

# PLANNING STATEMENT

NYMNP/PA

05/07/2023



## Erection of 4 Silos and Associated Works and Infrastructure

Zip-Pak  
Stainsacre Lane  
Whitby  
YO22 4PT

**On Behalf of Zip-Pak**

**July 2023**

## CONTENTS

1.0	Introduction .....	1
2.0	Description of Site and Proposed Development.....	2
3.0	Planning History .....	6
4.0	Planning Policy.....	7
5.0	Planning Considerations .....	10
6.0	Conclusion .....	15

## 1.0 Introduction

- 1.1 On behalf of our client, Zip-Pak, we are pleased to submit this planning application for the erection of 4 silos at their site situated within the Whitby Business Park.
- 1.2 The site boundary is shown in Image 1:

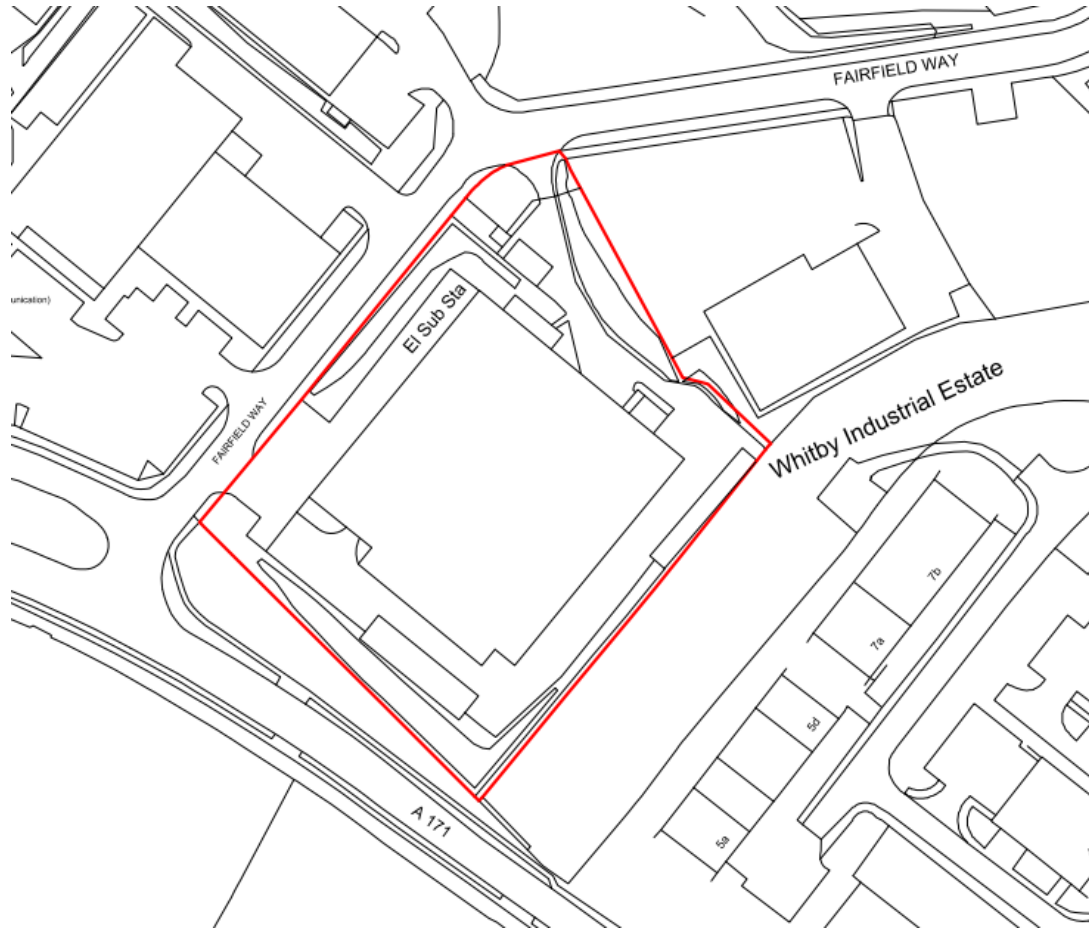


Image 1: Site location plan

## **2.0 Description of Site and Proposed Development**

- 2.1 The application site is located within the Whitby Business Park, off Stainsacre Lane on the outskirts of Whitby Town Centre. The site is located both inside and outside the development limits for Whitby, however, lies fully within the boundary of the business park as seen on the policies map. The site straddles the border of the North York Moors National Park which runs down the centre of the site. As a result, the site lies within the jurisdiction of both North Yorkshire Council and North York Moors National Park Authority.
- 2.2 Image 2 below which is an aerial photograph demonstrates the site's location and context. As seen in the image below, the area surrounding the site is industrial in nature. The site benefits from extensive screening to the south and east which limits the visual impact of the site from the national park.



Image 2: Aerial photograph to show site location and context  
(Source: Google Earth)

- 2.3 As noted previously, the application is for the erection of 4 silos at the Zip-Pak factory site in Whitby. There are currently 4 existing silos on site and this application will increase this number to 8 in total on the site.
- 2.4 Zip-Pak is the world's leading provider of resealable packaging solutions, with numerous sites across the world. Their Whitby site is the company's only site within the UK.
- 2.5 Zip-Pak is a significant employer in the Whitby area. This proposal for four additional silos will not only secure the immediate future of the business in Whitby but will also

provide the opportunity to allow the site to remain competitive as new technologies and raw materials come to market.

- 2.6 The additional silos are required for the storage of additional and new raw materials, (plastic polymers) which are needed as critical components of their production processes.
- 2.7 This proposal will future proof the Whitby site for further expansion, and thus additional investment into the area.
- 2.8 This investment will secure existing jobs (Zip-pak employs 38 people at the Whitby site in good quality, well paid jobs) and has the potential to create up to 15 additional jobs in the foreseeable future.
- 2.9 Failure to achieve this planning permission will limit future opportunities for growth and investment, and likely lead to other sites within the group gaining the investment. This could potentially bring into doubt the long-term viability of the site.
- 2.10 Image 4 below shows the proposed site layout:

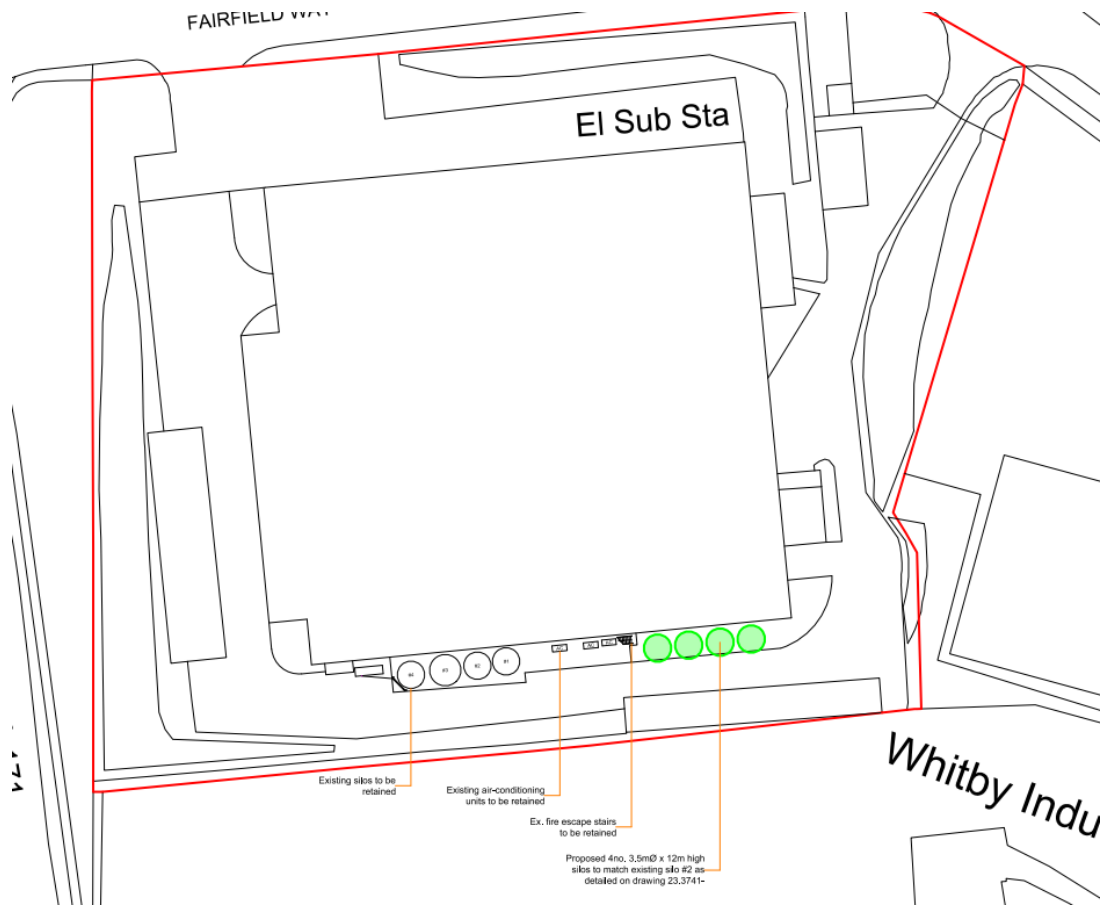


Image 4: Proposed site layout

### **3.0 Planning History**

3.1 Based on information available on Scarborough Borough Council's website, the following planning applications constitute the site's relevant planning history:

- Ref No: 78/01285/FL – Extensions to existing factory – Application Approved
- Ref No: 74/01075/FL – Erection of four bulk storage containers at south end of recent extensions (NYM4/35/6/PA) – Application Approved
- Ref No: 74/01076/FL – Extension of existing offices incorporating kitchen, canteen and stores - Application Approved
- Ref No: 78/01336/FL – Extend existing building to provide emergency generator room – Application Approved
- Ref No: 17/00924/FL – Erection of office extension to side – Application Approved

3.2 Based on information available on North York Moors Council's website, the following planning applications constitute the site's relevant planning history:

- Ref No: NYM/2004/0541/FL – Erection of single storey extension to workshop – Application Approved
- Ref No: NYM/2019/0723/FL – Construction of storage building (part retrospective) – Application Approved



## 4.0 Planning Policy

### Local Planning Policy

4.1 Applications are to be determined in accordance with the policies in the Development Plan. In this case, the Development Plan for the area comprises the Scarborough Borough Local Plan adopted in July 2017. Policies of relevance from this document are:

- Policy SD 1 – Presumption in Favour of Sustainable Development
- Policy DEC 1 – Principles of Good Design
- Policy EG 1 – Supporting Industry and Business

4.2 As mentioned earlier in this report, the site straddles the boundary between North Yorkshire Council and North York Moors National Park Authority. As a result, we must also take into account policies from North York Moors National Park Authority Local Plan adopted July 2020. Policies of relevance from this document are:

- Policy BL1 – Employment and Training Development
- Strategic Policy K – The Rural Economy

4.3 As the site is situated within the Whitby Business Park, we must also take into account policies from the Whitby Business Park Area Action Plan. Policies of relevance from this document are:

- Policy 1 – Presumption in Favour of Sustainable Development
- Policy 5 – Design and Appearance

### National Planning Policy

4.4 The National Planning Policy Framework (NPPF) is a material consideration and is the Government's overarching framework for planning policy.

- 4.5 The NPPF identifies those applications that should be considered in the context in favour of sustainable development (paragraph 10).
- 4.6 Proposals that accord with the development plan should be approved without delay and where it is silent or relevant policies are out of date, permission should be granted unless any adverse effects of doing so would significantly and demonstrably outweigh the benefits when assessed against the NPPF as a whole, or specific policies within the NPPF indicate that development should be restricted (Paragraph 11).
- 4.7 Section 11 of the NPPF relates to making effective use of land. Planning policies and decisions should promote the effective use of land in meeting the need for homes and other uses. While safeguarding and improving the environment and ensuring safe and healthy living conditions. This includes encouraging multiple benefits from both urban and rural land and taking opportunities to achieve net environmental gains – such as development that would enable new habitat creation or improve public access to the countryside and the development of under-utilised land and buildings.
- 4.8 Paragraph 81 of the NPPF states that

*“Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development. The approach taken should allow each area to build on its strengths, counter any weaknesses and address the challenges of the future. This is particularly important where Britain can be a global leader in driving innovation, and in areas with high levels of productivity, which should be able to capitalise on their performance and potential.”*

- 4.9 Paragraph 84 states that:

*“Planning policies and decisions should enable:*

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;*
- b) the development and diversification of agricultural and other land-based rural businesses;*

- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and*
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.”*

4.10 Paragraph 85 is also relevant to this proposal and states:

*“Planning policies and decisions should recognise that sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements, and in locations that are not well served by public transport. In these circumstances it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads and exploits any opportunities to make a location more sustainable (for example by improving the scope for access on foot, by cycling or by public transport). The use of previously developed land, and sites that are physically well-related to existing settlements, should be encouraged where suitable opportunities exist.”*

## 5.0 Planning Considerations

### Principle of Development

- 5.1 As noted previously in this report, the site lies within the Whitby Business Park. This is shown below in an extract of the Scarborough Borough Local Plan Policies Map (boundary in diagonal blue lines):

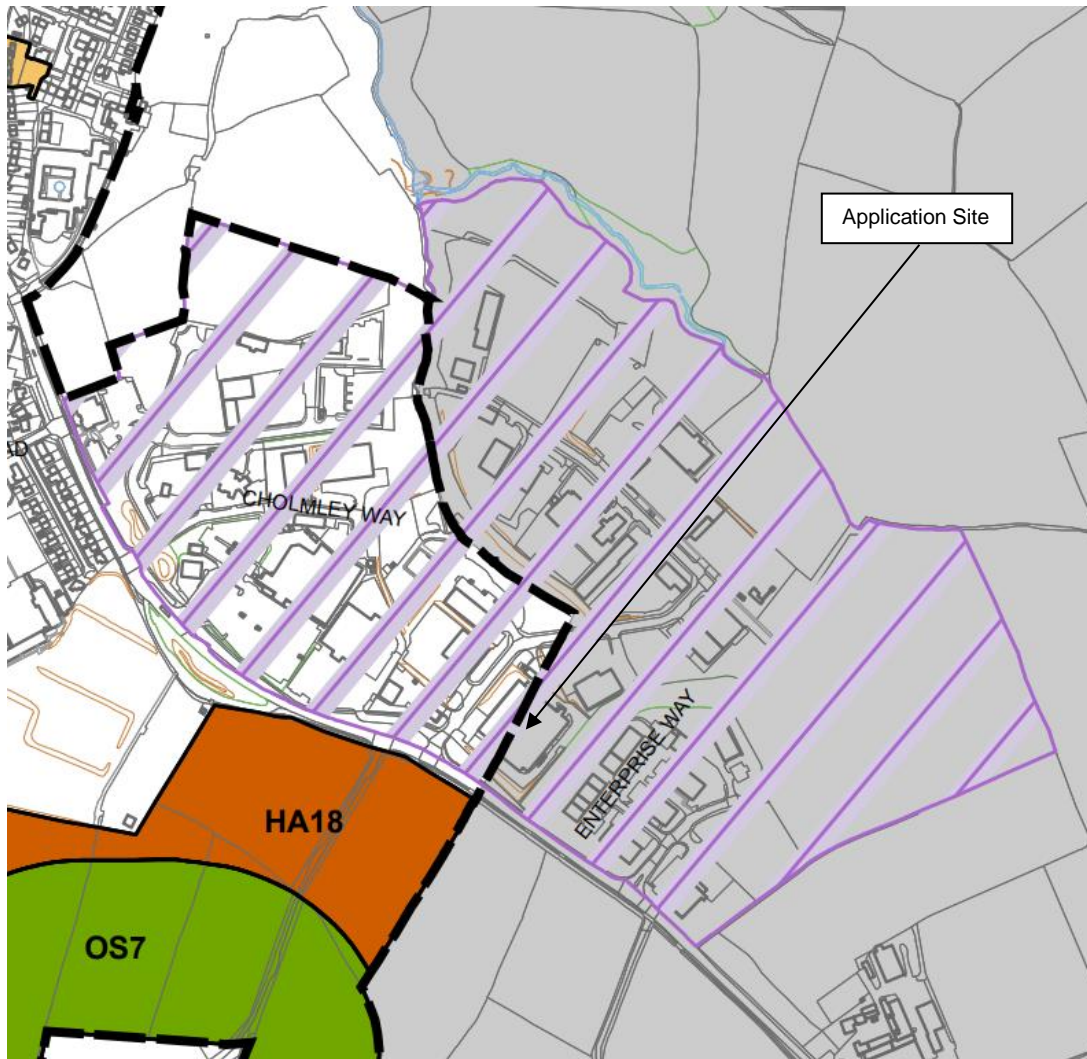


Image 5: Whitby Business Park Boundary (Source: Scarborough Local Plan Policies Map)

- 5.2 The proposal is for the erection of 4 additional silos on site, adjacent to the 4 silos currently sited.

- 5.3 The additional silos are required for the storage of additional and new raw materials, (plastic polymers) which are needed as critical components of their production processes.
- 5.4 This proposal represents the expansion of a long-established existing business within the business park. This is in line with the aims and objectives of the Whitby Business Park Area Action Plan.
- 5.5 This proposal will future proof the site for further expansion, and thus additional investment into the area. This will secure the existing jobs on site and provide the potential for the creation of 15 new jobs in the foreseeable future.
- 5.6 Paragraph 81 of the NPPF states that
- “Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development. The approach taken should allow each area to build on its strengths, counter any weaknesses and address the challenges of the future. This is particularly important where Britain can be a global leader in driving innovation, and in areas with high levels of productivity, which should be able to capitalise on their performance and potential.”*
- 5.7 On the basis that the development complies with national and local policy, it is our view that the principle of the development for the proposal is acceptable.

### Design

- 5.8 One of the core planning principles of the NPPF is that planning should seek to secure high-quality design and a good standard of amenity for existing and future occupants of land and buildings. National planning policy recognises the role that high-quality design plays in creating sustainable places. Good design is a key aspect of sustainable development and should contribute positively to making places better for

people. The NPPF advises that in the assessment of design, consideration where appropriate should be given to layout, form, scale, detailing and materials.

5.9 The additional 4 silos are proposed to largely match the existing silos on site (being the same specification, size, etc to silo 2 as shown on the drawings).

5.10 This is shown on the south east elevation below:

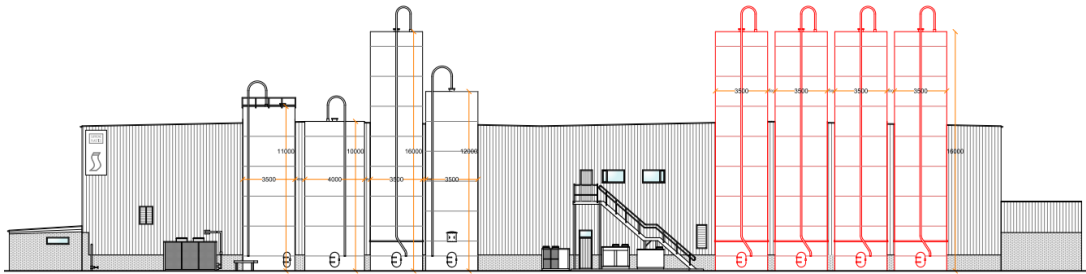


Image 6: Proposed south east elevation

5.11 The proposal is in keeping with the industrial nature of the business park and reflects the character of the surrounding area.

5.12 Particular focus will be placed on the visual impact of the proposed development in the next section of this report.

#### Visual Impact on the North York Moors National Park

5.13 As the proposed silos lie within the North York Moors National Park, they will be sited in order to restrict the level of visual impact on the national park.

5.14 The site benefits from extensive screening from existing trees and planting to the south and east. This is beneficial as this is in the direction of the national park.

5.15 This existing screening will vastly restrict the visual impact towards the national park to minimal levels.

- 5.16 Below is an image from a recent site visit of this existing screening taken from south east of the site. As shown in the image, the visual impact of the existing silos on site from the national park is virtually zero.



Image 7: Recent photograph taken from south east of the site showing extensive screening

- 5.17 The proposed silos would be visible from the north and west of the site, however, due to the business park and industrial setting in this direction, this would be in keeping with the surroundings.

#### Residential Amenity

- 5.18 Due to the site's location within an business/industrial park setting, and the lack of immediate residential neighbours, this proposal would have no impact adverse impact on surrounding residential amenity.

Flood Risk

5.19 The National Planning Policy Framework advises that development should be located in areas where there is the lowest probability of flooding. This site is situated in Flood Risk Zone 1 (see Image 11 below) where flooding from rivers and the sea is very unlikely. There is less than a 0.1% chance of flooding each year.

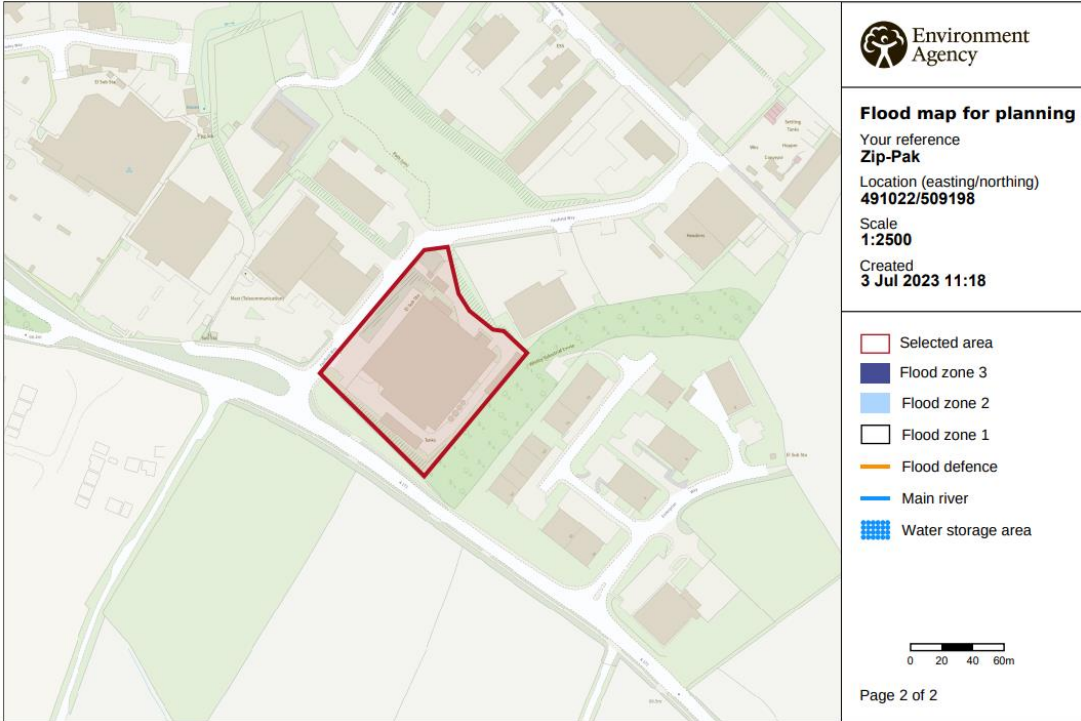


Image 8: Flood map for planning  
(Source: Environment Agency)



## **6.0 Conclusion**

- 6.1 The principle of development should be considered acceptable due to the proposal being the expansion of a long established, existing business within the Whitby Business Park.
- 6.2 The design of the silos is in keeping with the existing silos on site and the industrial character of the surrounding area.
- 6.3 Extensive screening on site allows for minimal visual impact from within the North York Moors National Park.
- 6.4 The NPPF introduces a presumption in favour of sustainable development, and this is currently a key material consideration in planning decisions. There are no significant adverse planning impacts in this case that would outweigh the benefits of this proposal to justify the refusal of planning permission. The policies in the are consistent with the planning merits of this proposal.
- 6.5 In summary, it has been demonstrated that there are no policies or other material considerations which would suggest that planning permission should not be granted.
- 6.6 We confirm that we represent the applicant with respect to this planning application. We will be in touch with the appointed planning officer in the coming weeks to discuss the proposed development.