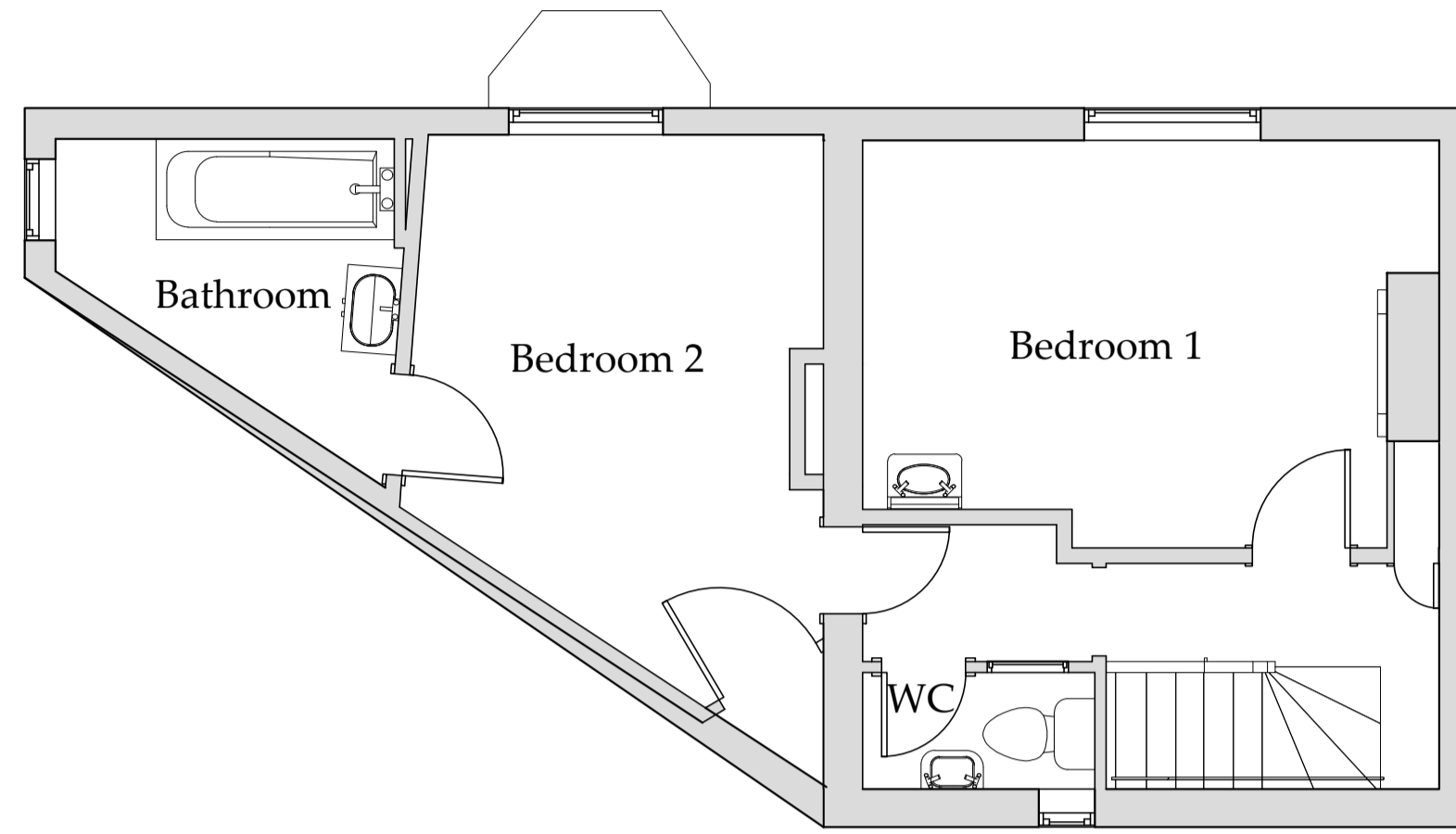
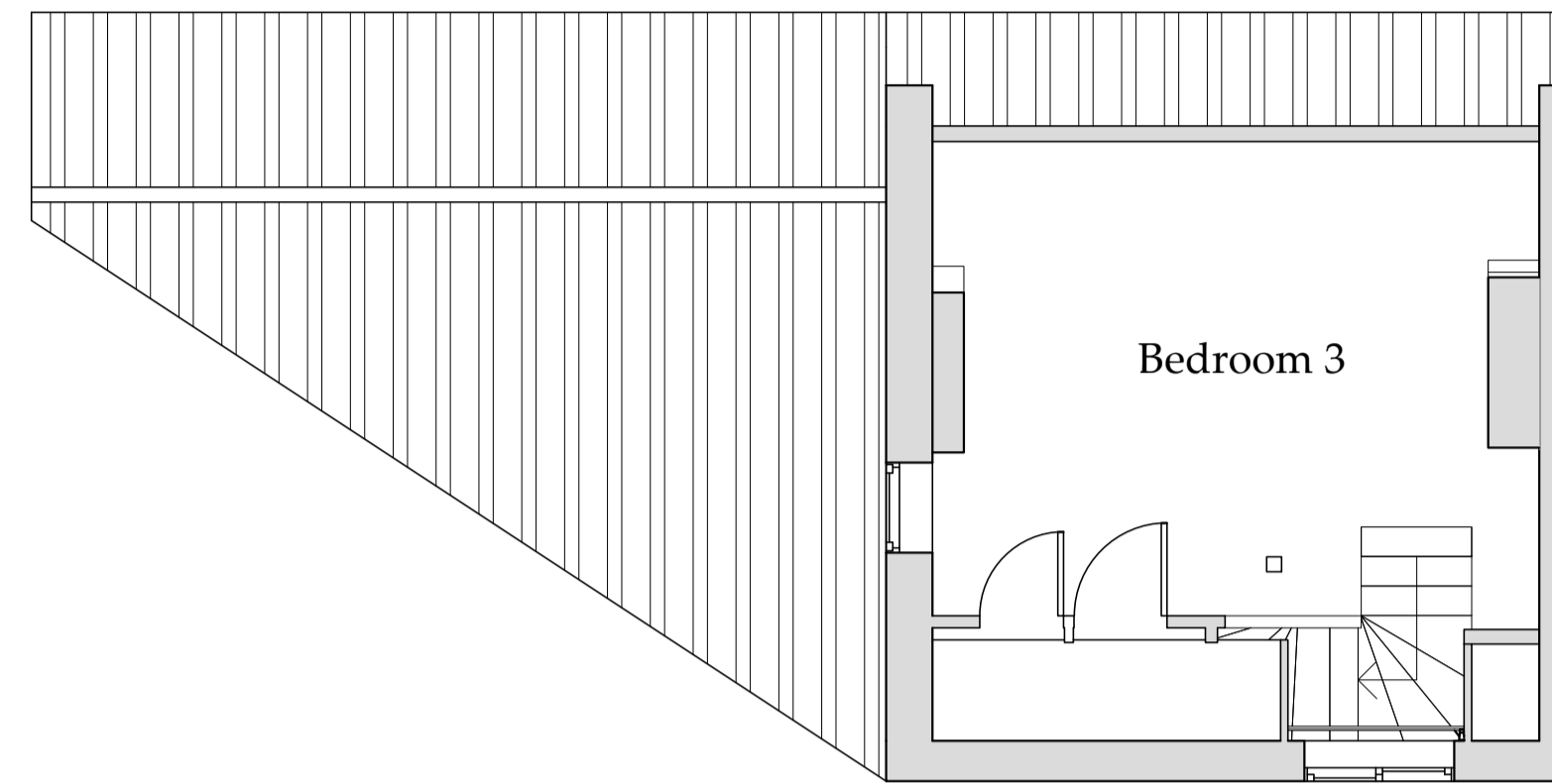


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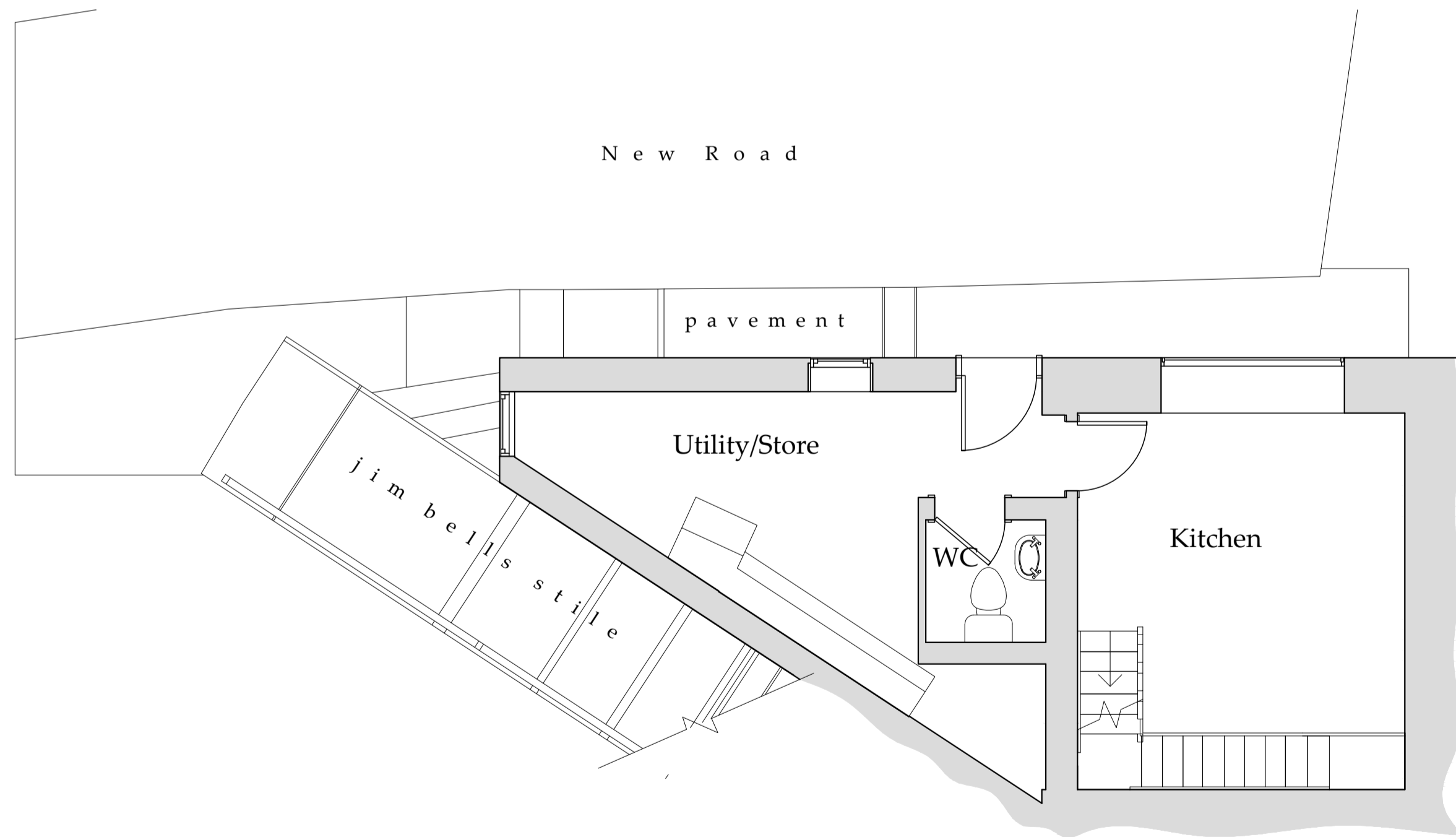
First Floor Plan
Scale 1:50



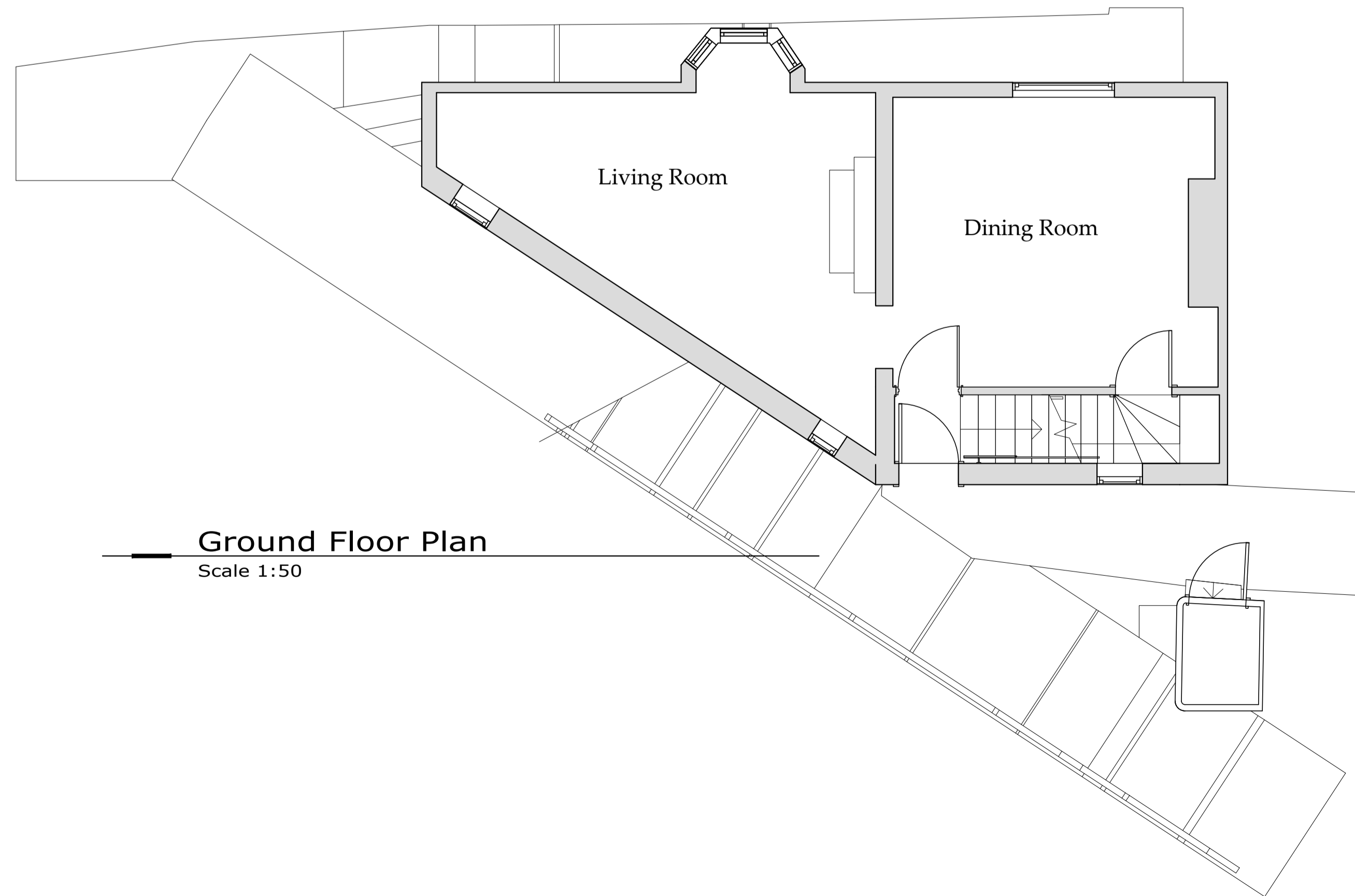
Second Floor Plan
Scale 1:50



Existing Front Elevation
Scale 1:100



Lower Ground Floor Plan
Scale 1:50



Ground Floor Plan
Scale 1:50

NYMNP
30/08/2023

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Drawings for planning and client consideration only

Survey drawings provided by client

C	04/08/23	CE	Elevation added
B	22/05/23	CE	Updated
A	13/03/23	NID	Issue for approval

REV	DATE	BY	AMENDMENT
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BHD Design Ltd
 Airy Hill Manor
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 YO21 1QB
 Tel: 01947604871
 E: enquiries@bhddesign.co.uk

CLIENT: Jackie and Rob Wallace

PROJECT: Refurbishment of Burleigh Cottage RHB YO22 4SS

Drawing: Existing Floor Plans
Pre App Information only

DRAWING STATUS: Pre application

DRAWN:	CHECKED:
NID	

SCALE @ SIZE:	DATE:
1:50 @ A1	09/03/23

DRAWING No:	REV:
D12540-03	C

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 30/08/2023

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Survey drawings provided by client

REV	DATE	BY	AMENDMENT
D	04/08/23	CE	Altered to suit clients
C	22/06/23	nid	Various client detail
B	22/05/23	CE	Information added
A	13/03/23	NID	Issue for approval

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 Tel: 01947604871
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CLIENT: Jackie and Rob Wallace

PROJECT: Refurbishment of Burleigh Cottage RHB YO22 4SS

Drawing: Proposed Lower ground and ground Floor Plans

DRAWING STATUS: Preliminary

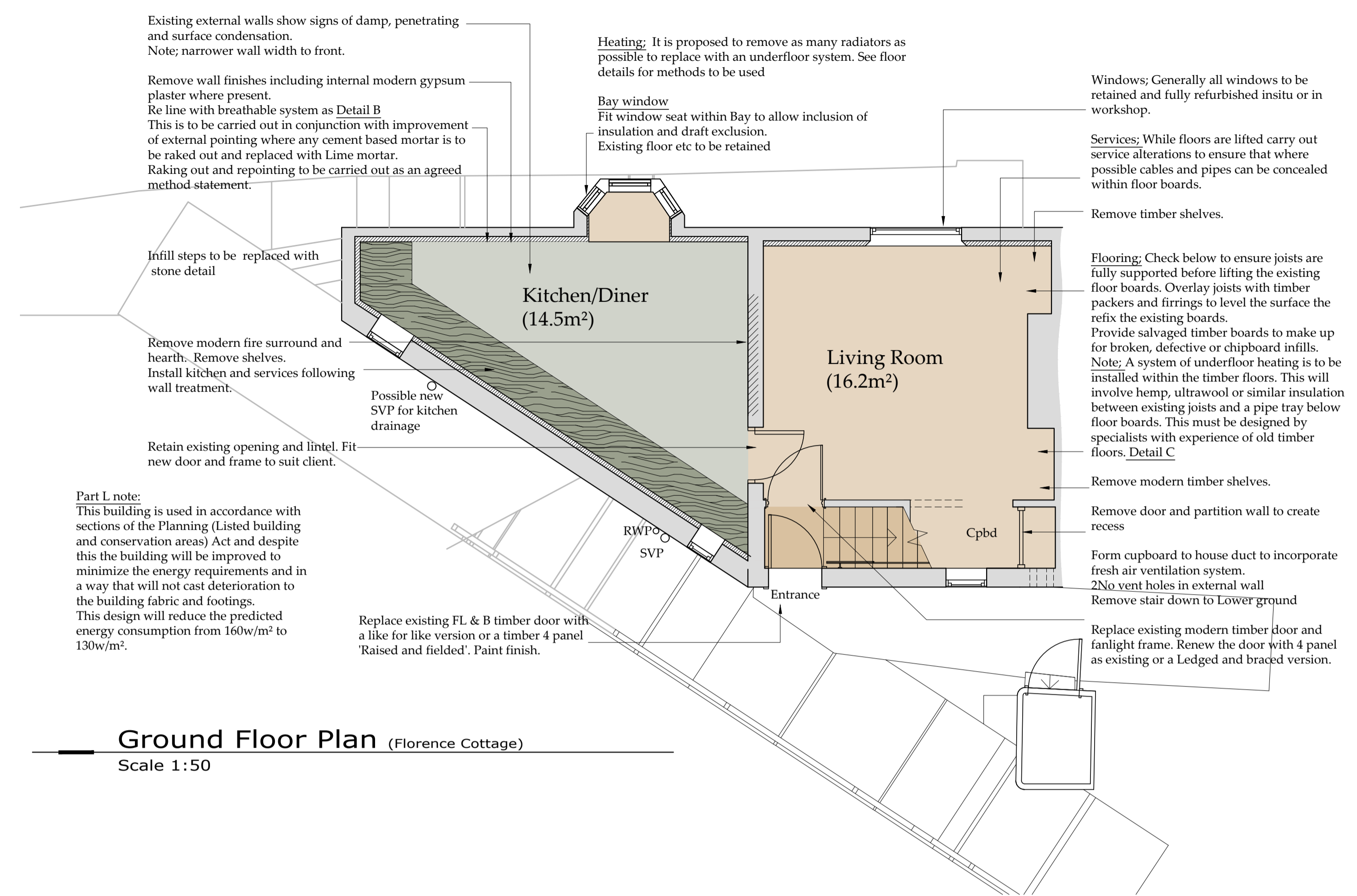
DRAWN: NID CHECKED:

SCALE @ SIZE: 1:50 @ A1 DATE: 09/03/23

DRAWING No: D12540-04 REV: D



Proposed Front Elevation
 Scale 1:100

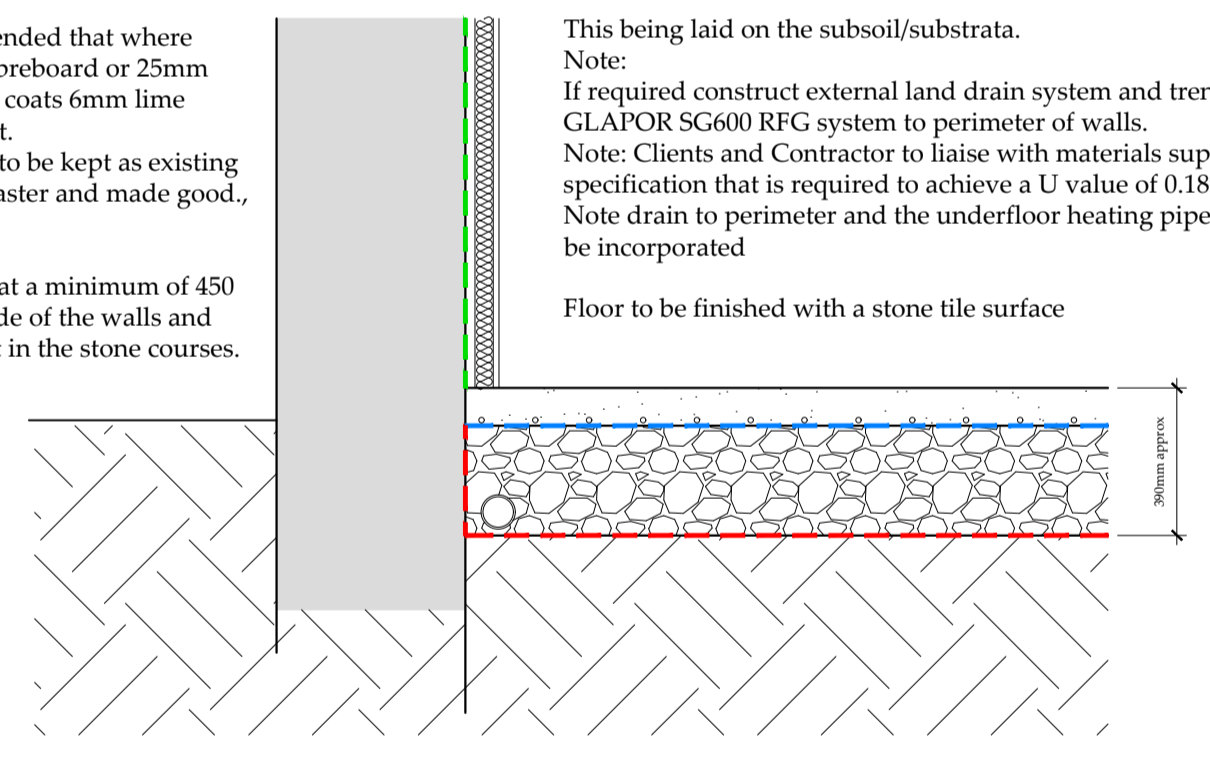


Ground Floor Plan (Florence Cottage)
 Scale 1:50

Insulated floor system: Detail A
 Note:
 This is based on the 'Sublime' Insulated Floor System recommended by Ty Mawr suppliers of materials for use in old buildings.
 • 100mm thick Limecrete slab providing moisture buffering and maintaining a dry slab
 • 40mm thick corkboard edge insulation as an upstand 100mm high around the perimeter of each room to which the limecrete slab abuts.
 • 290mm thick GLAPOR SG600 RFG (reinforced foam glass) forms an insulated layer combining an engineering base, wicking break and moisture buffering.
 • Laid on a geotextile wrapped up and around the perimeter edges and below the geotextile above.

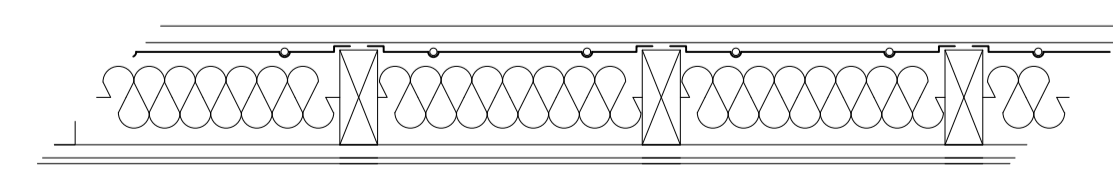
Wall Insulation: Detail B
 Note:
 Clean down internal face of walls and repoint where necessary using lime mortar.
 25mm cavity with Tyvek vapour membrane fixed to wall. Construct 50mm x 50mm tanalised timber lining walls insulated using 50mm Themafleece Cosywool/Ultrawool/NatralHemp between frame, 15mm Celenit Woodfibre board to inner face. Attach mesh for lime plaster finish using 2 coats Fine Hemp plaster plus mesh and 1 no. top coat of 3mm internal finish or Superfine Plaster.
 Alternatively use 1 no. coat 10mm thick REBOCO (meshed) lime plaster with 1 no. top coat of 3mm CAL finishing plaster.

At window and door reveals it is recommended that where practical 50mm thick Homatherm wood fibreboard or 25mm Celenit wood wool board plus mesh and 2 coats 6mm lime plaster and 1 coat of 3mm fine lime topcoat.
 Existing internal stone walls are generally to be kept as existing and cleaned down, repointed with lime plaster and made good, then only sealed if essential.
 Where new floors abut the walls ensure that a minimum of 450 to 600mm of the d.p.m is taken up the inside of the walls and turned into an appropriate horizontal joint in the stone courses.

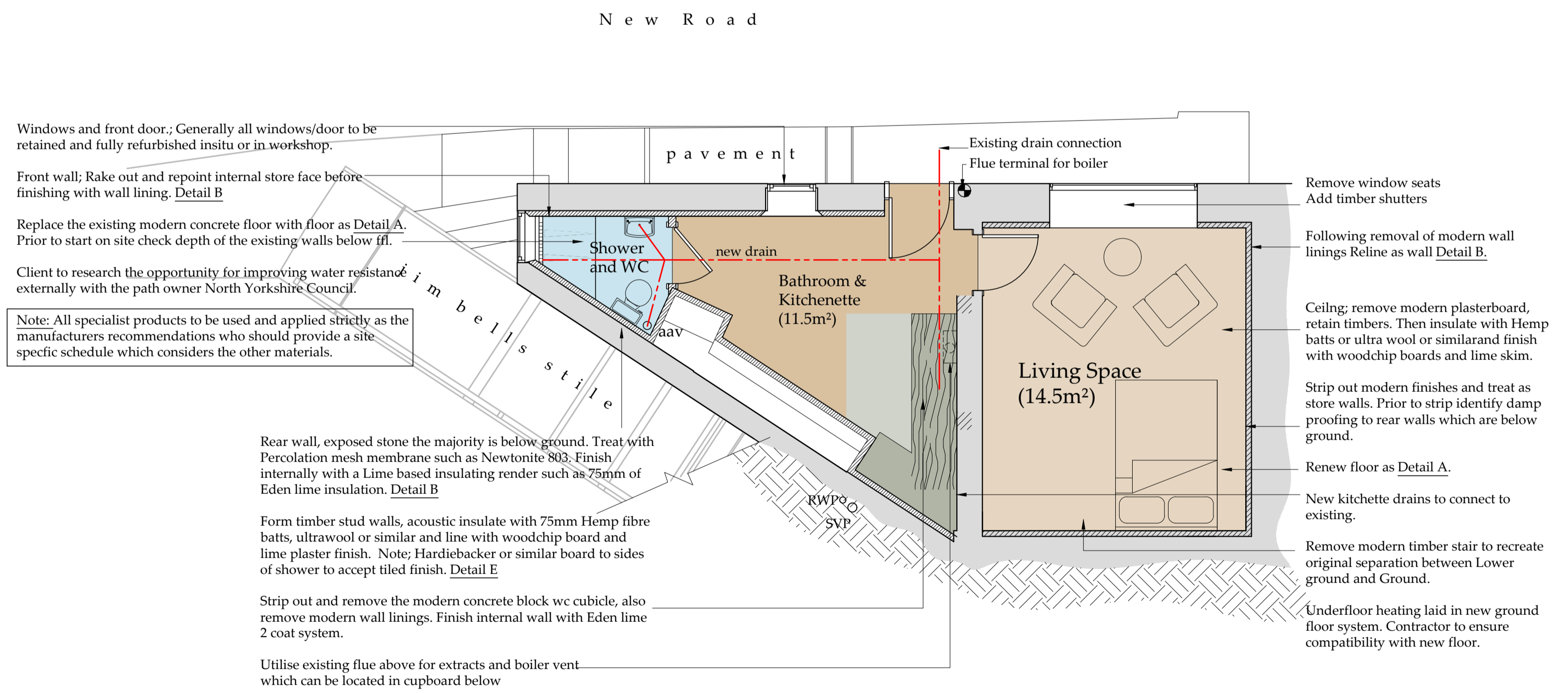


Proposed floor and wall treatment Detail A & B
 Scale 1:20

Existing timber floors: Detail C
 Carefully lift existing floorboards and save for reuse. Obtain reclaimed timber for making good areas of new or damaged flooring. Some current areas are chipboard.
 Insert hemp insulation batts, ultra wool or similar before fixing steel pipe trays between existing joists. Lay underfloor heating pipes in trays then refit timber floorboards.
 NOTE: shrinkage may occur to timber boards



Suspended timber floor Detail C
 Scale 1:10



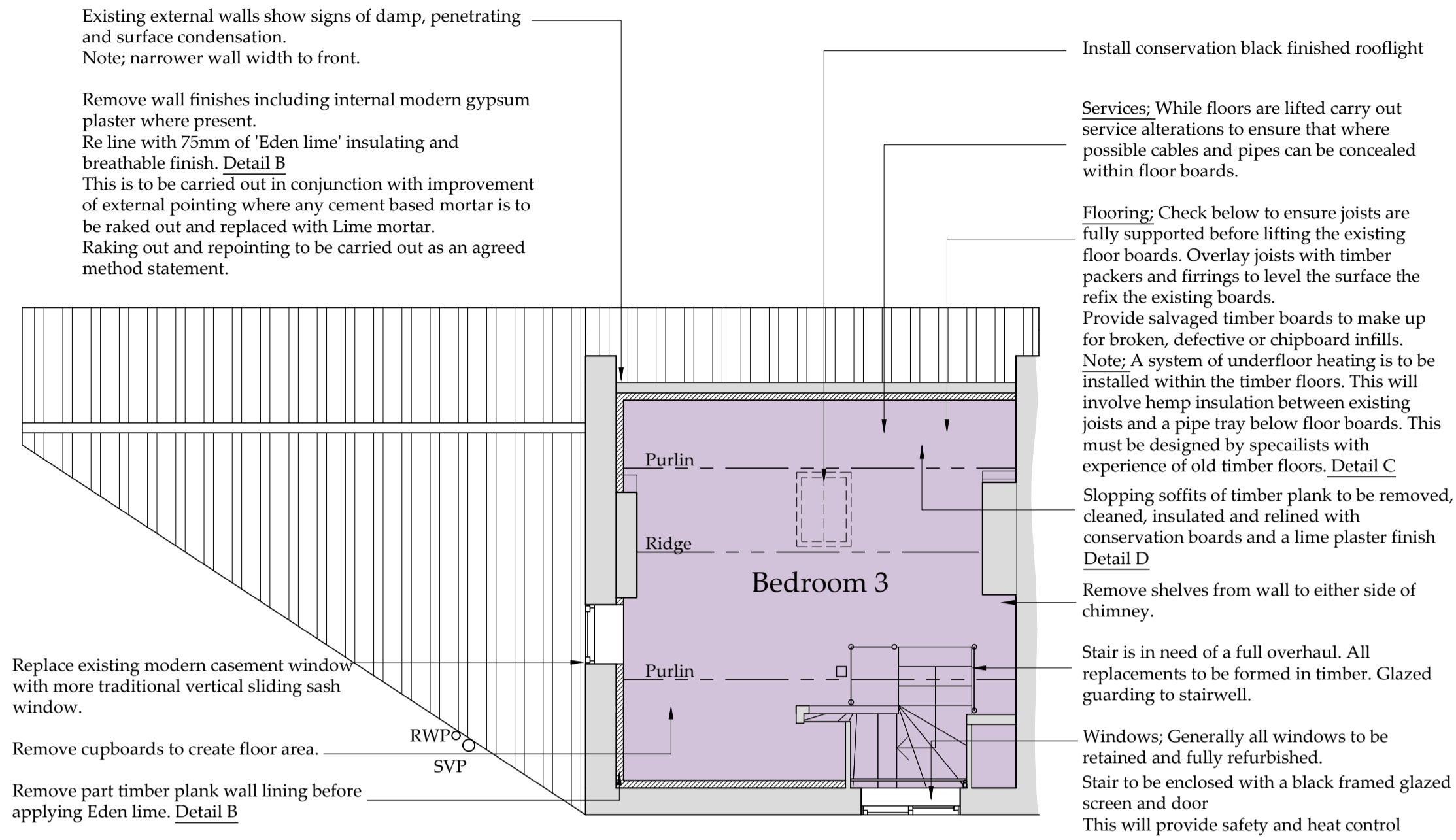
Lower Ground Floor Plan (George James Cottage)
 Scale 1:50

Windows and front door; Generally all windows/door to be retained and fully refurbished in situ or in workshop.
 Front wall; Rake out and repoint internal store face before finishing with wall lining. Detail B
 Replace the existing modern concrete floor with floor as Detail A. Prior to start on site check depth of the existing walls below tfl.
 Client to research the opportunity for improving water resistance externally with the path owner North Yorkshire Council.
 Note: All specialist products to be used and applied strictly as the manufacturers recommendations who should provide a site specific schedule which considers the other materials.

Rear wall, exposed stone the majority is below ground. Treat with Percolation mesh membrane such as Newtonite 803. Finish internally with a Lime based insulating render such as 75mm of Eden lime insulation. Detail B
 Form timber stud walls, acoustic insulate with 75mm Hemp fibre batts, ultrawool or similar and line with woodchip board and lime plaster finish. Note: Hardiebacker or similar board to sides of shower to accept tiled finish. Detail E
 Strip out and remove the modern concrete block wc cubicle, also remove modern wall linings. Finish internal wall with Eden lime 2 coat system.
 Utilise existing flue above for extracts and boiler vent which can be located in cupboard below

Remove window seats
 Add timber shutters
 Following removal of modern wall linings Reline as wall Detail B.
 Ceiling; remove modern plasterboard, retain timbers. Then insulate with Hemp batts or ultra wool or similar and finish with woodchip boards and lime skim.
 Strip out modern finishes and treat as store walls. Prior to strip identify damp proofing to rear walls which are below ground.
 Renew floor as Detail A.
 New kitchenette drains to connect to existing.
 Remove modern timber stair to recreate original separation between Lower ground and Ground.
 Underfloor heating laid in new ground floor system. Contractor to ensure compatibility with new floor.

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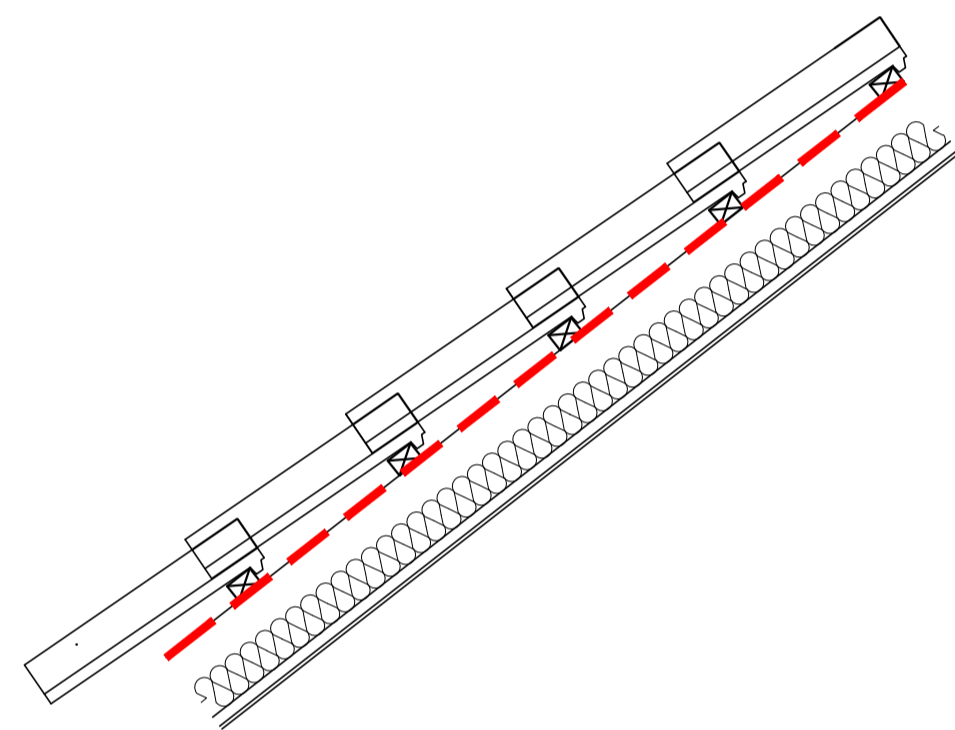


General Notes
 All rainwater and SVP's to be replaced with new cast iron.
 Black painted- Matt

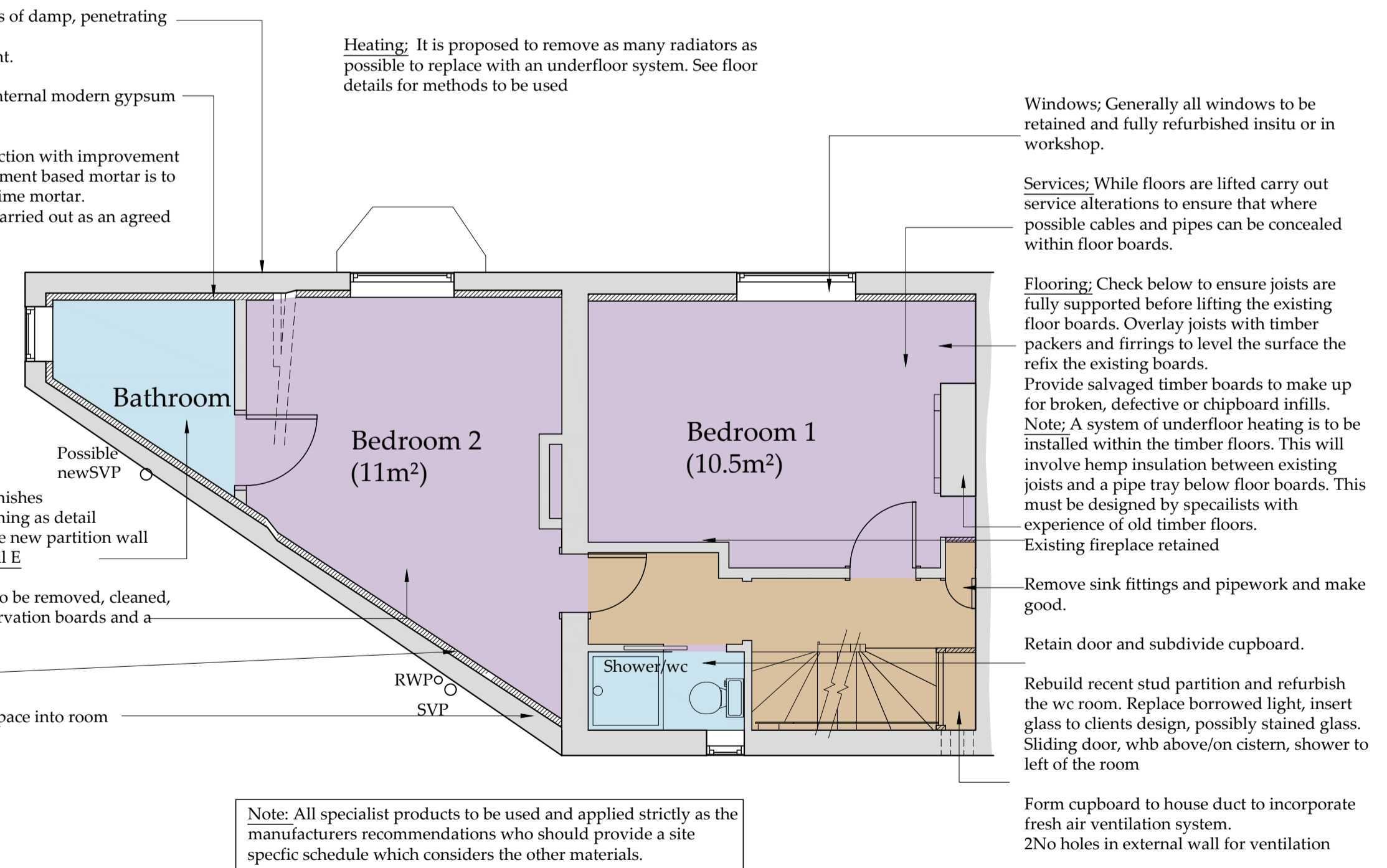
Heating: It is proposed to remove as many radiators as possible to replace with an underfloor system. See floor details for methods to be used

Joinery
 Replacement skirtings and architraves to be natural timber finish, oiled

Second Floor Plan
 Scale 1:50

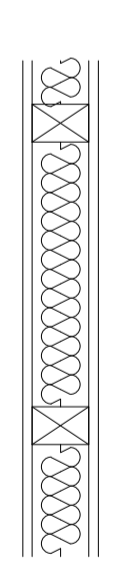


Roof detail Detail D
 Scale 1:10



Stair is in need of a full overhaul. All replacments to be formed in timber. Make good existing guarding to landing.

First Floor Plan
 Scale 1:50



Proposed stud wall Detail E
 Scale 1:10

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 30/08/2023

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Drawings for planning and client consideration only

Survey drawings provided by client

REV	DATE	BY	AMENDMENT
C	04/08/23	CE	Altered to suit clients
B	23/06/23	nid	Various client details
A	23/05/23	CE	Issue for approval

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CLIENT: Jackie and Rob Wallace

PROJECT: Refurbishment of Burleigh Cottage RHB YO22 4SS

Drawing: Proposed First and second Floor Plans

DRAWING STATUS: Preliminary

DRAWN: NID CHECKED:

SCALE @ SIZE: 1:50 @ A1 DATE: 09/03/23

DRAWING No: D12540-05 REV: C