

Date: 21 July 2023
Your Ref: PP-12286892
Our Ref: 006/2017/002
Email:
Tel:

North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
North Yorkshire
YO62 5BP

NYMNPA

21/07/2023

Dear Sir/Madam

Change of use of Former Sawmill (Fossil Workshop) from Light Industry (Processing of Fossils) to Use Class E (shops) former Sawmill, East Row, Sandsend. (Ref: PP-12286892)

I am writing to inform you of the submission of a full/detailed planning application for the change of use of the former Sawmill (Fossil Workshop), East Row, Sandsend from Light Industry (Processing of Fossils) to Use Class E (Shops). The planning application is submitted on behalf of the Mulgrave Estate via the Planning Portal (ref: PP-12286892).

A full/detailed planning application is required as the current B1 Light Industrial Use permitted by consent NYM4/037/010B/PA restricts the current lawful use to only the processing of fossils and no other purpose (including any other purpose use in Class B1 of the Use Classes order). The fossil processing business has ceased at the premises.

No enlargement/extension of the building is proposed and all external works are restricted to repairs, reinstatement and refurbishment of the windows, doors and external render. No additional parking is proposed with staff and customers expected to park vehicles in the nearby car park (subject of planning consent NYM/2020/1018/FL). Documents and plans submitted in support of the planning application are as follows:

- Covering letter;
- Planning Application Form and Certificate of Ownership;
- Planning, Design and Access Statement;
- 02_2023_3001 (Location Plan);
- 02_2023_3002 (Existing and Proposed Floor Plans);
- 02_2023_3003 (Existing Elevations Plans);
- 02_2023_3004 (Proposed Elevations Plans);
- 02_2023_3005 (Red Line Plan).

The planning application fee of £462 + £64 service charge has been paid by the applicant via the planning portal. I trust that this is everything you require to validate the planning application and to inform the Authority's consideration of the proposal. Please do contact me if you require any additional information, please do contact me.

Yours sincerely



John Long BA (hons) DipTP, MRTPI

Director

Encl.



PLANNING, DESIGN AND ACCESS STATEMENT

PROPOSAL: CHANGE OF USE FROM LIGHT INDUSTRY (PROCESSING OF FOSSILS)
TO USE CLASS E (SHOPS)

SITE: FORMER SAWMILL (FOSSIL WORKSHOP), EAST ROW, SANDSEND

PREPARED BY: JOHN LONG BA (HONS) DIPTP MRTPI

DATE: 21 JULY 2023

NYMNP A

21/07/2023



TABLE OF CONTENTS

1	INTRODUCTION	1
2	THE SITE AND LOCAL PLANNING CONTEXT	2
3	THE PROPOSAL.....	3
4	PLANNING POLICY CONSIDERATIONS.....	6
5	EVALUATION OF SCHEME AGAINST PLANNING POLICY	9
6	DESIGN AND ACCESS STATEMENT.....	12
7	CASE FOR THE DEVELOPMENT AND CONCLUSION	13

APPENDICES

APPENDIX 1: APPLICATION DRAWINGS

1 Introduction

- 1.1 This Planning, Design and Access Statement has been prepared by John Long Planning Ltd on behalf of the Mulgrave Estate in support of a detailed planning application for the change of use of the former Sawmill, East Row, Sandsend from light industry (processing of fossils) to Use Class E (shops). The only external works proposed are limited to repairs, replacements and refurbishments (windows, doors and walls etc.).
- 1.2 This Statement describes the detailed proposals; summarises technical work undertaken to support the application; summarises the design evolution and access considerations; considers its compliance with relevant planning policies; and other material considerations. It concludes by setting out the planning justification for the proposal. The application documents submitted as part of the application comprise of the following:
- Covering letter;
 - Planning Application Form and Certificate of Ownership;
 - 02_2023_3001 (Location Plan);
 - 02_2023_3002 (Existing and Proposed Floor Plans);
 - 02_2023_3003 (Existing Elevations Plans);
 - 02_2023_3004 (Proposed Elevations Plans); and
 - 02_2023_3005 rev b (Red Line Plan).
- 1.3 Documents submitted in support of the application:
- Planning, Design and Access Statement (this document).

2 The Site and Local Planning Context

The Site and Surroundings

- 2.1 The scheme proposes the change of use of the former Sawmill, East Row, Sandsend from Light Industry (Processing of Fossils) to Use Class E (shops). The only external works proposed are limited repairs, replacements and refurbishments (windows, doors and walls etc.). The Application drawings are included at Appendix 1.

Planning History

- 2.2 The North Yorkshire Council online application search indicates that the former Sawmill was the subject of a planning application for conversion of the building from agriculture/forestry use to light industry (Processing of Fossils) use (Ref: NYM4/037/010/PA) approved in September 1995.
- 2.3 Nearby, planning permission was granted in August 2021 (ref: NYM/2020/1018/FL) for a car park on the former Sawmill yard. The car park has been constructed and is operational.

Registered Park and Garden

- 2.4 The Former Sawmill (Fossil Workshop) is in the Mulgrave Castle Registered Park and Garden. The Mulgrave Castle Registered Park and Garden (RPG) is registered primarily for its historical and natural significance. The RPG's special historic interest comes from the Estate's evolving nature over time as well as the changing relationship between architecture and landscape. The RPG had the two predecessor castles on the site, Foss Castle and Old Mulgrave Castle, as well as the current Mulgrave Castle. The RPG has also seen the involvement of prominent garden designers and architects including Sir John Soane and Humphry Repton RPG in the 18th and 19th centuries.

3 The Proposal

Scheme Description

- 3.1 The planning application seeks permission for the change of use of the former Sawmill (Fossil Workshop), East Row, Sandsend from Light Industry (Processing of Fossils) to Use Class E (shops). Approximately, 123.6 sqm of new retail/shop and ancillary floorspace (storerooms, kitchens, WCs) will be created.

Proposed works

- 3.2 All external works are limited to repairs, reinstatement and refurbishment of the windows, doors and external wall render. No enlargement/extension of the building is proposed and no additional parking is proposed with staff and customers expected to park vehicles in the nearby car park (subject of planning consent ref: NYM/2020/1018/FL).
- 3.3 The internal works consist of the installation of insulated walls and partition walls and fitting out (incl. WCs and sinks). These alterations are designed to protect the original fabric of the building as far as possible and use minimal fixings to masonry, and ensure the existing wall and floor fabric remain in situ.
- 3.4 Drawings are submitted to demonstrate the works are limited to repairs, reinstatement and refurbishment of the windows, doors and external wall render; and internal works only, not requiring planning consent.
- 3.5 The retail/shop use is considered small scale and intended to support the local Sandsend / East Row catchment, aimed mostly at holiday makers and day visitors. The size and nature of the scheme will not draw customers from a wider catchment. The small amount of retail floorspace and its nature (i.e., to serve the Sandsend and East Row tourism and day visitor market) is considered not to require the need for a retail impact assessment, or sequential test. Furthermore, the benefits accrued from making the appropriate and sympathetic use of an existing building would outweigh any very minor impacts that would be caused by the small-scale retail use. The number of workers at the shops and opening hours are not yet known.



Figure 1: Former Sawmill (Fossil Workshop) (West/South Elevation).



Figure 2: Former Sawmill (Fossil Workshop) Central Section (East/South Elevation).

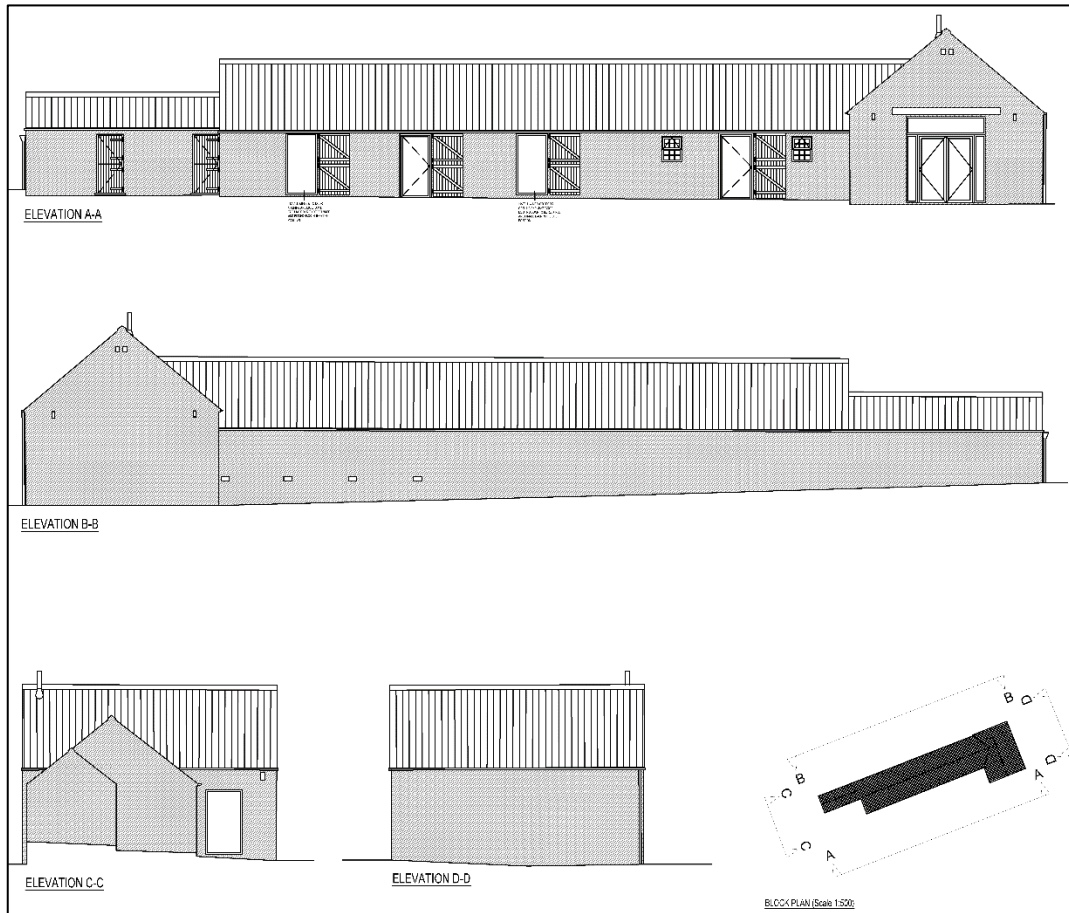


Figure 3: (Proposed Elevation)

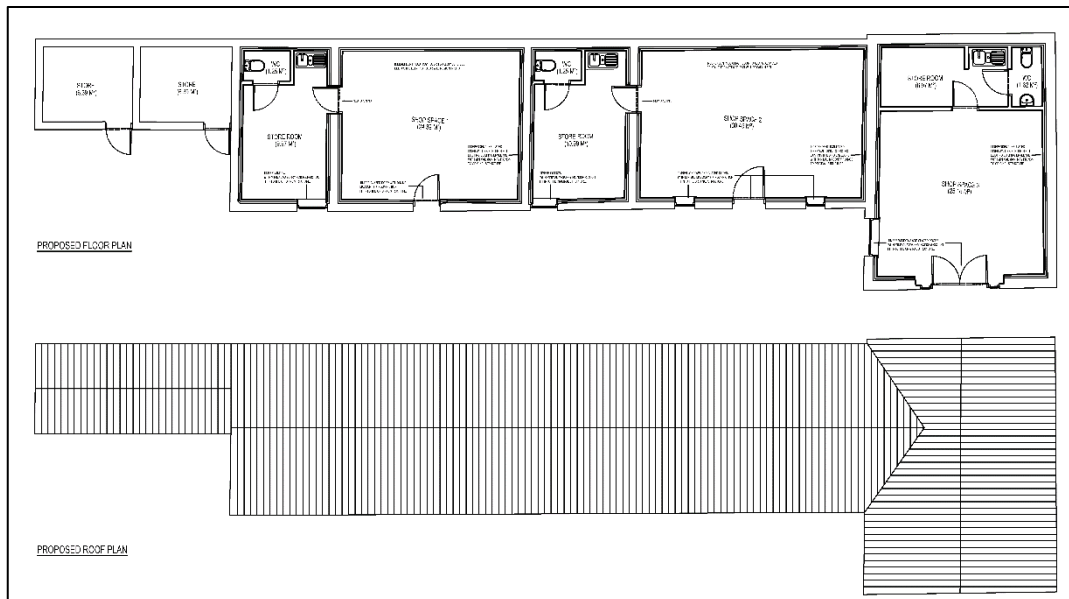


Figure 4: (Proposed Plan)

4 Planning Policy Considerations

Local Development Plan Policies

4.1 The relevant Development Plan for the proposal is the North York Moors National Park Authority Local Plan (2020). The main strategic policies relevant to the proposal are:

- **Strategic Policy A - Achieving National Park Purposes and Sustainable Development.** *This strategic policy takes a positive approach to new development in line with the presumption in favour of sustainable development: 1. To conserve and enhance the natural beauty, wildlife and cultural heritage of the National Park; 2. To promote opportunities for the understanding and enjoyment of the special qualities of the National Park by the public. Development is allowed that a) Is of a high quality design and scale which respects and reinforces the character of the local landscape and the built and historic environment; b) Supports the function and vitality of communities by providing appropriate and accessible development to help meet local need for housing or services, facilities, energy or employment opportunities; c) Protects or enhances natural capital and the ecosystem services they provide; d) Maintains and enhances geodiversity and biodiversity through the conservation and enhancement of habitats and species; e) Builds resilience to climate change through adaptation to and mitigation of its effects; f) Makes sustainable use of resources, including using previously developed land wherever possible; and g) Does not reduce the quality of soil, air and water in and around the National Park.*
- **Strategic Policy B –The Spatial Strategy.** *The site at East Row is designated as Open Countryside in the spatial strategy. It allows for conversions of rural buildings to alternative uses (see Policy CO10 (3) and CO12).*
- **Strategic Policy C - Quality and Design of Development.** *This strategic policy allows development where: proposals are of a high quality design that will make a positive contribution to the local environment in accordance with the principles set out in the NYMNP Authority Design Guide; the proposal incorporates good quality construction materials and design details that reflect and complement the architectural character and form of the original building and/or that of the local vernacular; the siting, orientation, layout and density of the proposal complement existing buildings and the form of the settlement, preserving or enhancing views into and out of the site and creating spaces around and between buildings which contribute to the character and quality of the locality; the scale, height, massing and form of the proposal are compatible with surrounding buildings and will not have an adverse impact upon the amenities of adjoining occupiers; sustainable design and construction techniques are incorporated in the proposal including measures to minimise waste and energy use and where appropriate use energy from renewable sources; a good quality landscaping and planting scheme which reinforces local landscape character, increases habitat connectivity and makes use of appropriate native species forms an integral part of the proposal; proposals to enhance local wildlife and biodiversity, for*

example through the inclusion of nesting boxes and bat roosts; where appropriate, cycling facilities and car parking are provided provision and without compromising local highway safety, traffic flow or Public Rights of Way; and the proposal ensures the creation of an accessible, safe and secure environment for all potential users, including the elderly, children and those with a health condition or impairment.

- **Strategic Policy G – The Landscape.** *This strategic policy seeks to protect the high quality, diverse and distinctive landscapes of the North York Moors. Great weight will be given to landscape considerations in planning decisions and development will be supported where the location, scale and detailed design of the scheme respects and enhances the local landscape character type as defined in the North York Moors Landscape Assessment.*
- **Strategic Policy I – The Historic Environment.** *This strategic policy seeks to safeguard designated and non-designated assets from proposals that would harm their historic significance.*

4.2 The main development management policies relevant to the proposal are:

- **Policy CO12 – Conversion of Existing Buildings in the Open Countryside.** *This development management policy allows for the conversion of certain buildings in the open countryside, such as structurally sound buildings of architectural or historic interest in reasonably accessible locations; and subject to criteria that ensure proposals are high quality and do not cause unacceptable harm to the building's fabric or setting or result in changes that would adversely affect the character and appearance of the building or surrounding landscape etc. the building is located within a group of buildings and is compatible with the surrounding locality etc.*
- **Policy CO2 – Highways.** *This development management policy allows development where: It is of a scale which the adjacent road network has the capacity to serve without detriment to highway safety; the external design and layout and associated surfacing works take into account, as appropriate, the needs of all users including cyclists, walkers, horse riders and users of mobility aids; and highway detailing, road improvements and street furniture are sensitive to the character, heritage, built form and materials of the area, the need to conserve and enhance biodiversity and are the minimum required to achieve safe access.*
- **Policy BL8 - Shops, Offices and Food and Drink Services.** *This development management policy allows for new retail development In Open Countryside where new proposals are ancillary to an existing enterprise provided that the proposal does not result in a cumulative increase in activity which would have an unacceptable impact on the character of the area, the amenity of local residents, or the wider vitality and viability of villages.*

National Planning Policies

4.3 The National Planning Policy Framework (NPPF) is a material consideration with considerable weight. The relevant national planning policies are set out in the NPPF, revised February and July 2019. Paragraph 7-8 of the NPPF, the Government underlines its commitment to sustainable development and states that:

“The purpose of the planning system is to contribute to the achievement of sustainable development...achieving sustainable development means that the planning system has three overarching objectives which are interdependent and need to be pursued in mutually supportive ways:..

- *an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth, innovation and improved productivity, and by identifying and coordinating the provision of infrastructure;*
- *a social objective– to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible local services and open spaces that reflect current and future needs and support communities’ needs health, social and cultural well-being;*
- *an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigating and adapting to climate change including moving to a low carbon economy.”*

5 Evaluation of Scheme against Planning Policy

5.1 Section 38(6) of the Planning and Compulsory Purchase Act (2004), requires the proposed development to be judged against the Development Plan Policies in the first instance; and planning decisions made on the basis of its compliance with the Development Plan Policies, taking into account material planning considerations, and applying the planning balance of the scheme’s impacts against the positive benefits that will be derived. The table below sets out the proposal’s performance against the Development Plan:

DEVELOPMENT PLAN POLICY	CONFORMITY OF SCHEME
North York Moors National Park Authority Local Plan 2020	
Strategic Policy A - Achieving National Park Purposes and Sustainable Development	<p>The proposal is considered to be in conformity with Strategic Policy A as it is of a scale that will not have an unacceptable impact on the wider landscape or the quiet enjoyment, peace and tranquillity of the Park. It will represent sustainable development by securing the future of a rural building. The scheme respects and reinforces the character of the local landscape and the built and historic environment.</p> <p>The proposal will not result in significant environmental impacts or the loss of important ecosystems or natural capital.</p> <p>The scheme proposed the appropriate re-use of an existing building. It is not of a scale that would adversely impact on the quality of soil, air and water in the park. It would not impact on the landscape character of the immediate or wider area.</p>
Strategic Policy B –The Spatial Strategy	<p>The proposal is considered to be in general conformity with Strategic Policy B. It proposes the change of use of a building in the Open Countryside, which is supported by the Policy.</p>
Strategic Policy C - Quality and Design of Development	<p>The proposal is considered to be in conformity with Strategic Policy C. It is a change of use of an existing building, with no alterations needed to the elevations. It will not result in the loss of any open space which contributes to the amenity, character and setting of a settlement. The scheme will not have an adverse impact on the amenity of any neighbours. No mature trees are proposed to be removed to accommodate the proposal.</p>
Strategic Policy G – The Landscape	<p>The proposal is considered to be in conformity with Strategic Policy G, as it would not adversely impact on any Conservation Areas or Listed Buildings in the immediate area; any Historic Parks and Gardens, Scheduled Ancient Monuments or other sites of Archaeological Importance.</p> <p>As the scheme proposes the change of use of an existing building, there will be no additional landscape impacts caused by the change of use. Similarly, as there are no external works to the building, other than repairs, refurbishments and re-instatements where necessary, there will be no additional adverse impacts caused by the building’s change of use.</p> <p>In terms of the overall impact of the scheme on the Registered Park and Garden (RPG), there would be no key views into or out of the site, nor any historic lost views which would be affected by the scheme. In overall terms, the scheme would result in no impact on the RPG.</p>

DEVELOPMENT PLAN POLICY	CONFORMITY OF SCHEME
Strategic Policy I - The Historic Environment	<p>The proposal is considered to be in conformity with Strategic Policy I. It will not have a detrimental impact on any Conservation Areas or designated heritage assets, including the RPG. The scheme proposes to change the use of an existing building. There will be no additional impacts caused by the change of use. There would be no key views into or out of the site, nor any historic lost views which would be affected by the scheme. Similarly, as there are no external works to the building, other than repairs and re-instatements, where necessary, there will be no additional adverse impacts caused by the building's change of use.</p>
Policy CO2 – Highways	<p>The proposal is considered to be in conformity with Development Management Policy CO2. Access to the site will be via the existing road to the new car park (adjacent). Traffic generated by the change of use will be minor and would not increase risks to the safety of road users or pedestrians.</p>
Policy CO12 - Conversion of Existing Buildings in the Open Countryside.	<p>The proposal is considered to be in conformity with Development Management Policy CO12 as it proposes the change of use of an existing building. The building is a traditional construction and considered to have some architectural/historic interest. It makes a contribution to the landscape and special qualities of the Park. The building is structurally sound and capable of accommodating the change of use without substantial rebuilding.</p> <p>The building is appropriately sized for its intended use without the need for significant alterations, extensions or other new buildings. The building has reasonable access to necessary infrastructure, services and facilities.</p> <p>The proposal is considered to be a high-quality design that respects the form and character of the building and provides for essential functional requirements without unacceptable harm to its fabric or its setting. The design retains existing external features which contribute to the building's character including original openings and roofing materials.</p> <p>The proposed change of use does not lead to substantive changes, for example, in the building's curtilage or in relation to any new vehicular access or parking area that would adversely affect the character and appearance of the building or the surrounding landscape. The proposed use is compatible in nature, scale and level of activity with the surrounding locality.</p> <p>The external works to the outbuilding are limited to repairs, refurbishment and replacements to match existing. The internal works consist of the installation of insulated walls and partition walls and fitting out (incl. WCs and sinks). These alterations are designed to protect the original fabric of the building as far as possible and use minimal fixings to masonry, and ensure the existing wall and floor fabric remain in situ.</p> <p>The works are considered to be sensitive towards the building's character and represents the minimum required to facilitate the change of use.</p> <p>Any harm to the significance of the building caused as a result of the proposed change of use is considered to be minimal and less than substantial, and the public benefits of securing the long-term use of the building, and its ongoing maintenance are considered sufficient to outweigh any limited harm to the setting. The proposal is, therefore, considered to generally accord with this policy.</p>

DEVELOPMENT PLAN POLICY	CONFORMITY OF SCHEME
Policy BL8 – Shops, Offices and Food and Drink Services	The proposal is considered to be in conformity with Development Management Policy BL8. The use is ancillary to an existing enterprise (Mulgrave Estate’s commercial enterprises, including the running of the car park) and the proposal does not result in a cumulative increase in activity which would have an unacceptable impact on the character of the area, the amenity of local residents, or the wider vitality and viability of villages.

5.2 The main material considerations relevant to the site include the NPPF.

NATIONAL PLANNING POLICY	CONFORMITY OF SCHEME
Paragraph 11 confirms that objective of achieving sustainable development and that decisions on planning applications that accords with the Development Plan should be approved without delay.	The proposed development is in conformity with this part of the revised NPPF. The application, as demonstrated in the previous section, confirms that the scheme would contribute to achieving sustainable development and is in conformity with the Development Plan.
Paragraph 47 confirms that applications for planning permission must be made in accordance with the Development Plan unless material considerations indicate otherwise. It also requires the Council to approve development that accords with the Development Plan without delay.	The proposed development is in conformity with this part of the revised NPPF. The application, as demonstrated in the previous section, is in conformity with the Development Plan.
Paragraphs 126-138 emphasises the importance of good design, and the need to achieve high quality buildings and public spaces. It acknowledges the role of design guidance but cautions that it should avoid unnecessary prescription or detail and should concentrate on the overall scale, density, massing, height, landscape, layout, materials and access.	The proposed development is in conformity with this part of the revised NPPF. The design is purposefully low key with external works limited to repairs, refurbishments and reinstatements to minimise impact on the building and its surroundings.

5.3 The above consideration of the scheme’s performance against the relevant planning policy demonstrates that the scheme is considered to be in conformity with the Development Plan and National Planning Policy.

6 Design and Access Statement

Site Context

6.1 The application site is a former Sawmill building, most recently used for fossil processing.

Design Considerations

6.2 The Sawmill is not a Listed Building and not in the Sandsend Conservation Area. It is within the Mulgrave Castle Registered Park and Garden (RPG). The Design Brief was to limit any external works to repairs, refurbishment and reinstatements, and for any works to minimise impacts on existing fabric.

6.3 The main design consideration and key principles guiding the scheme's evolution are:

- To minimise physical works where possible and ensure the scheme is as low-key and unobtrusive as possible, in terms of its construction as well as its design and layout; and
- Use high quality materials and methods to reflect the building's historic significance and its sensitive historic and environmental location.

6.4 In response to the design principles, care has been taken to ensure the design is as low key and unobtrusive as practicable. No external works are proposed, other than replacement, refurbishments, reinstatement and repairs, including general repairs to wall render where necessary; repairs and reinstatement of doors and windows.

6.5 Internal works consist of the installation of insulated walls and partition walls and fitting out (incl. WCs and sinks). These alterations are designed to protect the original fabric of the building as far as possible and use minimal fixings to masonry, and ensure the existing wall and floor fabric remain in situ.

Access and Highway Considerations

6.6 Safe and suitable access to the site can be achieved for all users. Access will be via the new road to the public car park (adjacent). Parking for people with disabilities; and cyclists are provided in the public car park (adjacent). There would be no significant impacts caused by the scheme on the transport network, as the traffic is likely to be already on the network and heading to the new public car park (adjacent) in any case. Customers are anticipated to visit the shops on their way to the beach and Sandsend. Customers and staff will park at the new public car park (adjacent). Servicing will be via the new public car park (adjacent) and car park access road.

Design Response Summary

6.7 The design is considered to be sensitive to the building and its location in the RPG. The proposed works to enable the change of use are limited to repairs, refurbishments and reinstatements. Internally, the creation of independent and walls and floors with minimal fixings will ensure the existing walls and floors are retained in situ and that all internal works are easily reversible.

7 Case for the Development and Conclusion

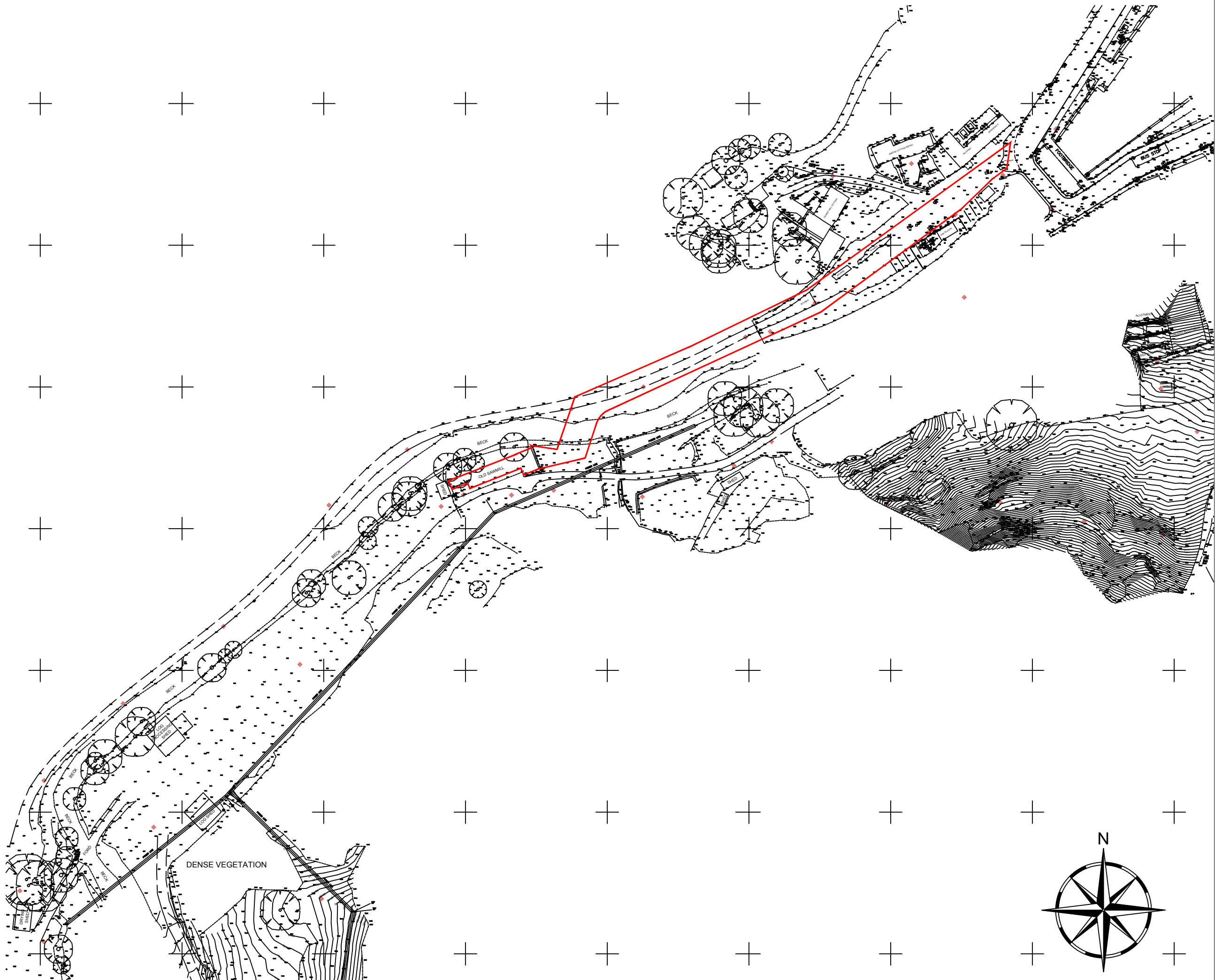
- 7.1 There is a strong case for the change of use. The change of use is necessary as the current lawful use of the building is specific to fossil processing (controlled by planning consent ref: NYM4/037/010/PA) approved in September 1995). The fossil processing business has ceased and the building was vacated in March 2023. Without a change of use, the building is likely to remain vacant and over time will deteriorate.
- 7.2 The proposed change of use can be realised without adversely impacting on the external appearance of the building or locality. The works to enable the change of use are limited to repairs, reinstatement and refurbishment of the windows, doors and external wall render; and internal works not requiring planning consent. The scheme will bring an existing vacant/underused building back into use and the addition of two new shop units will add to the local offer for tourists and day visitors.
- 7.3 The new use will not impact on the Conservation Area, Registered Park and Garden or the amenity of any neighbours. The retail/shop use is considered small scale and intended to support the local Sandsend / East Row catchment, aimed mostly at holiday makers and day visitors. The size and nature of the scheme will not draw customers from a wider catchment.
- 7.4 Safe and suitable access to the site can be achieved for all users. Access will be via the new road to the public car park (adjacent). Parking for people with disabilities; and cyclists are provided in the public car park (adjacent). There would be no significant impacts caused by the scheme on the transport network, as the traffic is likely to be already on the network and heading to the new public car park (adjacent) in any case. Customers and staff will park at the new public car park (adjacent). Servicing will be via the new public car park (adjacent) and car park access road.
- 7.5 The benefits accrued from making the appropriate and sympathetic use of an existing building would outweigh any very minor impacts that would be caused by the small-scale retail use.
- 7.6 In conclusion, the application is considered to be in accordance with the Development Plan, as required by Section 38(6) of the Planning Act (2004) (The Act). The scheme accords with the main provisions of the NPPF, including contributing to Sustainable Development, and there are no other relevant material considerations that would individually or collectively indicate the application should not be approved. Furthermore, in applying the planning balance, the scheme derives a number of benefits with no adverse impacts that would significantly and demonstrably outweigh the benefits. Therefore, and in accordance with the NPPF, the Planning and Listed Building Consent Application should be permitted without undue delay.



APPENDIX 1

APPLICATION DRAWINGS

Rev	Date	Description	Drawn	Check	Approve



SCOPE OF WORKS
 PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDSEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.

dream-haus 

dream-haus limited
 103 yew drive-brandon
 suffolk-england-IP27 0AB
 +44 (0) 1942 845 828
 enquiries@dream-haus.com
 www.dream-haus.com

Client **MULGRAVE ESTATE**

Project **OLD SAWMILL
 SANDSEND, WHITBY**

Drawing **3No NEW RETAIL UNITS
 LOCATION PLAN**

Drawing Number **02-2023-3001**

Scale	1:1250	Sheet	1 OF 1	Rev	-
-------	--------	-------	--------	-----	---

LOCATION PLAN (Scale 1:1250)

Rev	Date	Description	Drawn	Check	Approve

SCOPE OF WORKS

PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDSEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

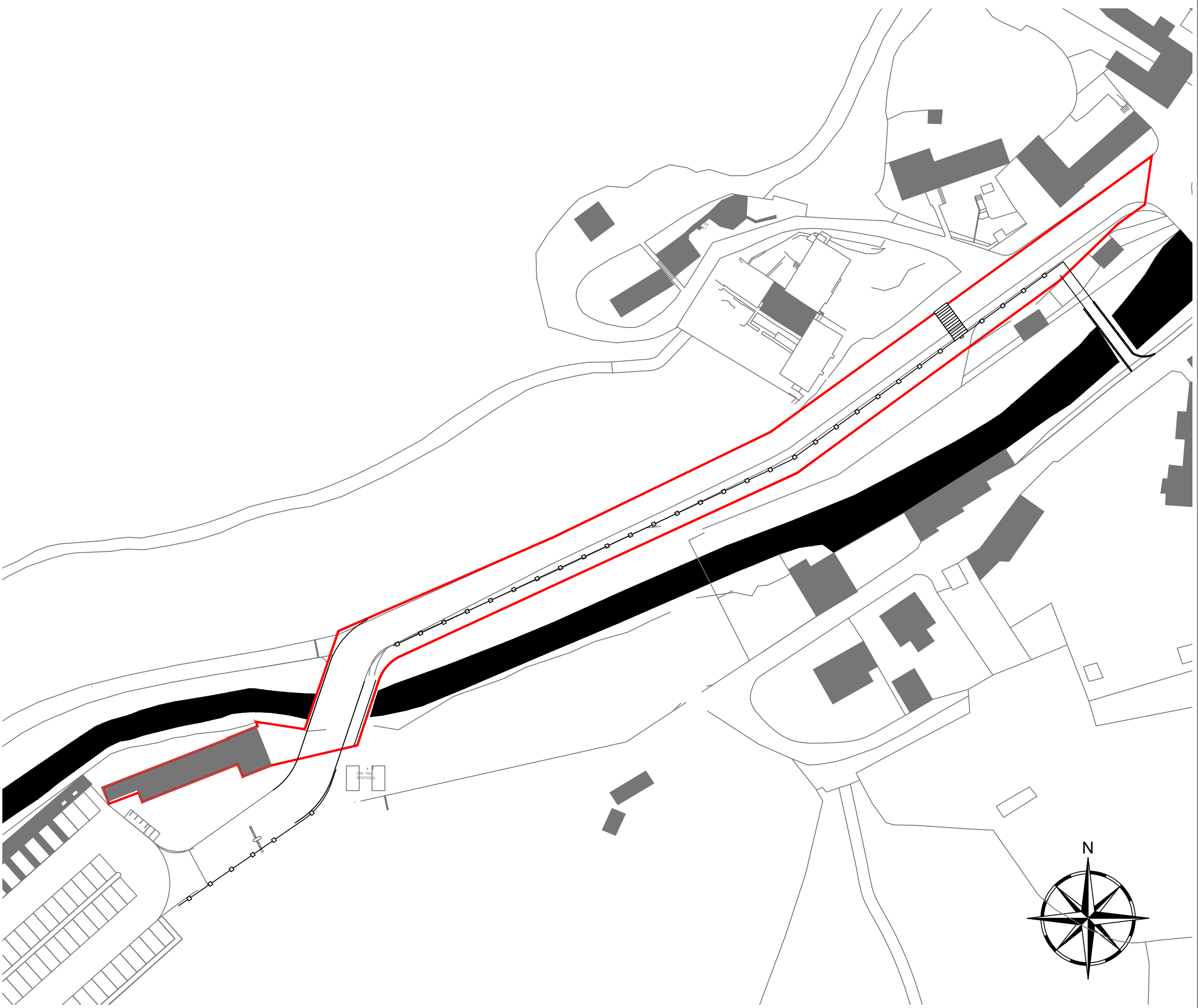
NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.



dream-haus 

dream-haus limited
103 yew drive-brandon
suffolk-england-IP27 0AB
+44 (0) 1942 845 828
enquiries@dream-haus.com
www.dream-haus.com

Client **MULGRAVE ESTATE**

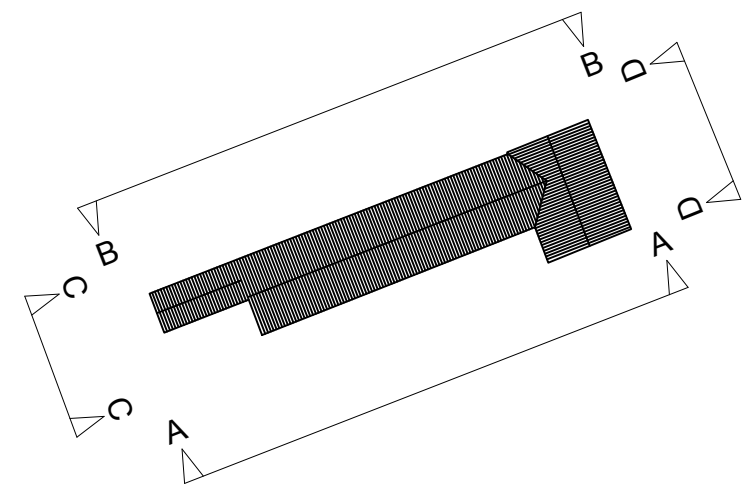
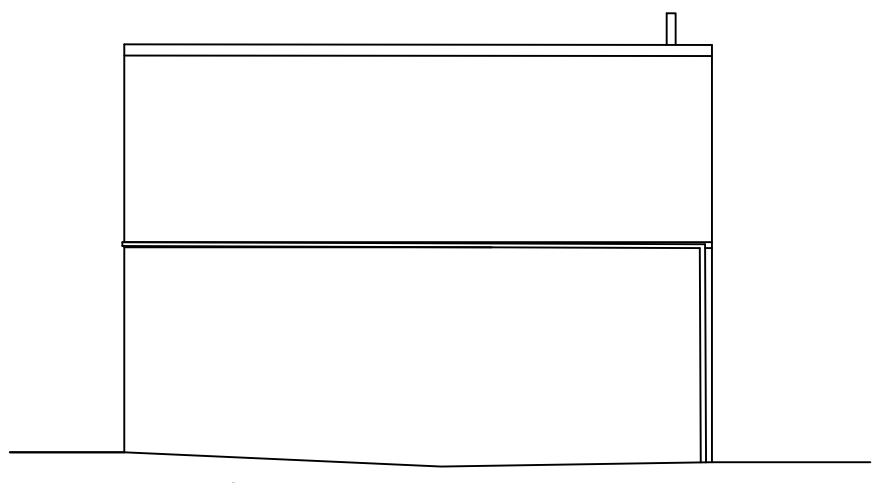
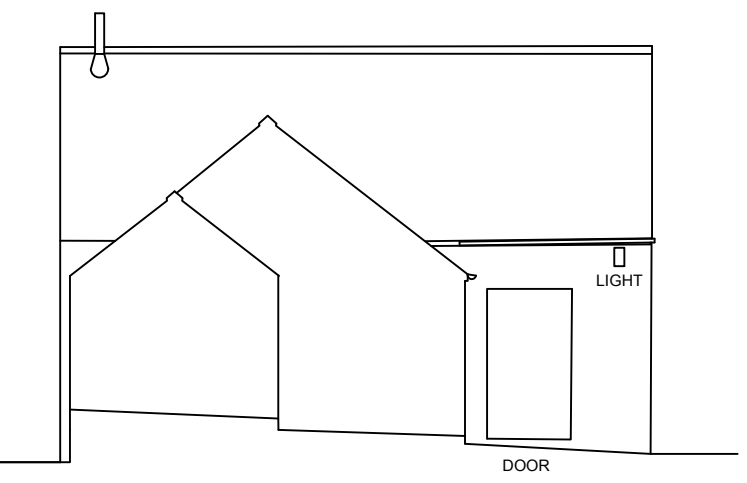
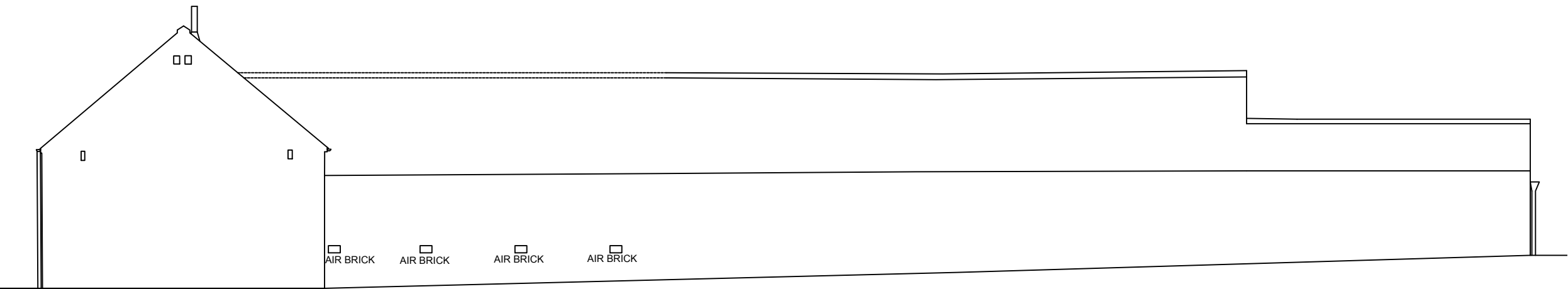
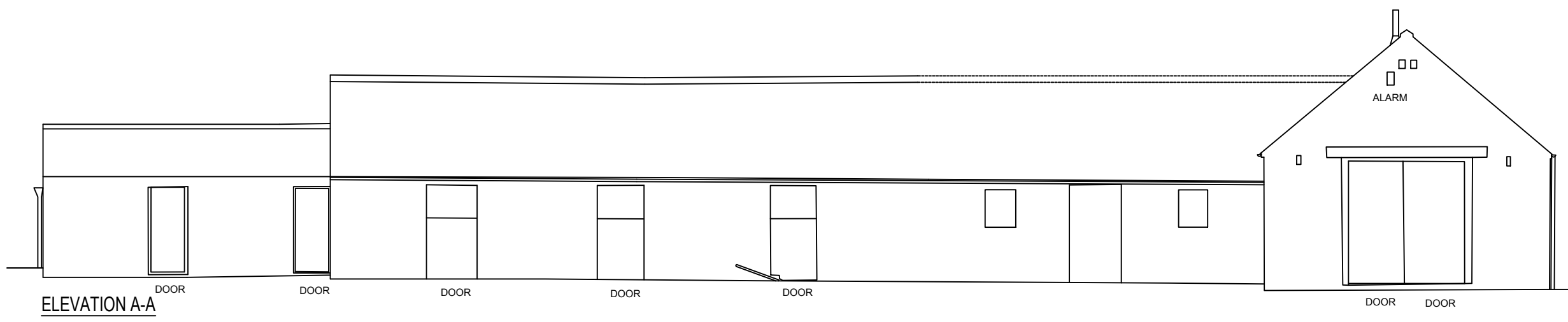
Project **OLD SAWMILL SANDSEND, WHITBY**

Drawing **3No NEW RETAIL UNITS REDLINE PLAN**

Drawing Number **02-2023-3005**

Scale	NTS	Sheet	1 OF 1	Rev	-
-------	-----	-------	--------	-----	---

Rev	Date	Description	Drawn	Check	Approve



SCOPE OF WORKS

PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDESEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE.

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.

dream-haus

dream-haus limited
103 yew drive-brandon
suffolk-england-IP27 0AB
+44 (0) 1942 845 828
enquiries@dream-haus.com
www.dream-haus.com

Client **MULGRAVE ESTATE**

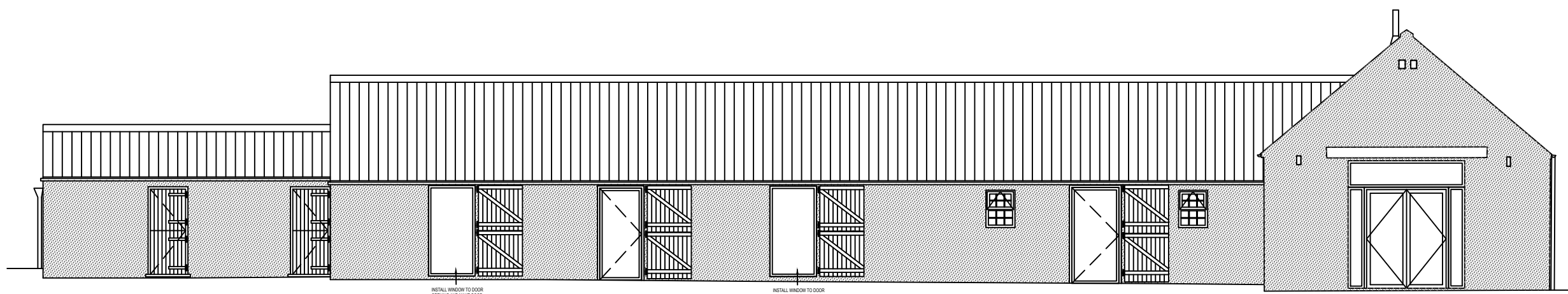
Project **OLD SAWMILL
SANDESEND, WHITBY**

Drawing **3No NEW RETAIL UNITS
EXISTING ELEVATIONS**

Drawing Number **02-2023-3003**

Scale **1:100** Sheet **1 OF 1** Rev **-**

Rev	Date	Description	Drawn	Check	Approve



ELEVATION A-A

INSTALL WINDOW TO DOOR
OPENING AND MAKE GOOD
EXISTING DOOR TO BE RETAINED
AND PINNED BACK IN THE OPEN
POSITION

INSTALL WINDOW TO DOOR
OPENING AND MAKE GOOD
EXISTING DOOR TO BE RETAINED
AND PINNED BACK IN THE OPEN
POSITION

SCOPE OF WORKS

PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDESEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

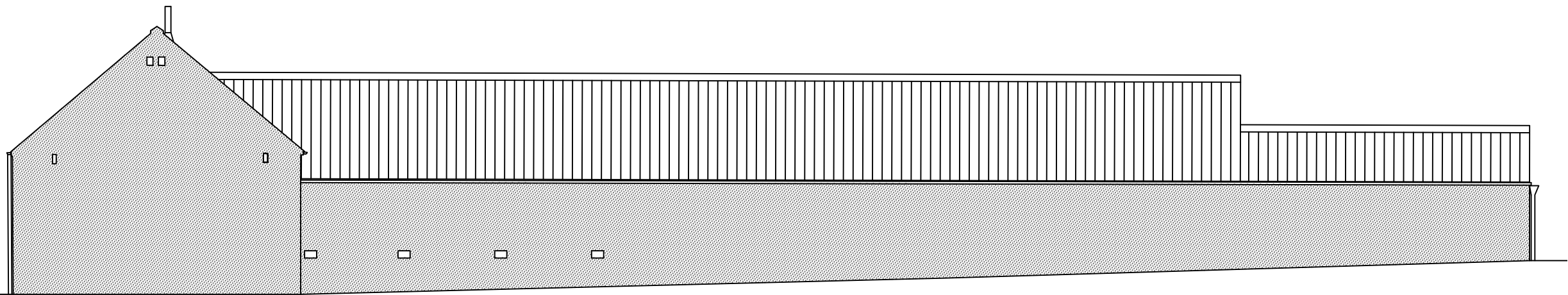
NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

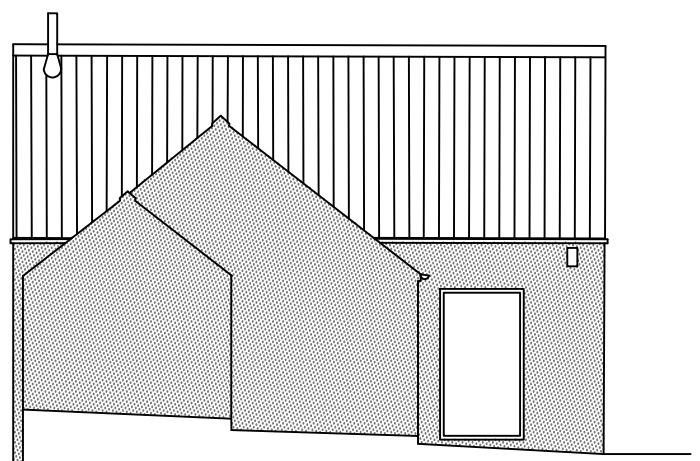
NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

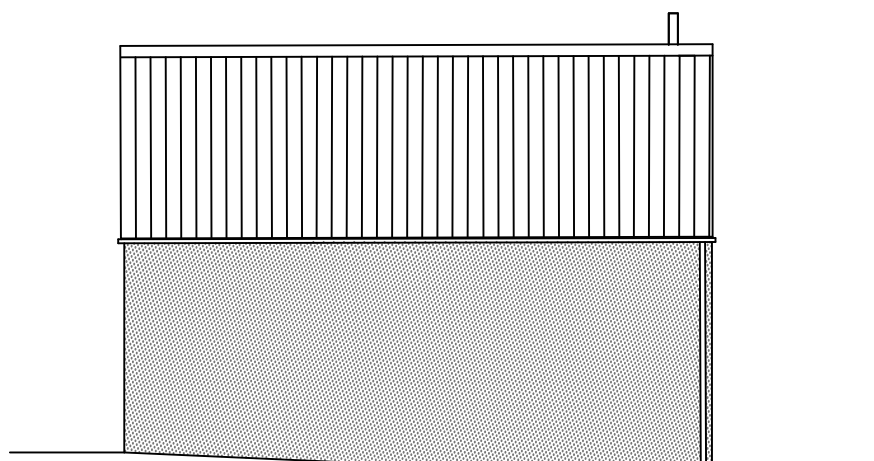
THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.



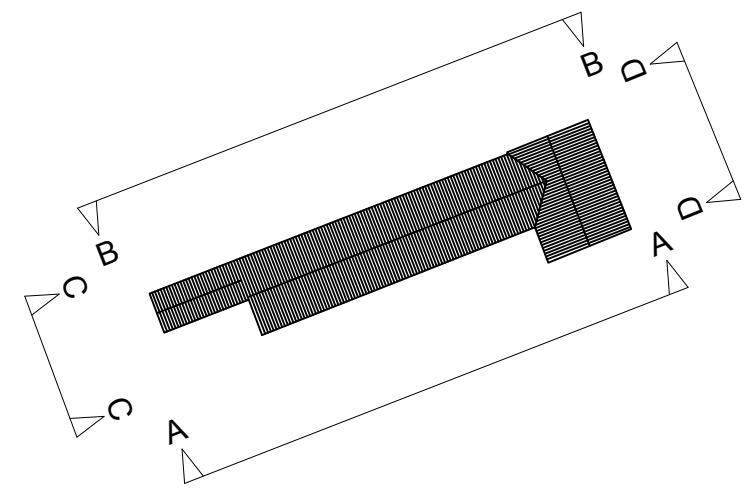
ELEVATION B-B



ELEVATION C-C



ELEVATION D-D



BLOCK PLAN (Scale 1:500)

dream-haus

dream-haus limited
103 yew drive-brandon
suffolk-england-IP27 0AB
+44 (0) 1942 845 828
enquiries@dream-haus.com
www.dream-haus.com

Client **MULGRAVE ESTATE**

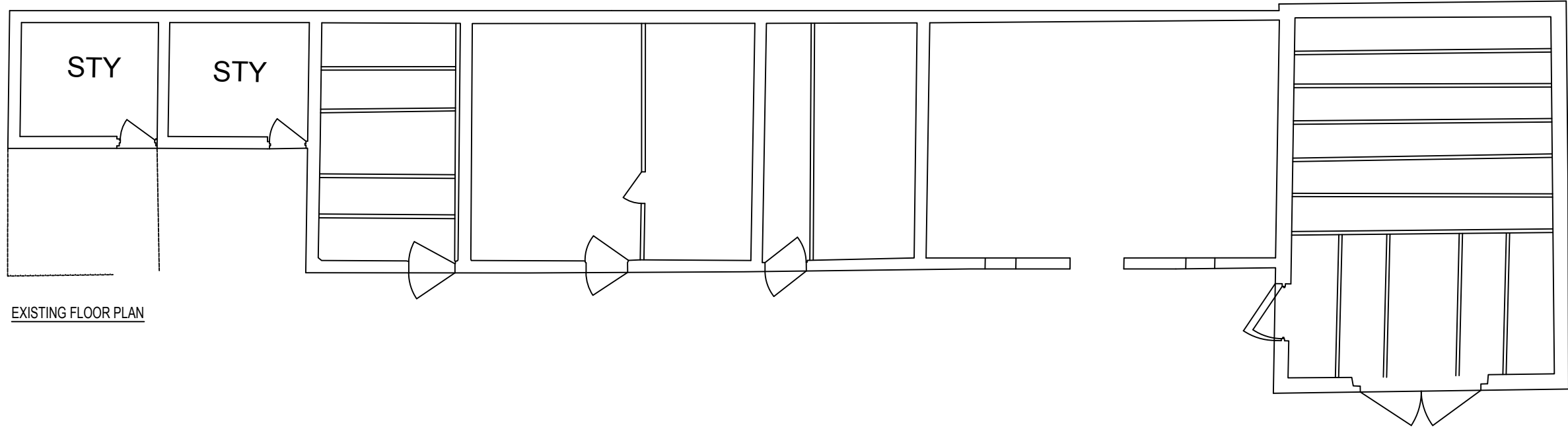
Project **OLD SAWMILL
SANDESEND, WHITBY**

Drawing **3No NEW RETAIL UNITS
PROPOSED ELEVATIONS**

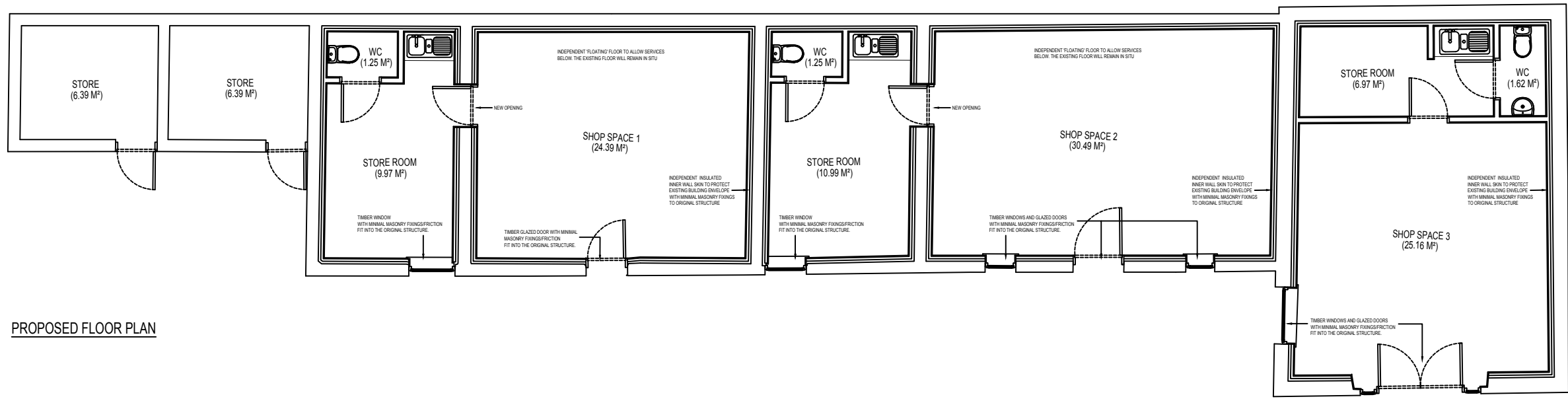
Drawing Number **02-2023-3004**

Scale **1:100** Sheet **1 OF 1** Rev **-**

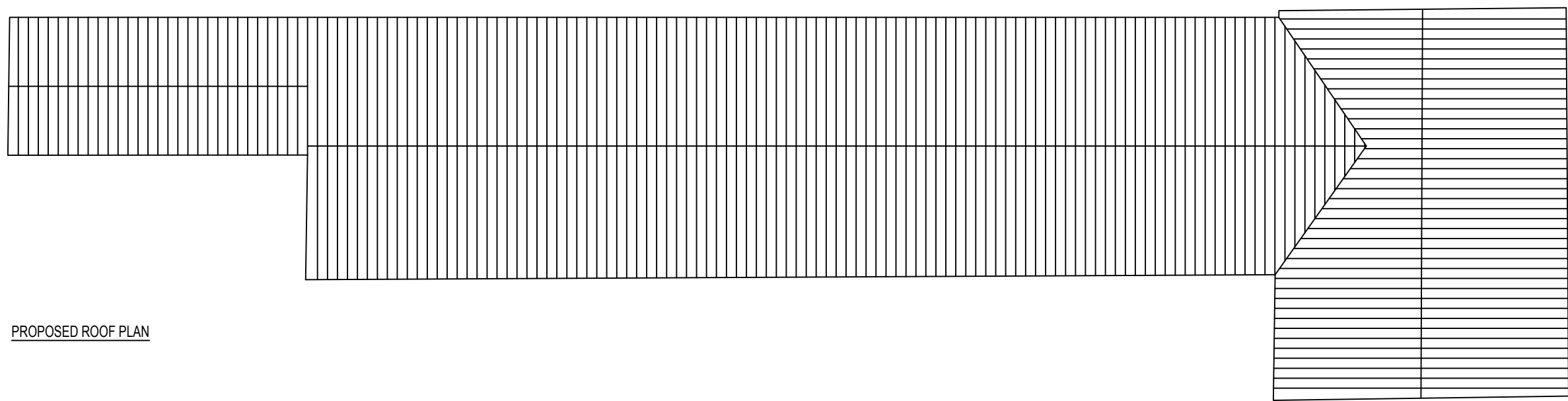
Rev	Date	Description	Drawn	Check	Approve



EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN



PROPOSED ROOF PLAN

SCOPE OF WORKS
 PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDSEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.

dream-haus

dream-haus limited
 103 yew drive-brandon
 suffolk-england-IP27 0AB
 +44 (0) 1942 845 828
 enquiries@dream-haus.com
 www.dream-haus.com

Client	MULGRAVE ESTATE
Project	OLD SAWMILL SANDSEND, WHITBY
Drawing	3No NEW RETAIL UNITS EXISTING, PROPOSED FLOOR & ROOF PLANS

Drawing Number **02-2023-3002**

Scale	1:100	Sheet	1 OF 1	Rev	-
-------	-------	-------	--------	-----	---

john long planning.

John Long Planning
t: 01508 538218: m: 07985 138713
e: john@johnlongplanning.co.uk
w: johnlongplanning.co.uk
VAT Registration No: 277458849



FLOOD RISK ASSESSMENT

The Sawmill, Sandsend

Reference	RO/FRA/23080.1
Date	August 2023
Version	1

19 & 20 Brenkley Way
Seaton Burn
Newcastle Upon Tyne
NE13 6DS

Tel: +44(0)191 2585632
info@rwo.group
www.rwo.group



CONTENTS

Confidentiality Statement

Document History

1.0	Executive Summary	4
2.0	Introduction	5
3.0	The Site	5
4.0	Proposed Development	8
5.0	Roles & Responsibilities	9
6.0	Flood Risk	10
7.0	Flood Resilience Measures	10
8.0	Surface Water Discharge	12
9.0	Conclusion	13

APPENDICES

Appendix A	Site Location Plan
Appendix B	Site Layout
Appendix C	Topographical Survey
Appendix D	Centre Maps Live Flood Data

CONFIDENTIALITY STATEMENT

This report is addressed to and may be relied upon by the following:

The Mulgrave Estate

This report has been prepared for the sole use and reliance of the above-named parties. This report shall not be relied upon or transferred to any other parties without the express written authorisation of RWO Associates Limited. No responsibility will be accepted where this report is used, either in its entirety or in part, by any other party.

DOCUMENT HISTORY

VERSION	PURPOSE/DESCRIPTION	DATE
1	Draft Issue - for client comment	10.08.2023

1.0 EXECUTIVE SUMMARY

This assessment has looked at the implications of the proposed retail development in relation to the flood risk and surface water management in accordance with the Planning Practice Guidance.

The site is in Flood Zone 1, 2 & 3 based on the published flood maps. The published flood maps seem to contain an error and as such the extent of the flood zone has been realigned with the watercourse for this assessment. Based upon this exercise the area of the proposed development is in flood zone 1, 2 & 3.

All other sources have been reviewed and minimum risk identified. This relates mainly to the risk of surface water flooding with the existing overland routes not being impacted by the development.

The surface water drainage hierarchy has been reviewed and a discharge to the watercourse is deemed suitable.

The recommendation of this report will minimise the risk of damage to existing properties and ensure the safety of residents along with users of the car park, as far as is practicable within the limitations of the proposed development site.

2.0 INTRODUCTION

RWO Associates have been commissioned by The Mulgrave Estate to prepare a Flood Risk Assessment for a planning application relating to a proposed building for the former Sawmill, Sandsend to be converted into retail use. A location plan is included in Appendix A.

This document reviews the risks of flooding in accordance with current guidance and identifies the risk of flooding along with proposed mitigation.

3.0 THE SITE

The site is located at Sandsend, Whitby. Figure 1 below shows the site location.

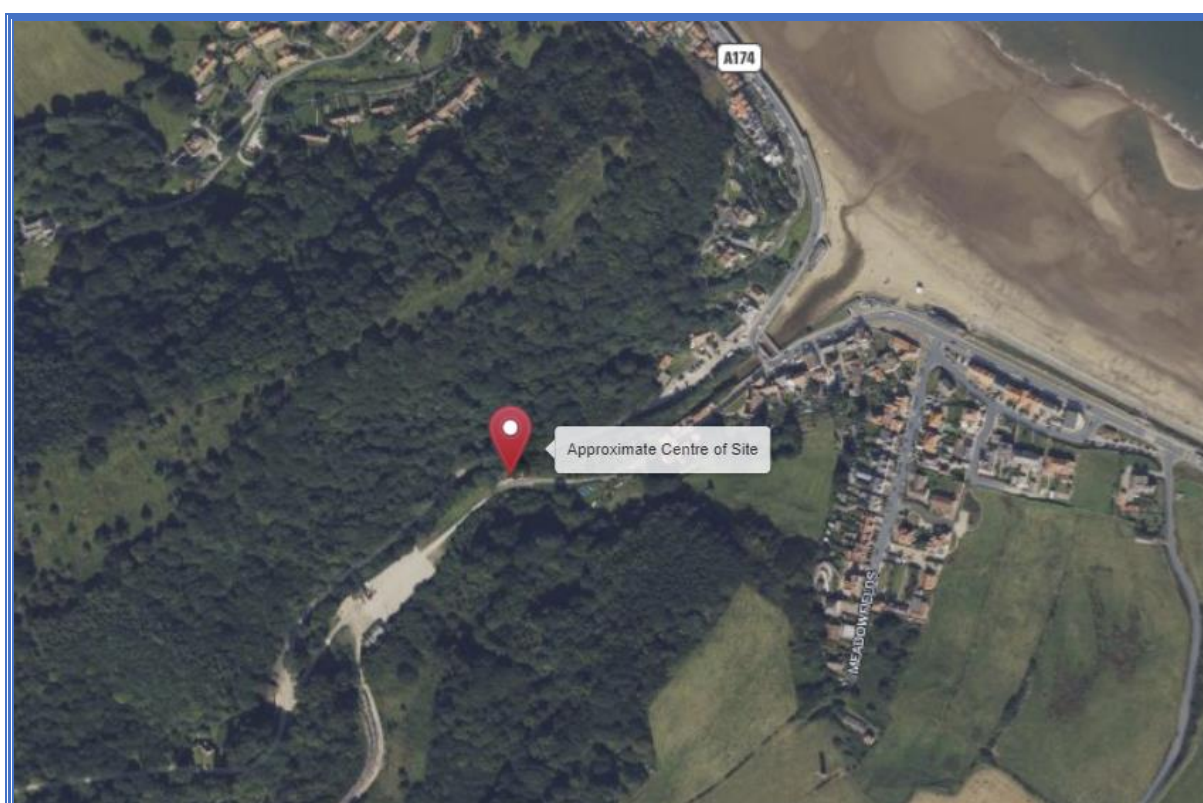


Figure 1 – Site Location

The site has a grid reference of 486009, 512422. There is an existing building which is to be converted into retail. An indicative layout is included in Appendix B.

The site is located to the west of Sandsend of the A174 and is accessed via an existing road which joins the A174. The site has levels of between circa 6m and 6.4m AOD. The building has an FFL of circa 6m as existing and it is understood this will remain following development.

The proposed use of the site falls under the 'less vulnerable' classification as defined in the NPPF Technical Guidance document, 'Table 2: Flood Risk Vulnerability', which is included below;

<p>Essential infrastructure</p> <ul style="list-style-type: none"> • Essential transport infrastructure (including mass evacuation routes) which has to cross the area at risk. • Essential utility infrastructure which has to be located in a flood risk area for operational reasons, including electricity generating power stations and grid and primary substations; and water treatment works that need to remain operational in times of flood. • Wind Turbines.
<p>Highly Vulnerable</p> <ul style="list-style-type: none"> • Police stations, ambulance stations and fire stations and command centres and telecommunication installations required to be operational during flooding. • Emergency disposal points. • Basement dwellings. • Caravans, mobile homes and park homes intended for permanent residential use. • Installations requiring hazardous substances consent. (Where there is a demonstrable need to locate such installations for bulk storage of materials with port or other similar facilities, or such installations with energy infrastructure or carbon capture and storage installations, that require coastal or water-side locations, or need to be located in other high flood risk areas, in these instances the facilities should be classified as "essential infrastructure").
<p>More vulnerable</p> <ul style="list-style-type: none"> • Hospitals. • Residential institutions such as residential care homes, children's homes, social services homes, prisons and hostels. • Buildings used for dwelling houses, student halls of residence, drinking establishments, nightclubs and hotels. • Non-residential uses for health services, nurseries and educational establishments. • Landfill and sites used for waste management facilities for hazardous waste. • Sites used for holiday or short-let caravans and camping, <i>subject to a specific warning and evacuation plan.</i>
<p>Less vulnerable</p> <ul style="list-style-type: none"> • Police, ambulance and fire stations which are not required to be operational during flooding. • <i>Buildings used for shops, financial, professional and other services, restaurants and cafes, hot food takeaways, offices, general industry, storage and distribution, non-residential institutions not included in "more vulnerable", and assembly and leisure.</i> • Land and buildings used for agricultural and forestry. • Waste treatment (except landfill and hazardous waste facilities). • Minerals workings and processing (except for sand and gravel working). • Water treatment works which do not need to remain operational during times of flood. • Sewerage treatment works (if adequate measures to control pollution and manage sewerage during flooding events are in place).
<p>Water-compatible development</p> <ul style="list-style-type: none"> • Flood control infrastructure. • Water transmission infrastructure and pumping stations. • Sewage transmission infrastructure and pumping stations. • Sand and gravel working. • Docks, marinas and wharves. • Navigation facilities. • Ministry of defence installations. • Shipbuilding, repairing, dismantling, dockside fish processing and refrigeration and compatible activities requiring a waterside location. • Water-based recreation (excluding sleeping accommodation). • Lifeguard and coastal stations. • Amenity open space, nature conversation and biodiversity, outdoor sports and recreation and essential facilities such as changing rooms. • Essential ancillary sleeping or residential accommodation for staff required by uses in this category, <i>subject to specific warning and evacuation plan.</i>

Table 1 – 'Table 2: Flood Risk Vulnerability'

The development area is shown on the Environment Agency online flood maps as being in flood zone 1, 2 & 3.

Flood Zones	Flood Risk Vulnerability Classification				
	Essential infrastructure	Highly vulnerable	More vulnerable	Less vulnerable	Water compatible
Zone 1	✓	✓	✓	✓	✓
Zone 2	✓	Exception Test required	✓	✓	✓
Zone 3a †	Exception Test required †	X	Exception Test required	✓	✓
Zone 3b *	Exception Test required *	X	X	X	✓*

Key:

- ✓ Development is appropriate
- X Development should not be permitted.

Table 2 – 'Table 3: Flood Risk Vulnerability Classification'

The proposed site usage falls within the 'less vulnerable' category as identified in Table 2: Flood Risk Vulnerability classification, within the Planning Practice Guidance. Based upon the usage being 'less vulnerable' the development is appropriate as defined in Table 2: Flood Risk Vulnerability classification. The planning flood maps are however extremely inaccurate with regards to the line of Sandsend Beck, which has the line of flooding approximately 5 -15m from the watercourse, with the watercourse being shown in Flood Zone 1. On this basis the data needs to be carefully considered as to accuracy.

	Flood Zone	Flood risk vulnerability classification	Suitability
Retail/POS (south of beck)	1, 2 & 3	Less vulnerable	Suitable

Table 3 – Development Flood Risk Zones and Suitability

Taking into account the inaccurate line of the flood zones it is assumed that the flood zones should be realigned with the watercourse. This places the former Sawmill in flood zones 1, 2 & 3, with the north extent of the extent being in flood zones 2 & 3 and the southern being in flood zone 1. To try and gain an understanding of potential water depth the topographical survey has been reviewed and the levels within 5m of the watercourse considered.



Figure 2 – Environment Agency Flood Map Extract (05.10.2020)

As can be seen in Figure 2 above the level of accuracy in flood maps is somewhat questionable. Therefore, the extent of flood zones will be assumed as being 5m either side of the watercourse which ties into the overall extent of the flood zone.

4.0 PROPOSED DEVELOPMENT

It is proposed to develop the site for retail purposes which will be within the existing building fabric. Modifications will be made to replace two number windows with doors and then internal fit-out will be undertaken. It is understood the former sawmill will consist of 3 retail units along with storage space.

The proposed development site is in Flood Zone 1, 2 & 3, as defined in Table 3 of this report.

A topographical survey is included in Appendix B.

5.0 ROLES & RESPONSIBILITIES

The table below covers roles & responsibilities and is for information purposes only;

Body/ Authority	Responsibility
Environment Agency (EA)	<ul style="list-style-type: none"> • Predicting flooding from statutory main rivers and the sea including the location, timing and magnitude. • Issuing of Flood Warnings to partner agencies and ensuring that the public are warned and informed. • Maintenance and operation of sea and river flood defences. Check defences and undertake essential repairs as required. • Monitor and clear blockages of culverts and repair breaches of defences. • Support the Police and Local Authority by providing materials, equipment and manpower as far as resources and other duties permit. • Advisory role in dealing with pollution issues following flooding.
Local Authority	<ul style="list-style-type: none"> • Providing support to the emergency services. • Mitigation of the effects of an emergency on people, including emergency feeding, accommodation and welfare. • Co-ordination of the voluntary sector response. • Information services to the public and media. • Flood alleviation measures where possible. • Environmental health advice. • Review of surface water drainage proposals. • Lead Local Flood Authority.
Police	<ul style="list-style-type: none"> • Co-ordination of the emergency services at a major flood event, as well as helping to save lives and protect property. • Establishment of cordons where practical to facilitate the work of the emergency services. • In conjunction with other emergency services, to evacuate people from properties at risk, if necessary. • Collation and dissemination of casualty information.
Fire & rescue	<ul style="list-style-type: none"> • Saving life and rescuing trapped persons. • Provide monitoring procedures in respect of health and safety of those persons operating within an established cordon. • Carry out essential damage control measures including pumping out flood water and salvage work. • Rendering humanitarian services in support of the local authority.
Utility Companies	<ul style="list-style-type: none"> • In the event of a flood, will secure their services and equipment to ensure continuity of supply. • Repair services disrupted by flood. • Provide alternative means of supply during service disruption if life and death health risks are identified.
Met Office	<ul style="list-style-type: none"> • The Met office issues the severe warnings for heavy rain, snow, severe gales etc. These warnings are delivered directly to local Authorities, the emergency services and the media.

Table 4 – Role & Responsibilities

6.0 FLOOD RISK

It is worth noting that the Environment Agency has been contacted for flood-level information and none is available for the site location.

All flood risk data is included in Appendix D.

The former Sawmill, along with associated infrastructure has been assessed with regard to flood risk;

	Flood Zone	RoFRaS Rating	Historic flooding	Surface water flooding	Groundwater flooding	Reservoir/ Canal failure
Risk/Zone	1, 2 & 3	low	N/A	Low - Significant	Potential at surface	N/A
Further assessment required	Yes	No	N/A	Yes	No	N/A

Table 5 – Food/Retail (North of Beck) Flood Risk

The planning flood risk maps have been reviewed and identify that the proposed development site is in flooding 1, 2 and 3 with a risk of flooding from the Sandsend Beck. Due to inaccuracies in the published flood maps, the extent of flooding is assumed as being 5m on either side of the actual watercourse location. This would place the existing building in flood zone 1, 2 & 3 with the rear of the building in flood zones 2 & 3 and the front of the building in flood zone 1. Given the building is existing, the option to amend the existing building is limited and changing the FFL would impact the suitability of future use. As such it is recommended that consideration be given to floodproofing the building as part of the redevelopment.

When reviewing the topographical survey, it would indicate the difference between flood zone 1 & 3 is circa 300mm in terms of level, based on this it is estimated the maximum water level impacting the existing sawmill is 300mm.

Surface water does cause a potential risk; this is associated with overland flows from the south and southwest. When reviewing the online flood maps the depth of water is shown as being less than 300mm and being located adjacent to the existing sawmill, as such surface water flood risk is low to the proposed development. The velocities adjacent to the sawmill are also noted as being low on the online flood maps. As there are no proposed level changes as part of the development the overland flood routes will not be impacted.

There are no other risks of flooding identified on the publicly available flood maps.

7.0 FLOOD RESILIENCE MEASURES

As demonstrated in section 6.0 of this report, identifying the FFL for the existing sawmill is fixed. Given the depth of flood water, which is less than 600mm, estimated as being circa 300mm, as part of the redevelopment the 'keep water out' strategy should be adopted, with some flood proofing measures to minimise damage in the event of flood waters entering the building.

Given the anticipated flood levels in the event of complete failure of flood defences ground floors would suffer from flooding. As such this section of the report will review the realistic measures which can be taken into consideration to reduce the work to reinstate homes.

As part of this strategy there are several key areas which need to be taken into account as part of the design of the building.

- Construction materials with low permeability characteristics should be utilised as far as is practicable, particularly at lower levels i.e. up to 0.3m above FFL.
- Building designed to allow water to flow through it.
- Building designed to allow waters to drain away following the flooding.
- Access to all spaces within the building to allow drying and cleaning.

Based on Table 6.1 of 'Improving the flood resilience of new building' various materials should be chosen to ensure maximum performance of the building in the event of flooding. Examples of materials which should be selected are engineered bricks over facing bricks; however certain materials such as plasterboard will have to be accepted as being sacrificial in the extreme scenario of flood defence failure.

Table 6.1 Flood resilience characteristics of building materials (based on laboratory testing)			
Material	Resilience characteristics*		
	Water penetration	Drying ability	Retention of pre-flood dimensions, integrity
Bricks			
Engineering bricks (Classes A and B)	Good	Good	Good
Facing bricks (pressed)	Medium	Medium	Good
Facing bricks (handmade)	Poor	Poor	Poor
Blocks			
Concrete (3.5N, 7N)	Poor	Medium	Good
Aircrete	Medium	Poor	Good
Timber board			
OSB2, 11mm thick	Medium	Poor	Poor
OSB3, 18mm thick	Medium	Poor	Poor
Gypsum plasterboard			
Gypsum Plasterboard, 9mm thick	Poor	Not assessed	Poor
Mortars			
Below d.p.c. 1:3(cement:sand)	Good	Good	Good
Above d.p.c. 1:6(cement:sand)	Good	Good	Good
* Resilience characteristics are related to the testing carried out and exclude aspects such as ability to withstand freeze/thaw cycles, cleanability and mould growth			

Table 1 – Table 6.1 from Improving the flood resilience of new building

Table 6.2 Flood resilience characteristics of walls (based on laboratory testing)			
Material	Resilience characteristics*		
	Water penetration	Drying Ability	Retention of pre-flood dimensions, integrity
External face			
Engineering bricks (Classes A and B)	Good	Good	Good
Facing bricks (pressed)	Medium	Medium	Good
Internal face			
Concrete blocks	Poor	Medium	Good
Aircrete	Medium	Poor	Good
Cavity insulation			
Mineral fibre	Poor	Poor	Poor
Blown-in expanded mica	Poor	Poor	Poor
Rigid PU foam	Medium	Medium	Good
Renders/Plaster			
Cement render – external	Good	Good	Good
Cement/lime render – external	Good	Good	Good
Gypsum Plasterboard	Poor	Not assessed	Poor
Lime plaster (young)	Poor	Not assessed	Poor
* Resilience characteristics are related to the testing carried out and exclude aspects such as ability to withstand freeze/thaw cycles, cleanability and mould growth			

Table 2 – Table 6.2 from Improving the flood resilience of new building

Floors are an area at risk from flood water penetration and as such should be taken into consideration to assess the main risks.

- Exposure to standing water.

Floor finishes will have to be accepted as sacrificial in the event of flooding however, where possible hard flooring should be utilised such as flag stone or similar.

All services across the site should be brought in at a high level and fed from the ceiling down over, with sockets etc located 600mm above the floor level. This will result in minimum disruption following an event. Examples of good installations for electrics would be the distribution board being located at a high level with the ring being installed with drops to the ground floor for sockets and switches.

As with electrics, heating needs to be considered and where practicable boilers should be located at high levels.

Drainage needs to be considered in particular the risk of foul drainage backing up the sewer and spilling into the property, in order to minimise this risk non-return valves should be installed at easily accessible points on the foul drainage leaving each dwelling.

Flood resilient doors should be utilised at the main doors to each unit and store, to keep water out.

Internal doors should where practicable be hinged on butt hinges to allow them to be easily removed in the event of a flood warning and stored in a dry place.

The above all needs to be taken into consideration to ensure that the buildings are as flood resilient as possible, and that residents and maintenance teams are fully aware of all the design decisions which need considering.

In the event of water entering the building and the flood resilient measures failing the above recommendations will minimise disruption.

8.0 SURFACE WATER DISCHARGE

As required under Building Regulations Part H a hierarchy as to the discharge of surface water needs be considered.

1. Discharge to soakaway or infiltration system,
2. Discharge to watercourse, subject to relevant approvals,
3. Where other forms of outlet are not practicable, a discharge could be made to sewer.

A discharge to infiltration has been excluded based on the anticipated ground conditions which have been identified as being predominantly clay based on the supply borehole logs based on historic information.

It is understood the existing sawmill discharges flows to the adjacent watercourse it is recommended that the proposed development continue to utilise existing connections.

9.0 CONCLUSION

This assessment has looked at the implications of the proposed retail development in relation to the flood risk and surface water management in accordance with the Planning Practice Guidance.

The site is in Flood Zone 1, 2 & 3 based on the published flood maps. The published flood maps seem to contain an error and as such the extent of the flood zone has been realigned with the watercourse for this assessment. Based upon this exercise the area of the proposed development in flood zone 1, 2 & 3.

All other sources have been reviewed and minimum risk identified. This relates mainly relate to the risk of surface water flooding with the existing overland routes not being impacted by the development.

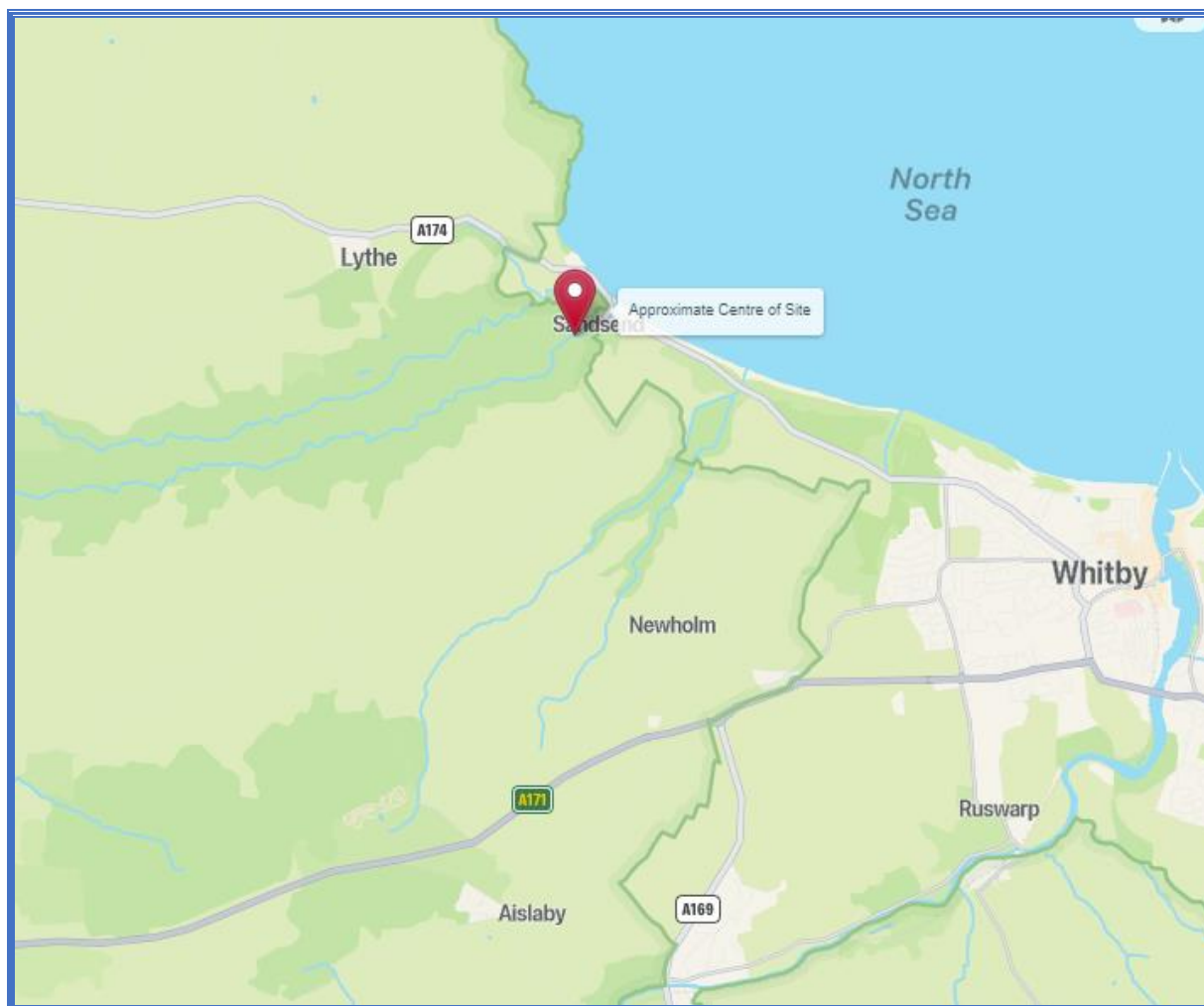
The surface water drainage hierarchy has been reviewed and a discharge to the watercourse is deemed suitable.

The recommendation of this report will minimise the risk of damage to existing properties and ensure the safety of residents along with users of the car park, as far as is practicable within the limitations of the proposed development site.

A handwritten signature in black ink, appearing to read 'RWO', with a horizontal line underneath.

Ross Oakley
For and on behalf of RWO Associates Limited
August 2023

Appendix A Site Location Plan

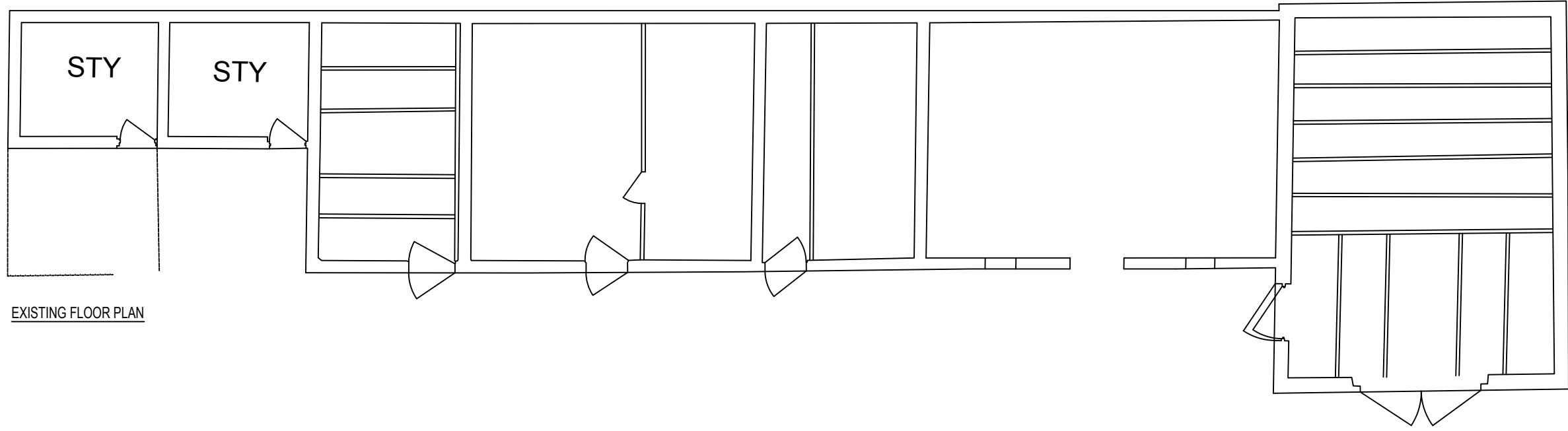


Location Map

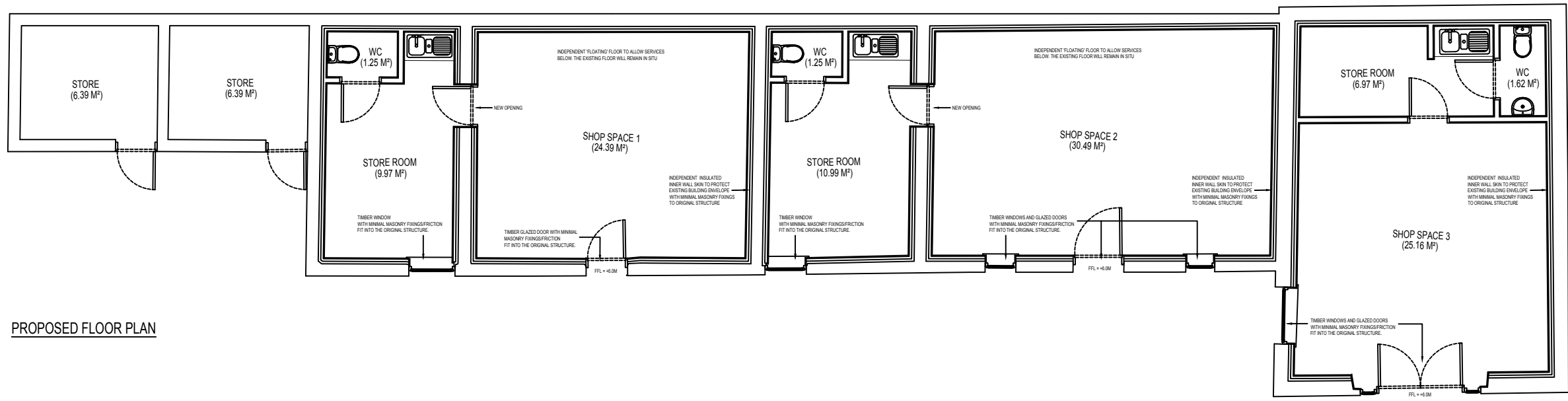
Site	Proposed Development, Sandsend
Client	Mulgrave Property
Job Number	23080
Scale	NTS

Appendix B Site Layout

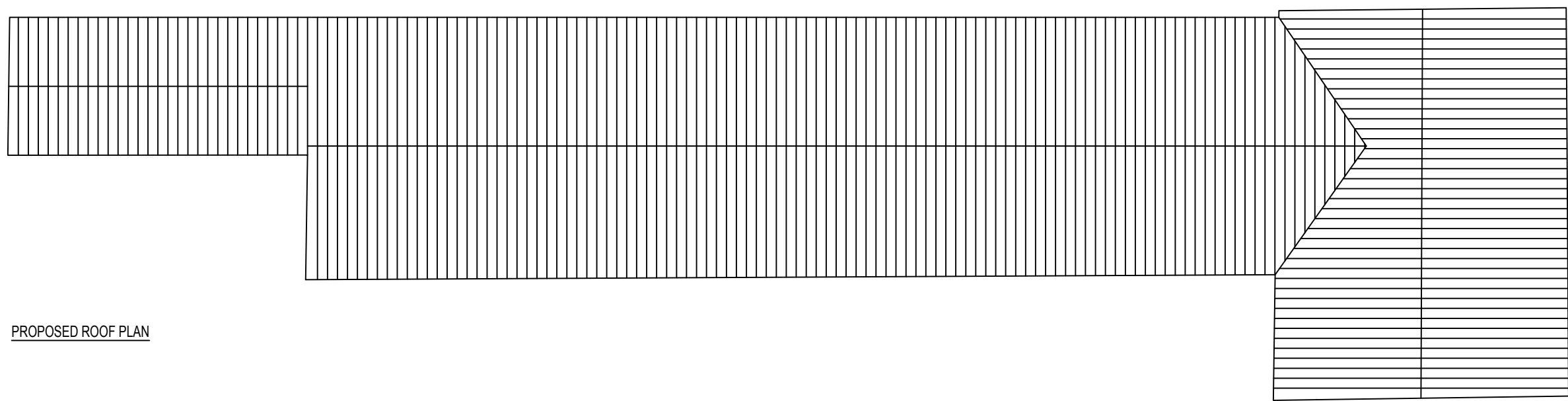
Rev	Date	Description	Drawn	Check	Approve



EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN



PROPOSED ROOF PLAN

SCOPE OF WORKS
 PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDESEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

NOTE 5: FFL = +6.0M

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.

dream-haus 

dream-haus limited
 103 yew drive-brandon
 suffolk-england-IP27 0AB
 +44 (0) 1842 845 828
 enquiries@dream-haus.com
 www.dream-haus.com

Client **MULGRAVE ESTATE**

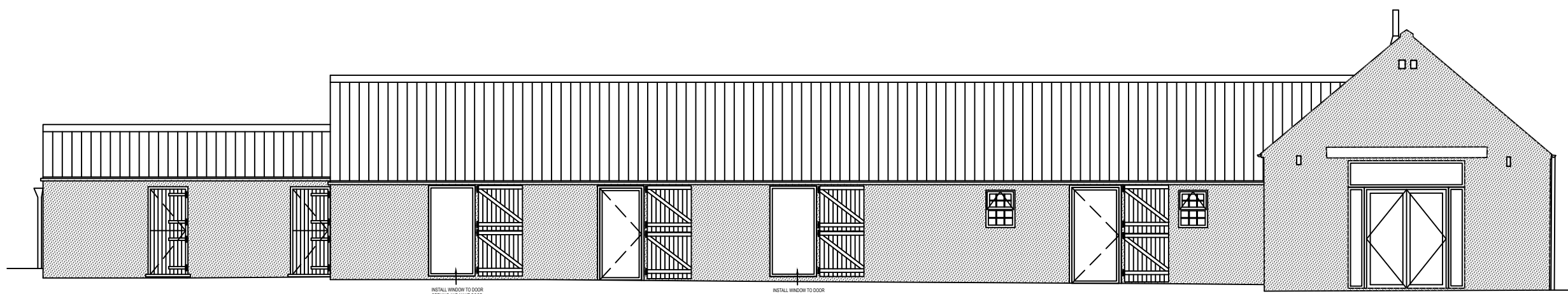
Project **OLD SAWMILL
 SANDESEND, WHITBY**

Drawing **3No NEW RETAIL UNITS
 EXISTING, PROPOSED FLOOR
 & ROOF PLANS**

Drawing Number **02-2023-3002**

Scale **1:100** Sheet **1 OF 1** Rev **-**

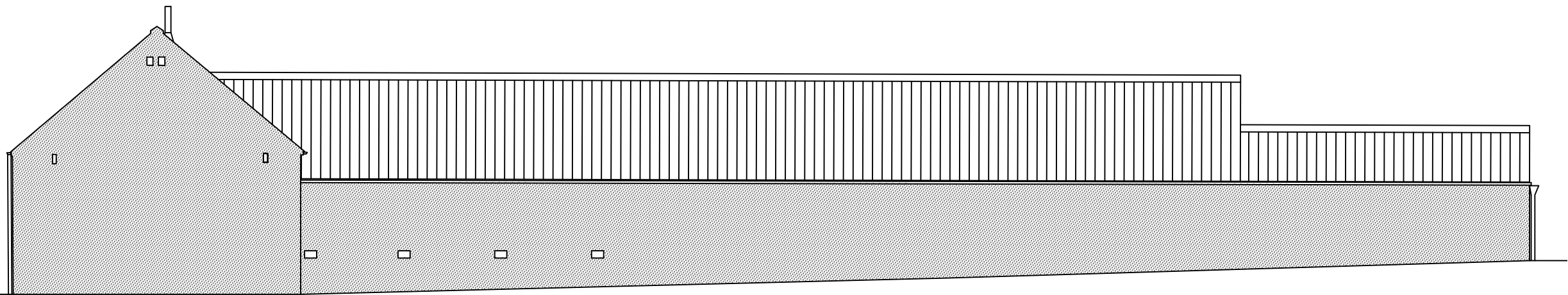
Rev	Date	Description	Drawn	Check	Approve



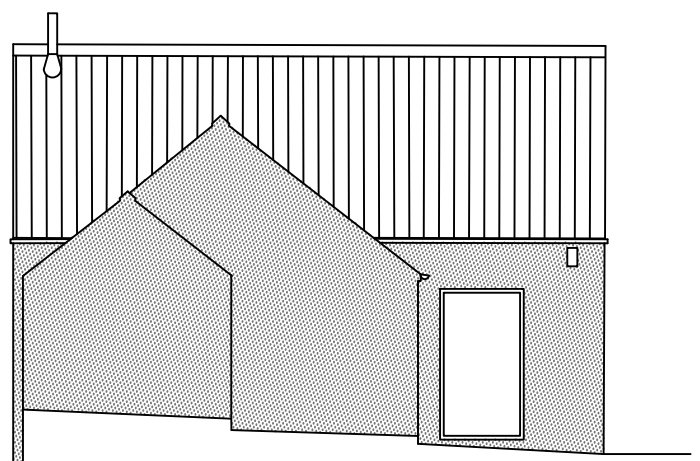
ELEVATION A-A

INSTALL WINDOW TO DOOR
OPENING AND MAKE GOOD
EXISTING DOOR TO BE RETAINED
AND PINNED BACK IN THE OPEN
POSITION

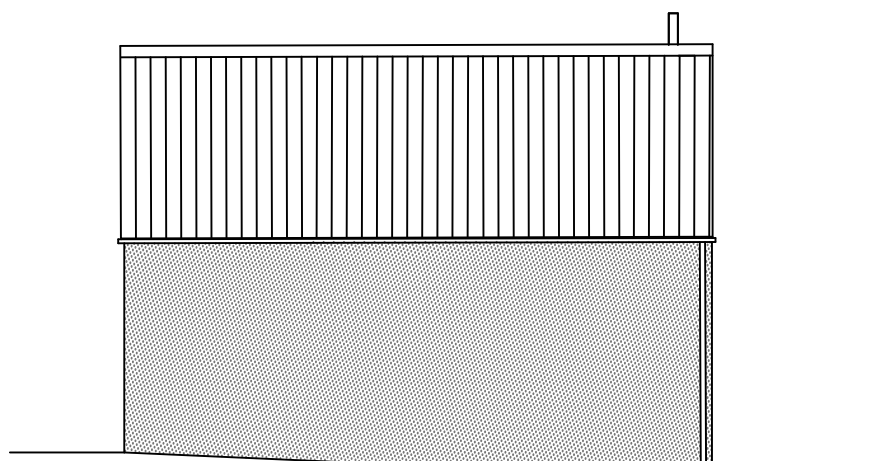
INSTALL WINDOW TO DOOR
OPENING AND MAKE GOOD
EXISTING DOOR TO BE RETAINED
AND PINNED BACK IN THE OPEN
POSITION



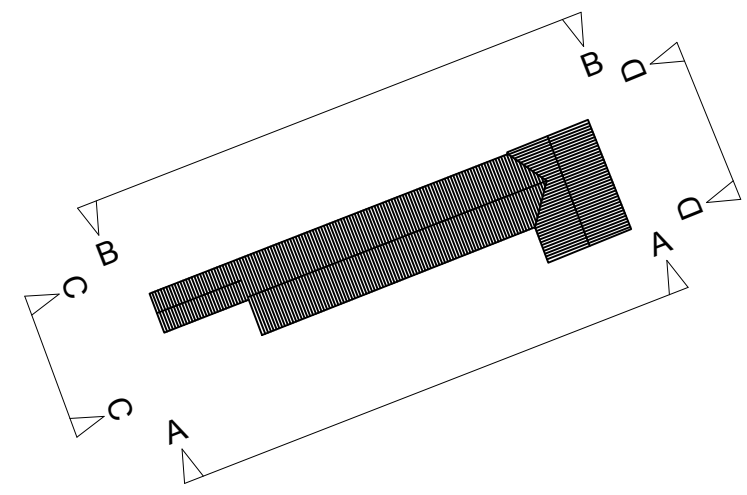
ELEVATION B-B



ELEVATION C-C



ELEVATION D-D



BLOCK PLAN (Scale 1:500)

SCOPE OF WORKS

PROPOSAL TO CONVERT THE OLD SAWMILL INTO THREE SMALL SELF CONTAINED RETAIL UNITS IN SANDESEND, EAST YORKSHIRE

THE PROJECT WILL AIM TO COMPLIMENT THE LOCAL PROPERTIES AND ENHANCE THE AREA & USE SUSTAINABLE MATERIALS AND ECO PRODUCTS WHERE AVAILABLE.

NO ADDITIONAL FENESTRATION TO BE INSTALLED

UNIT MATERIAL SCHEDULE

EXTERIOR WALLS: TO BE RE-POINTED AND REPAIRED WHERE REQUIRED

INTERIOR WALLS: INDEPENDENT INSULATED WALLS TO BE CONSTRUCTED TO PROTECT THE ORIGINAL BUILDING FABRIC. NEW DIVIDING WALLS TO BE TIMBER/METAL FRAME WITH PLASTER SKIM. MINIMAL MASONRY FIXINGS INTO THE ORIGINAL STRUCTURE

ROOF: TRADITIONAL SLATE ROOF

RAINWATER GOODS: CAST IRON PAINTED IN A COLOUR/SHADE TO COMPLIMENT/MATCH THE EXISTING BUILDING MASONRY TO ACHIEVE LESS VISUAL IMPACT

DOORS & WINDOWS: TIMBER WITH MINIMAL MASONRY FIXINGS/FRICTION FIT INTO THE ORIGINAL STRUCTURE.

FLOOR: INDEPENDENT 'FLOATING' FLOOR TO ALLOW SERVICES BELOW. THE EXISTING FLOOR WILL REMAIN IN SITU

NOTE 1: EXISTING SITE LEVELS TO REMAIN UNCHANGED

NOTE 2: STRUCTURAL CALCULATIONS & FOUNDATION DESIGN BY OTHERS

NOTE 3: BUILDING REGULATIONS & CONSTRUCTION DETAILS BY OTHERS

NOTE 4: SITE AREA = 0.194 ha (0.478 Acre)

NOTE 5: FFL = +6.0M

BS 1192: Part 3 - CONSTRUCTION DRAWING PRACTICE

THESE DRAWINGS ARE INTENDED FOR PLANNING PURPOSES ONLY.

dream-haus limited
103 yew drive-brandon
suffolk-england-IP27 0AB
+44 (0) 1842 845 828
enquiries@dream-haus.com
www.dream-haus.com

Client **MULGRAVE ESTATE**

Project **OLD SAWMILL
SANDESEND, WHITBY**

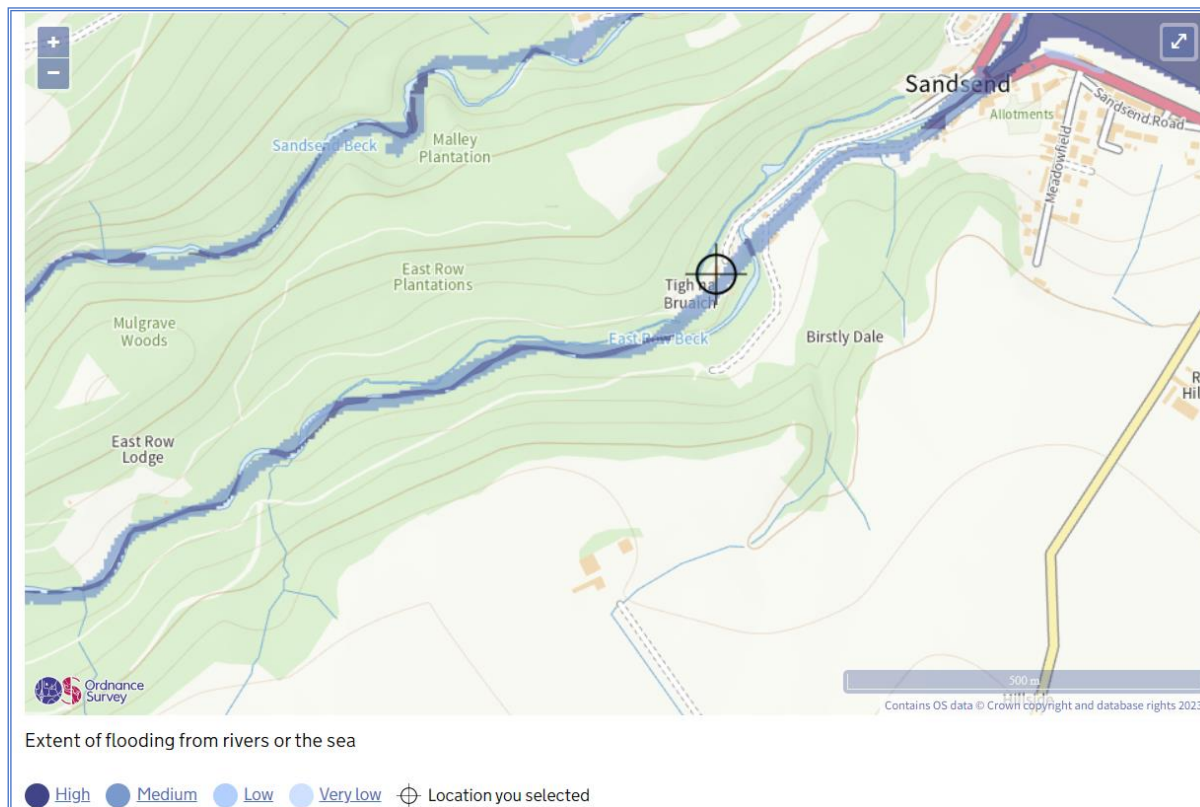
Drawing **3No NEW RETAIL UNITS
PROPOSED ELEVATIONS**

Drawing Number **02-2023-3004**

Scale **1:100** Sheet **1 OF 1** Rev **-**

Appendix C Topographical Survey

Appendix D Environment Agency Flood Maps



Flood Map from Sea and Watercourse	
Site	Proposed Development, Sandsend
Client	Mulgrave Property
Job Number	23080
Scale	NTS



Surface Water Flood Maps	
Site	Proposed Development, Sandsend
Client	Mulgrave Property
Job Number	23080
Scale	NTS

19 & 20 Brenkley Way
Seaton Burn
Newcastle Upon Tyne
NE13 6DS

