fully removed (option2).

The Range will never be working (always assumed fake), as it does not comply to HETAS regulations and is an actual risk to the historic fabric of the cranny and adjoining neighbours.

If left exposed this will be condemned by a HETAS engineer and removal advised.

The Range has never worked properly and will never be working again, as it does not comply to HETAS regulations and is an actual risk to the historic fabric of the cranny and adjoining neighbours.

As we need to demonstrate in person, all the points raised and to prove that the remedial work we propose actually gives less than substantial harm, additional meetings with NYM will be needed as part of this application.

To reiterate, features including Range, hearth and reconstituted stone surround in the photos issued by NWM in communication are not original.

2. Retention of basement

NYM request –

“Retention of basement. The boarding over of the range has taken place to facilitate access to basement.”

Points raised and options provided for listed building consent within Section (1 - Reinstatement of Range to Kitchen) overlap into section (2 – retention of basement)

Both options in section (1), have minimal impact on the following proposals of the unauthorised Staircase.

Listed Building Consent – Stairs

Therefore, we will provide the following options for listed building consent:

- a. Retaining the staircase as existing (retrospective permission)
- b. Re-siting of the stairs by inclusion of a spiral staircase to allow a feature of the fireplace opening as per Section 1 option 2.

We welcome the conservation officers' input into the decisions on solutions

A. Retaining the staircase as existing

Following the significant evidence in Section (1)

– Retaining the stairs (A) as shown is put forward as an option for Retrospective LBC.



Photo 4. Stair Opening – Option A

Option A is to retain the existing staircase opening, whilst combining with Fireplace Options 1 or 2 (Section 1).

Either option in Section 1 would enable the staircase to remain as installed.

- The Stairs would remain, and the Fireplace opening would either remain covered over (1) or the Range removed, and the Fire surrounds cleared, and a feature made (2).

This can be done without disturbing the staircase as existing.

No live fire will be located in this area due to building regulation and escape routes in the event of a fire.

We are happy for the conservation officers' input on choice.



With Option A - the stair will retain the existing position and would be sited in-front of the opened up and cleaned fireplace.

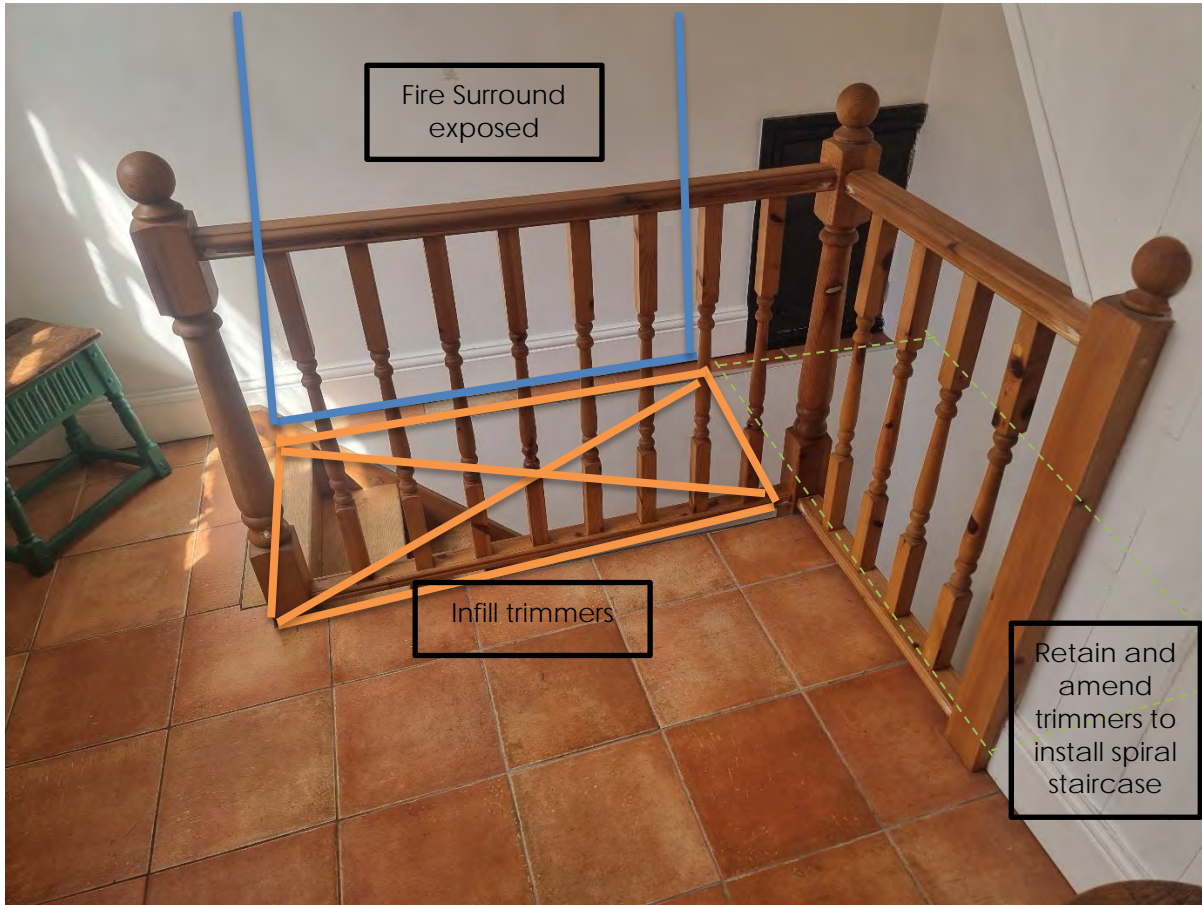
- This may be seen as detrimental to the any intention of reinstating the feature

Therefore, we offer a variation.

B. Re-siting of the stairs by inclusion of a spiral staircase

This option opens up the room and enables the potential of a feature fireplace being retained (without the non-original range!).

- We will infill partially the trimmer opening to enable the spiral staircase inclusion



- Again, this may be seen as detrimental as spiral staircases are not an original feature of the property.

NOTE: A standard staircase solution under the previous stairs is not possible due to building regulations of head heights –

NYM made suggestion and comment in regard to stairs clashing with the rear basement window. This is incorrect and will never be a concern as a staircase is never to be located on an outer wall in a property of this period. The trimmer openings will be larger than we have installed previously and plan to retain under option A.

– The existing L shape trimmer opening is the least intrusive to the floor layout. But obviously has some detriment if you want to make a feature of the fire surround.

Further Documents:

If any further documents drawings etc are needed for this element we must be allowed time to compile these.

- We welcome an initial meeting with the conservation officer to make the decision that is preferred.
- We can then provide additional information once expose works (if requested) and for example spiral staircase design

Listed Building Consent - Cellar Conversion

Retrospective Listed Building Consent – Cellar

Whilst no specific notion or request has been made regarding the cellar, we intend to regularise this to prevent the need for any uncertainty.

Please be aware that the cellar was already present.

Multiple nearby properties including next door have also had conversions over the years. No planning history is available for any cellars in the whole of Robin Hoods Bay.

The history of Robin Hoods Bay is clear, and cellars were used readily day to day.

We seek retrospective permission on the works to the cellar

- Please note that the majority of cellars in the locality are also converted including next door.

All have been done in years gone by and all have had issues with Damp etc.

- When the Cranny was purchased by the owners there was significant damp issues with ground water / lateral penetration / Dry Rot and Wet Rot.

Something had to be done to prevent any further damage to the building.

- Previous owners had made significant bodge jobs to support the rotting away floors etc.



This would have only got worse if the owners didn't act and invest heavily to provide a solution that will both prevent ongoing structural damage and a viable solution to maintain space for living.

In hindsight again as per other sections, the owners should have applied for listed building consent to do this.

They didn't realise they needed permission, but with naivety and limited knowledge of listed building consent, as the cellar was a risk and using the knowledge that many others in the village have done the same, they moved forward on a scheme to future proof.

Works Conducted:

- The clients removed the loose debris to the floor including already collapsed timber pieces with dry rot.

As Dry Rot was prevalent throughout the cellar, all the contaminated timber and adjacent areas where spores had exploded onto the ground had to be removed and sprayed with fungicidal treatment to prevent future outbreak.

- The clients removed all poorly installed temporary supports (concrete blocks under rotted joists) and repaired flooring as required.
- The existing layer of concrete in the cellar was heavily broken and in poor condition and the poor ground substrate was removed.



Work had to be done to prevent trapped moisture and damp from further effecting the structures above or issues with damp and dry rot would have been yet again prevalent. Without doubt a full collapse would have followed.



Photo shows the scale of rot to sections caused by moisture in the cellar and Dry / Wet Rot. Unfortunately, photos are lacking this week which would have helped in proving everything raised beyond doubt.

Work was needed no matter the circumstances to prevent ongoing issues as previously covered getting worse.

The owners thought they were doing a positive thing.

The cellar had a new 200mm Concrete slab installed following digging out of loose strata and dry rot treatment.

- Curtain hung cavity drainage membrane was then installed to the walls and a sump pump installed to take away ground water that had plagued the properties clearly for years.
- Stud walls were installed inside the line of the curtain hung membrane to provide a dry environment that the property can utilise, and both protect the integrity of the structure for years to come.

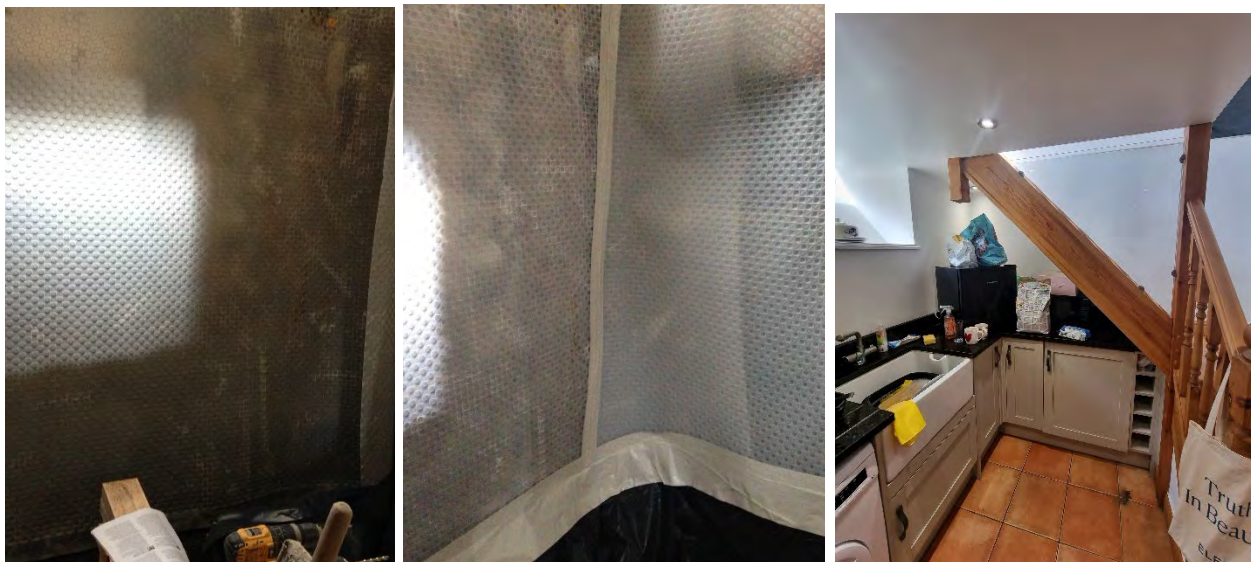
If this was left the historic fabric above would have had drastic implications.

Again, please note that a huge number of cottages within the immediate area have done the same.

Apart from the concrete substrate floor everything installed is fully reversible and should be deemed an approach suitable.

Cavity drainage membrane has been used on a huge number of listed buildings (including properties owned by Chatsworth House) over the years and is a passive system.

- The alternative would have been a sika render solution, but this would have not been readily reversible and would not allow the property to breath.



Photos showing membrane installed to walls of rear elevation – Supplied by builders. No further photos are available. The black membrane is the lapping up from the floor membrane of the concrete floor installed.

Completed cellar conversion also shown

3. Replacement of basement window with flush fitting window without cill.

NYM request –

“The storm-proof cellar window required to be replaced with flush fitting window without cill”.



Listed Building Consent – Replacement window to rear basement elevation

We provide drawings for the window to be replaced to a flush casement without a cill. This window was clearly not the required specification and again we apologise for the unauthorised install.

4. Realignment of steps to the basement to allow the range to be reinstated

NYM request –

Replacement of rooflight to bathroom with conservation style rooflight.

A conservation style rooflight will be required to be installed.

This has been previously covered on sections 1 & 2.

Options are provided on both the opening for the Fire surround or retaining the plasterboard covering over.

Realignment of the stairs may not be deemed as the best approach by a conservation officer.

The Range is not original and cannot be used as a reasoning for these works. Opening the original fire place is welcomed.

5. Replacement of Roof light to bathroom with a conservation roof light

NYM request –

Replacement of rooflight to bathroom with conservation style rooflight.

A conservation style rooflight will be required to be installed.

This is supported by NYM and is also mentioned in the local area conservation plan.



As part of the strategy of building upwards, many cottages have dormers or skylights to take advantage of roof space; where they are Victorian they are sometimes accompanied with barge boarding and finials, but the dormer roofs are mostly pantiles. Georgian and Queen Anne dormers can be set within attractive stone arches and the late 20th to 21st century response has been to use skylights.

Shop fronts display larger window openings, but these are mostly 20th century. The glazed tiling of the butcher's shop makes the building stand out on the corner. Other shop fronts retain their consoles on either side of the window tops and some simple joinery decoration.

The chapels are distinctive for their stained and leaded glass and pointed arched windows and the Coroner's Room has leaded glass windows.

Conservation Area Appraisal and Management Plan for Robin Hood's Bay Conservation Area



Listed Building Consent – Replacement window to bathroom

The conservation roof light was a non-conservation style Velux when the owners bought the property. A replacement was installed like for like due to leaking.

The clients are more than happy to install an exact sized Velux windows as per below spec.



Specification:

flush mounted Conservation Velux to suit existing opening

The Rooflight will be inset into the rafters as per manufactures installation instructions to ensure a “flush” effect is created to the roofline.

Central Mullions are included on the conservation roof light to break up the elevations and create heritage friendly detail.

GGL/GPL Conservation Roof Window



The VELUX Conservation roof window provides all the technically superior features of a VELUX Roof Window in a traditional black conservation style including glazing bar/s. The GGL centre-pivot and GPL top-hung windows are manufactured in high quality natural pine with a clear lacquered pine internal finish.

The Centre-pivot (GGL) is manually operated and is recommended by VELUX for higher reach windows. To watch an illustration of how the window operates [click here](#).



The Top-hung (GPL) is manually operated and is recommended by VELUX for lower level installation and is ideal for shallower roof pitches. It is also suitable for escape purposes. To watch an illustration of how the window operates [click here](#).

Features/Benefits

- Ventilation bar with dust and insect filter – *Allows fresh air to enter the room while the window is securely closed*
- Friction springs – *Allows easy operation of window*
- Sash rotates 180° from inside – *Allows easy and convenient cleaning*
- Barrel bolt – *Allows the window to be locked in two positions – At 180° for secure cleaning of the exterior pane internally – At 5° to allow extra ventilation*



Operation

GGL – The window is operated manually using the full width control bar on the ventilation flap along the top of the sash.
 GPL – The sash which is top-hung is opened and closed using the bottom handle and can remain open in any position up to 45°.

To watch an illustration of how the window operates [click here](#).

Glazing options

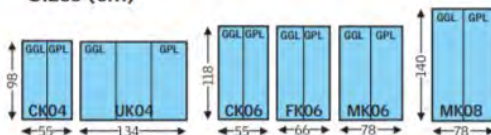
- (--50) glazing Double glazed, toughened outer pane. Also available in;
- (--60) glazing Double glazed, laminated inner pane, toughened outer pane with Easy-to-clean coating, enhanced noise reduction.
- (--70) glazing Double glazed, laminated inner pane, toughened outer pane.

For further information regarding VELUX glazing options [click here](#).

Cladding

- NCS standard colour (Black), Nearest RAL standard colour: 9005.

Sizes (cm)



Centre-pivot

Tiles	15-90°
Tiles (recessed)	20-90°
Plain tiles	25-90°
Slate (recessed)	20-90°



Top-hung

Tiles	15-55°
Tiles (recessed)	20-55°
Plain tiles	25-55°
Slate (recessed)	20-55°

TOP HUNG - For roof pitches from 55°-75°, please specify special springs when ordering.

Maintenance

The pane should be cleaned with a soft, clean, lint-free cloth or non-abrasive sponge. The rest of the window can be cleaned with ordinary household cleaners. The filter can be removed and either washed or replaced.

For further advice on maintenance please [click here](#).

Guarantee

- 10 year VELUX guarantee on windows and flashing kits.
- 3 year guarantee on blinds, shutters, awnings and electrics.

[Click here](#) for further information regarding the VELUX guarantee.

Interior finish option

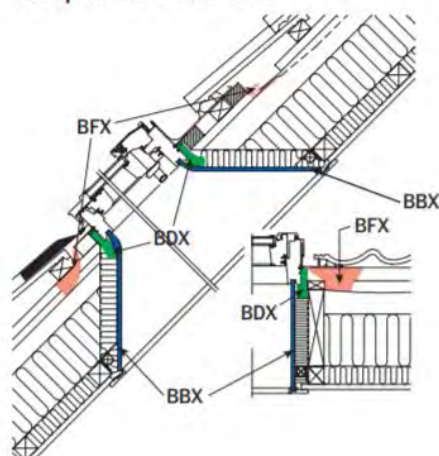
GGL

- White paint finish.

GPL

- White paint finish.

Best practice installation



Technical data – GGL/GPL Conservation

Size	Window Options	Exterior Frame	Visible Glass	Lining Rebate
		WxH	exf	lcl
CK04	GGL	550 x 978	371 x 783	495 x 919
CK06	GGL	550 x 1178	371 x 983	495 x 1119
FK06	GGL	660 x 1178	481 x 983	605 x 1119

Size	Window Options	Exterior Frame	Visible Glass	Lining Rebate
		WxH	exf	lcl
MK06	GGL	780 x 1178	601 x 983	725 x 1119
MK08	GGL, GPL	780 x 1398	601 x 1203	725 x 1339
UK04	GGL	1340 x 978	1161 x 783	1285 x 919

Please refer to GGL and GPL Technical data Sheets for further information.

6. Reinstatement of fireplace to lounge.

NYM request –

The Art nouveau fire surround and wood burning stove to be replaced by original or replica fire surround and insert.



Existing replaced fire surround



Previous Fire Surround

Again, the owners apologise for not applying for permission to make any alterations.

This was something that they saw as an improvement and allowing a provision of a non-dangerous solution for secondary heating.

The original fire was not signed off by an installer when they visited. Following a visit from PF Fireplaces and Chimney Sweeping Ltd the owner had notified us the original fire was condemnable as smoke was coming back into the room and needed a sufficient liner.

Due to the size of the required flue liner, it wasn't possible to install, and a wood burner was suggested.

The owner purely wanted something safe but didn't take into consideration the planning requirements of what was installed after.

Fire Surround History and historic merit

Previous communication between the owners and NYM, indicated that the builder still had the original surround this has become apparent that this is now not the case.

They cannot track this surround down. It appears to have been scrapped.

Whilst it is being requested for a reinstatement or a replica, we now raise some concerns in regard to what is being asked.

We strongly believe the arched fire is an again a non-original feature that was installed in the 1970s.

The builder has indicated that it was clearly not original, as the rear face was modern machined and in their words had no value.

Evidence and research around Robin Hood Bay, time and time again throws up wood burners being inserted within original openings.

Local properties such as Georgian House, King Street, Robin Hoods Bay, contain examples of what we believe to have been originally present. A simple surround installed around the rectangular opening showing masonry to all sides.



Note: This above would not be permissible by modern HETAS regulations as any open fire needs an 8inch flue and the majority of the chimneys within this area would not take such a flue due to cramped and tightly turning stepped stacks.

Local properties such as Fisherman's Cottage, Robin Hoods Bay, contain examples of what we believe to be a viable solution.



Listed Building Consent – Amendments to front room fireplace

As the previously removed surround cannot be sought, we then seek an alternative, more intrusive alternative which will enhance the historic fabric are requested.

- Removing the Art Nouveau Surround (which we agree is now not in keeping following research to the local area) is proposed.

Again, we are happy to discuss the following with the heritage officer, but we would like to put on record that, IF a replica replacement is pushed forward as a preferred option, we have a significant concerns that may prevent this legally occurring.

- PF Fireplaces has notified if a similar open fire if installed without liners it would be condemnable as smoke will come back into the room as previous.

Any fire will need installing by a HETAS accredited installer.

We have a statement from our preferred installer that says he will not be able to install what is being requested legally.

Summarised:

Open wood burning and coal fires require a class 1 flue liner with a minimum diameter of 200mm. **Open fires with larger fireplace openings (usually freestanding grates) will need larger flue sizes calculated alongside the height of the chimney and required ventilation.**

Proposals:

We propose to open up the original opening and expose any stone and brickwork as per "Fisherman's Cottage".

We propose to insert a Woodburning stove that will be bring the heating up to modern safe standards.

We suggest a phone call with the conservation officer to start the process and discuss the finding and suggestions.

Again, as with the "Range" in Section 1, installing something similar to a design that was non original gives no historic importance to the fireplace and actually can be seen as detrimental.

We are prepared to do work above and beyond to make this in keeping and accept what was done previous was a rushed approach and not in keeping whatsoever.

We welcome the forthcoming conversations.