

DESIGN & ACCESS STATEMENT

Version 1.0 Issued: 30 August 2023

NYMNPA

31/08/2023

Proposed extension to dwellinghouse Quarry Cottage, Raw, Whitby YO22 4PP



PCA_0047_D&S_v1.0

Town Farm House
9 High Market Place
Kirkbymoorside
York YO62 6AT
01751 269312
www.pcarchitect.co.uk

RIBA  **pca**

DESIGN & ACCESS STATEMENT

LOCATION

Quarry Cottage, Raw, Whitby YO22 4PP

DESCRIPTION

Construction of two storey extension (partially underground) along with the alteration of openings to the north west elevation, removal of a uPVC framed conservatory and replacement with timber framed conservatory to the south east elevation of existing dwelling

CLIENT/APPLICANTS

Mr & Mrs Metters
Quarry Cottage, Raw, Whitby YO22 4PP

AGENT

Patrick Cuddy Architect
Town Farm House, 9 High Market Place, Kirkbymoorside, York YO62 6AT
01751 269312
www.pcarchitect.co.uk

LOCAL PLANNING AUTHORITY

North York Moors National Park Authority
The Old Vicarage, Bondgate, Helmsley YO62 5BP
01439 772700
www.northyorkmoors.org.uk

PLANNING PORTAL REFERENCE

PP-12116845

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

1.0 Introduction

1.1 This Design & Access Statement is prepared to accompany a householder planning application to the North York Moors National Park Authority under the Town and Country Planning Act 1990 for an extension, replacement conservatory and replacement windows to Quarry Cottage on behalf of the applicants, Mr & Mrs Metters, upon the land outlined in red on the site location plan (drawing EX_001).

1.2 The statement is prepared by Patrick Cuddy who is a chartered architect and registered with the Architect's Registration Board to practice as an architect under the Architects Act 1997. The drawings accompanying the application have also been prepared entirely by Patrick Cuddy (PCA).

1.3 The list of documents forming the application is as follows:

| Ref | Name/Description | Prepared by |
|------------------|---|-------------|
| - | The completed application form and ownership certificates | PCA |
| EX_001 | Existing Plans | PCA |
| EX_002 | Existing Elevations & Section | PCA |
| PL_001 | Proposed Plans | PCA |
| PL_002 | Proposed Elevations & Sections: Sheet 1 | PCA |
| PL_003 | Proposed Elevations & Sections: Sheet 2 | PCA |
| PL_004 | Proposed Sketch Images | PCA |
| PCA_0047_D&A_v1- | Design & Access Statement | PCA |

1.4 Unless stated otherwise, all the photographs or illustrations contained in this Design & Access Statement were taken or produced by Patrick Cuddy.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings

2.0 Site

2.1 Quarry Cottage is a dwelling located off the unclassified road (U2349/1/30) known as Shop Hill in the hamlet of Raw within the North York Moors National Park. The Cottage is situated in the northern portion of the site. Also on the site is a detached residential annex, a store/shelter and a livestock building, located to the west and south west of the dwelling respectively. Refer to Figs. 1 and 2.

2.2 Raw is a hamlet that stretches along the U2349 as it climbs to meet the A171 Scarborough to Whitby road. The Shop Hill winds around the north eastern corner of the Applicants' land climbing to a vehicular access serving both Quarry Cottage and its neighbour Bank Cottage. Although a hamlet, the settlement is sometimes described as a village due to the proximity of St Stephen's Church which is the former parish church of Fylingdales.

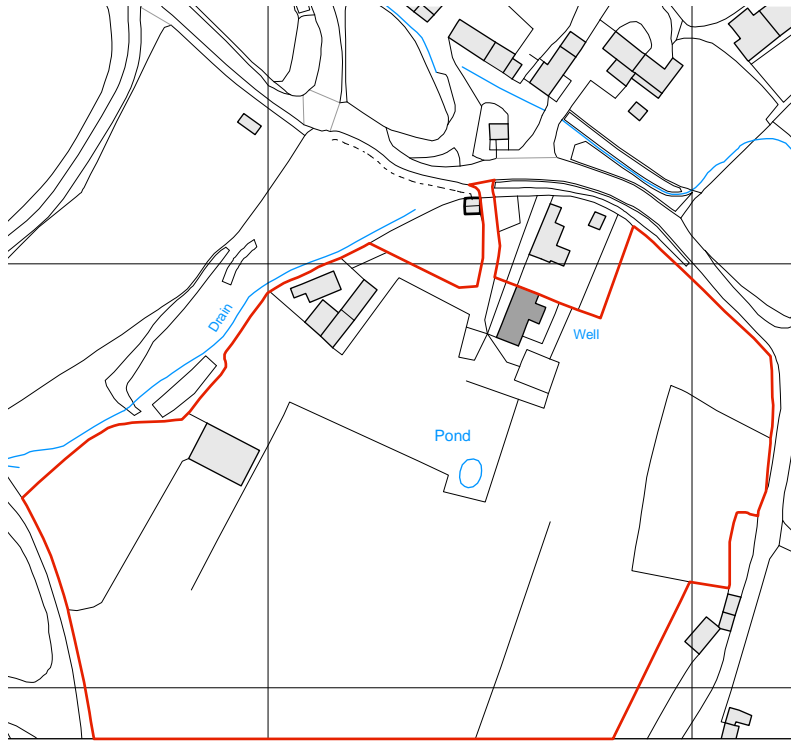


Fig.1: Site Location (not to scale). Extract from the Site Location Plan. Crown Copyright and database rights Ordnance Survey licence number 100041041.



Fig. 2: Satellite image showing site location. A = Quarry Cottage, B = Annex & lean-to shelter, C = Field shelter, D=Livestock shelter. Image credit: Google Maps.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.3 The site, comprising a smallholding extending to some 2.049 hectares (measured using Ordnance Survey data), including the cottage, barns and a residential annex along with other small ancillary structures, was purchased by the Applicants in 2020 for £585,000. Refer to Fig. 3 for the extent of land in addition to Quarry Cottage and its domestic garden.

2.4 The land has been used in the past to produce haylage and graze livestock and the Applicants currently keep animals for recreation purposes, resulting in some produce for their own use - refer to Section 5.

2.5 The overall site broadly slopes from the west and north-west down to the east with the Cottage built into the slope where the gradient is steeper. Viewed from the north west within the site only the upper floor and roof of the Cottage is visible, whereas from Shop Hill to the south east the view of the Cottage is limited - refer to Figs 5, 6 and 18.

2.6 The wider site is enclosed by a combination of mixed native hedges, timber fences of various types, as well as stone walls. The majority of trees are to the eastern portion of the site, with the majority of land used as pasture for domesticated animals as mentioned previously.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings

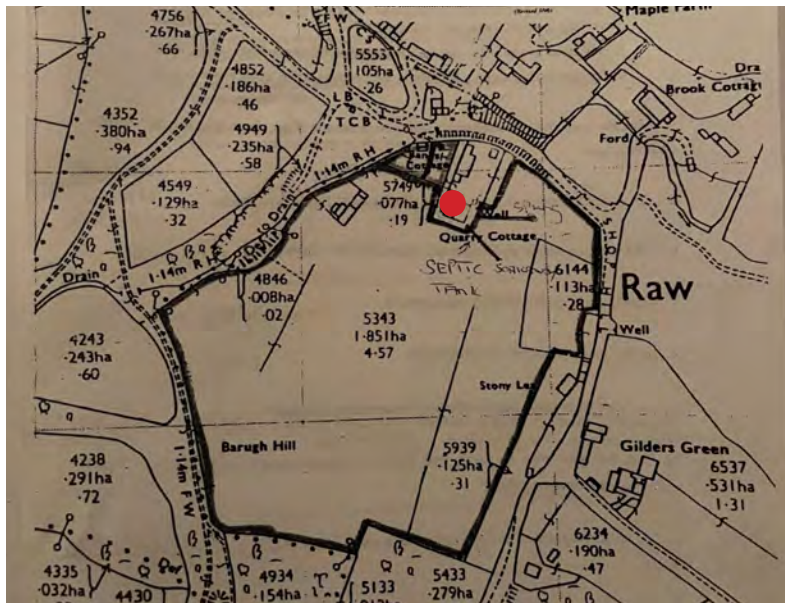


Fig. 3: Extract from one of the Deeds Plans showing the extent of ownership to the south west, Quarry Cottage indicated by red dot. Not to scale. Image credit: Applicant.

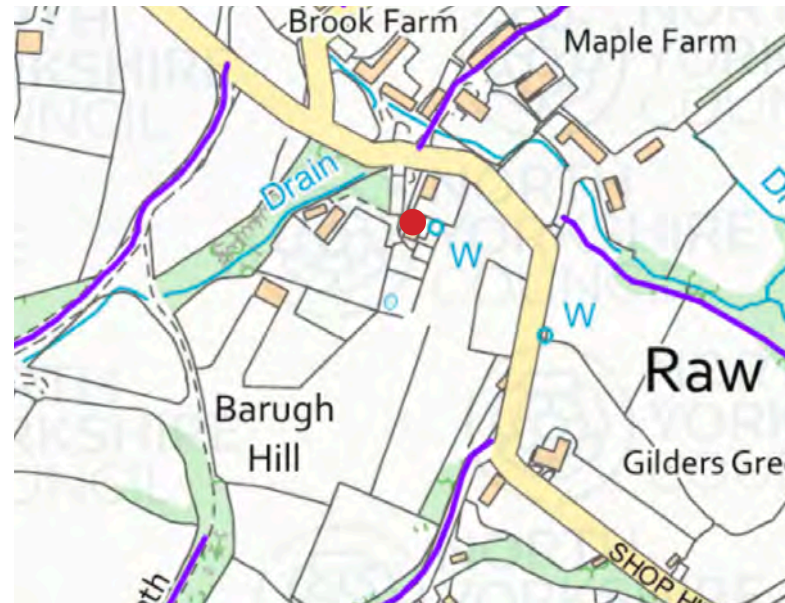


Fig. 4: Extract from the online map of Public Rights of Way. PROWs indicated by purple lines, Quarry Cottage indicated by red dot. Image credit: North Yorkshire Council.



Fig. 5: View looking north-west from Shop Hill towards Quarry Cottage. The land in the foreground belongs to Quarry Cottage. Image credit: Google Streetview.



Fig. 6: View looking west from Shop Hill up towards Quarry Cottage on the left and Bank Cottage on the right. Image credit: Google Streetview.



Fig. 7: Drone view from the south looking north with the slate roof of Quarry Cottage staning out against its neighbours. Image credit: Richardson & Smith Estate Agent.



Fig. 8: Drone view from the south looking north east showing Quarry Cottage front right with the residential annex beyond. Image credit: Richardson & Smith Estate Agent.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.7 The nearby redundant sandstone quarry to the west of the site may have had a connection to the Cottage (the estate agent's sales particulars described it as a redundant quarryman's cottage) other than just the name, but the quarry ceased operation sometime after the 1853 version of the Ordnance Survey Six Inch Scale map and prior to the publication of the next issue. It is possible, if not highly likely, that the stone for the Cottage as well as other buildings in the vicinity came from this local quarry.

2.8 There are no Public Rights of Way on or across the site, although there are two footpaths that skirt the land and a third that approaches it but stops short. Due to the nature of the topography however, there are a few, in any, opportunities to view Quarry Cottage itself. Refer to Fig. 4.

2.9 There are mid to long distance views to the south-east towards Robin Hood's Bay from most points on the site although the views are more expansive from the higher ground beyond the cottage. Refer to Fig. 9.

2.10 The site lies entirely within Flood Zone 1 according to the Government's online Flood map for planning service, which is an area with a low probability of flooding from rivers or the sea. Refer to Fig. 10.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings



Fig. 9: View looking east towards the Annex with Quarry Cottage beyond to the right. Image credit: Richardson & Smith Estate Agent.

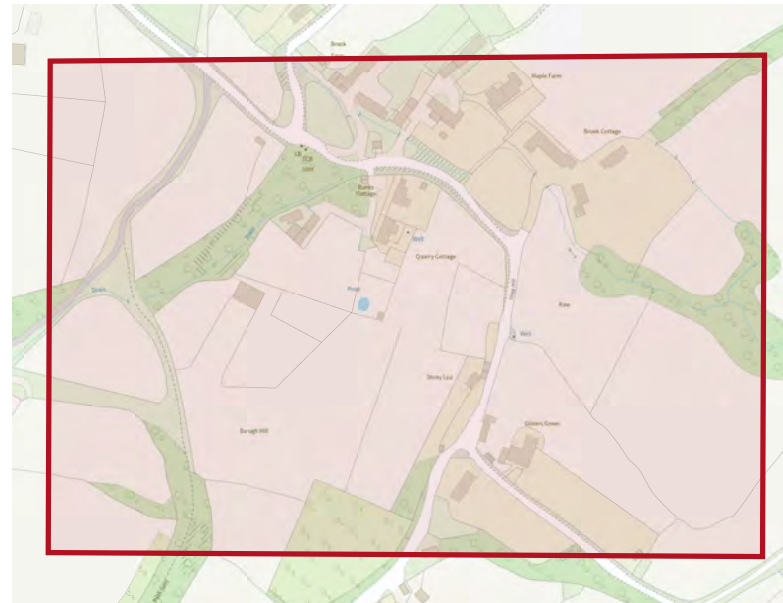


Fig. 10: Flood map for planning showing the site is in Flood Zone 1 - an area with a low probability of flooding from rivers or the sea. Image credit: www.gov.uk.



Fig. 11: Extract from Ordnance Survey Six Inch Series 1853 Edition (not to scale), surveyed 1848-1849, published 1853. Image credit: National Library of Scotland.



Fig. 12: Extract from Ordnance Survey Six Inch Series 1895 Edition (not to scale), surveyed 1892, published 1895. Image credit: National Library of Scotland.



Fig. 13: Extract from Ordnance Survey Six Inch Series 1914 Edition (not to scale), revised 1910, published 1914. Image credit: National Library of Scotland.



Fig. 14: Extract from Ordnance Survey Six Inch Series 1952 Edition (not to scale), revised 1950, published 1952. Image credit: National Library of Scotland.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.11 From a study of historic Ordnance Survey maps, a building has stood on the site since before 1850. Refer to Figs. 11-14 on the previous page for extracts from the Six Inch Series maps spanning the period from 1853 to 1952.

2.12 The first edition of the Six Inch maps (Fig. 11) indicates a single structure extending across the area now covered by both Quarry Cottage and Bank Cottage along with the land in between. It is not clear whether this was the case or an error in surveying, as the next edition published in 1895 (Fig. 12) indicates two separate buildings and this remains the situation up until the present day.

2.13 The twenty-five Inch Series maps offer more detail, refer to Figs. 15 and 16, indicating that there are structures attached to the south west of Quarry Cottage. These structures are subsequently indicated on the drawings accompanying planning applications in 1974, approved in 1975, and also in 2003 - refer to Section 3 for further information.

2.14 The wider site attached to Quarry Cottage is substantially larger than when the house was built. The 1893 version of the Ordnance Survey Twenty-Five Inch series map - refer to Fig. 17 on the following page for a larger scale image - indicates access from Shop Hill via a path along the back of Bank Cottage and Quarry Cottage with only a small parcel of land attached to Quarry Cottage to the south east. All of the land surrounding Quarry Cottage appears to be attached to Bank Cottage including the barn that is now annex accommodation attached to Quarry Cottage, therefore Quarry Cottage may have been subservient to Bank Cottage, which was the larger of the two dwellings.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings



Fig. 15: Extract from Ordnance Survey Twenty-five Inch Series 1893 Edition (not to scale), surveyed 1892, published 1893. Image credit: National Library of Scotland.

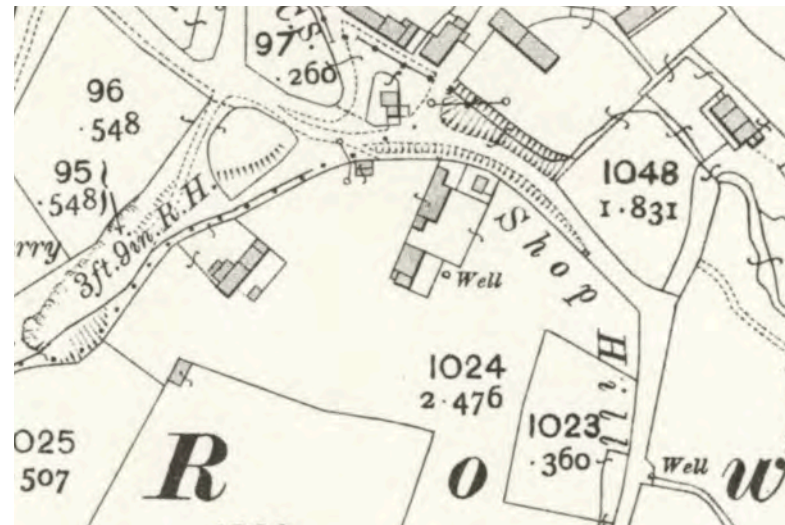


Fig. 16: Extract from Ordnance Survey Twenty-five Inch Series 1913 Edition (not to scale), revised 1910, published 1913. Image credit: National Library of Scotland.

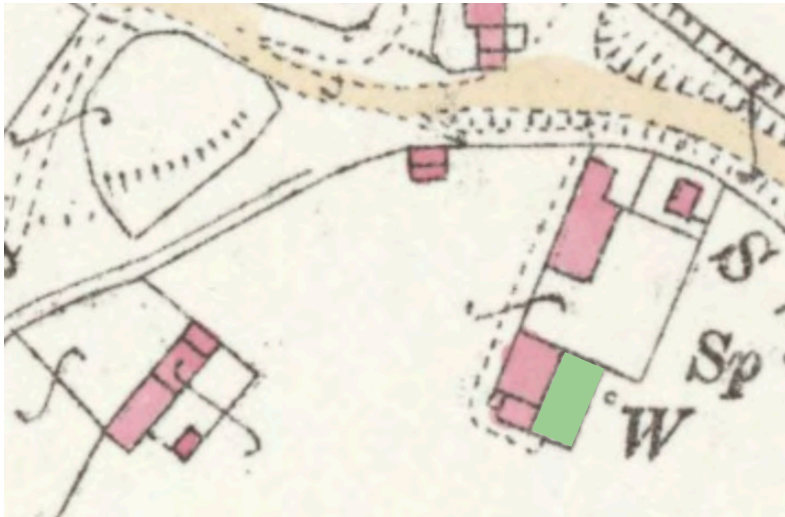


Fig. 17: With reference to item 2.14, extract from the 1893 25 Inch O.S. map (not to scale), with land attached the Quarry Cottage tinted green. Image credit: N.L.S.



Fig. 18: View of the north-west elevation (rear) of Quarry Cottage from the drive. Image credit: Mr & Mrs Metters.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.15 A search carried out on the Government's online Magic mapping tool reveals that the land bounding the Applicants' land to the west is registered common land under the control of Fyling Court Leet, part of which is designated as a Site of Special Scientific Interest (SSSI). At its closest point, the SSSI is approximately 270m from the north-west corner Quarry Cottage. Refer to Figs. 20 and 21 on the following page.

2.16 Quarry Cottage is a two storey dwelling of squared coursed local sandstone under a slate roof, rather than a pantiles of most buildings in the area. There is an early 21st century extension to the south west of the original building replacing lean-to structures that probably housed ancillary accommodation such as a wash house. The stone to both the original building and the extension has herringbone tooling and the original gables have stone water tabling and kneelers, a detail replicated on the extension. The white uPVC conservatory to the south east (front) elevation is more prominent than the larger conservatory attached to the front of the neighbouring Bank Cottage, which has timber effect brown uPVC framing. The exact date of construction of the conservatory is not known, with the possible date range being between 1975 and early 2003. The windows and doors are all white uPVC framed casement windows in a combination of fixed lights with top hung hoppers or side hung casements with top hung hoppers. Rainwater goods and external waste water pipework are black plastic with the exception of those to the conservatory which are white plastic. The single remaining chimney stack is rendered with a tall single buff clay pot, while its partner to the north east gable was removed following approval of the planning application in 1975. The domestic garden area is terraced and lies to the front (south-east) of the Cottage.



Fig. 19: View looking north east along the south east elevation (front) with uPVC framed conservatory. Contrast with the image in Fig. 33.

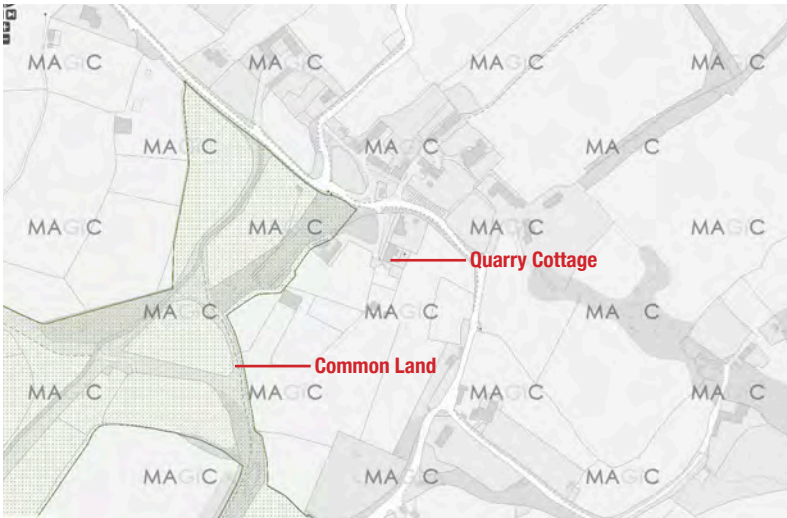


Fig. 20: Extract from the DeFRA Magic map showing the Registered Common Land (green shading) adjacent to the Applicant's land. Image credit: magic.defra.gov.uk.

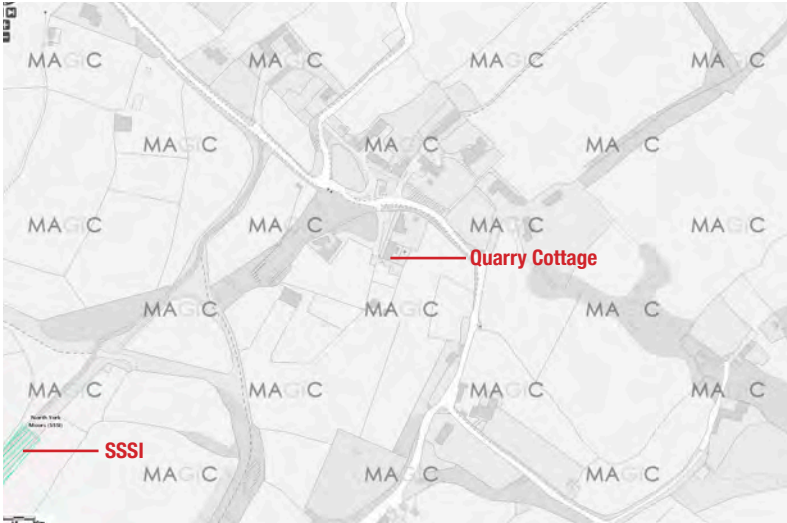


Fig. 21: Extract from the DeFRA Magic map showing the SSSI (green hatching) near, but not adjacent to, the Applicant's land. Image credit: magic.defra.gov.uk.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.17 The level difference between the parking area and the entrance level is 2.625m and is initially negotiated by a sloping path, then through a gate and down slightly uneven sloping steps followed by a turn left and a flight of more regular steps. In very wet or icy conditions these can be difficult to negotiate and even more so if carrying items such as shopping or other bulky or unwieldy items. Refer to Figs. 22 and 23.

2.18 After negotiating the route described above, the dwelling entrance is via the conservatory on the south east elevation, with a secondary access to the rear of the extension built in 2003. Neither access point is satisfactory and the access situation is inconvenient to say the least and borders on dangerous at times. The planning application approved in 1975 addressed this issue to some extent by introducing an entrance at a higher level to the rear, but this was not implemented - refer to Section 3.



Fig. 22: View looking south to the bottom section of the access route from the parking area to the dwelling.



Fig. 23: View looking north-west to the access route from the parking area to the dwelling. Image credit: Richardson & Smith Estate Agent.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings



Fig. 24: View looking to the south-west corner of Quarry Cottage.



Fig. 25: View looking east to the rear of Quarry Cottage from the parking area, highlighting the significant level change.



Fig. 26: View looking along the rear elevation showing the retaining wall to the left and the extension approved in 2003 immediately to the right.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

3.0 Planning Background

Project Details

3.1 Planning History

1 Introduction

3.1.1 A search of NYMNPA's online planning records has established that the following planning applications are associated with the site:

2 Site

| | | | |
|------------------|---|---------------|------------------|
| 40290035 | Extension and general improvements | Approved 1975 | *Not implemented |
| 40290035A | Erection of a two storey side extension | Approved 2003 | Implemented |
| 40290490 | Restoration of barn and erection of timber field shelter | Approved 1998 | Implemented |
| 40290490A | Erection of a 2-bay timber storage/shelter, the re-siting of a previously approved timber field shelter and the siting of an LPG tank | Approved 1998 | Implemented |
| 40290490B | Erection of a livestock building | Approved 2001 | Implemented |
| NYM/2012/0458/FL | Conversion of barn to form ancillary residential accommodation | Approved 2012 | Implemented |

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings

3.1.2 The drawings contained within the Authority's planning files for 40290035 and 40290035A are shown in Figs. 27-29 on the following pages.

3.1.3 *Application 40290035 approved in 1975 - refer to Fig. 27 on the next page - appears not have been implemented with the exception of the removal of the chimney stack to the north east elevation and the later enlargement of the kitchen window. Removal of the stack occurred prior to the submission of the 2003 application and the window appears to have been enlarged after the approval of the 2003 application - refer to Figs. 22-24 on the following pages.

3.1.4 The 1975 approval allowed for extensions to the south-west and south-east elevations, along with extensive alterations of the building including raising the roof, removal of the gable water tabling and formation of dormer windows to the south-east elevation. The proposal addressed the issue of the poor access from the higher ground by introducing an entrance mid-way between ground and first floor levels as part of the extension to the south-west elevation.

3.1.5 A drawing of the existing situation could not be found in the planning file for 40290035, but the proposed plans highlight the removal of existing structures to the south-west elevation along with a greenhouse to the south-east. The presence of such structures would tally with the Twenty-five Inch Scale Ordnance Survey Maps of 1893 and 1913 - refer to Figs. 15 and 16.

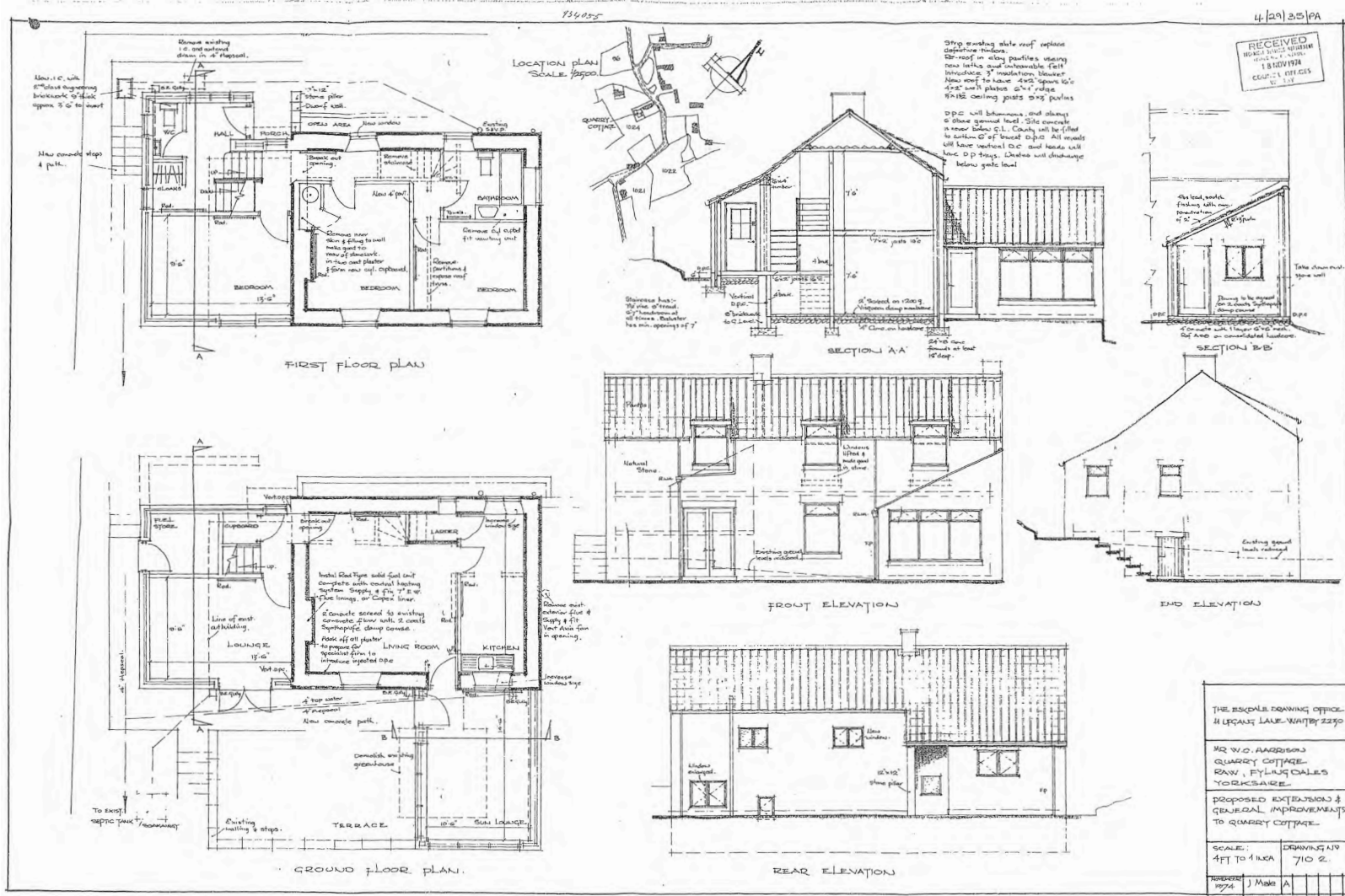
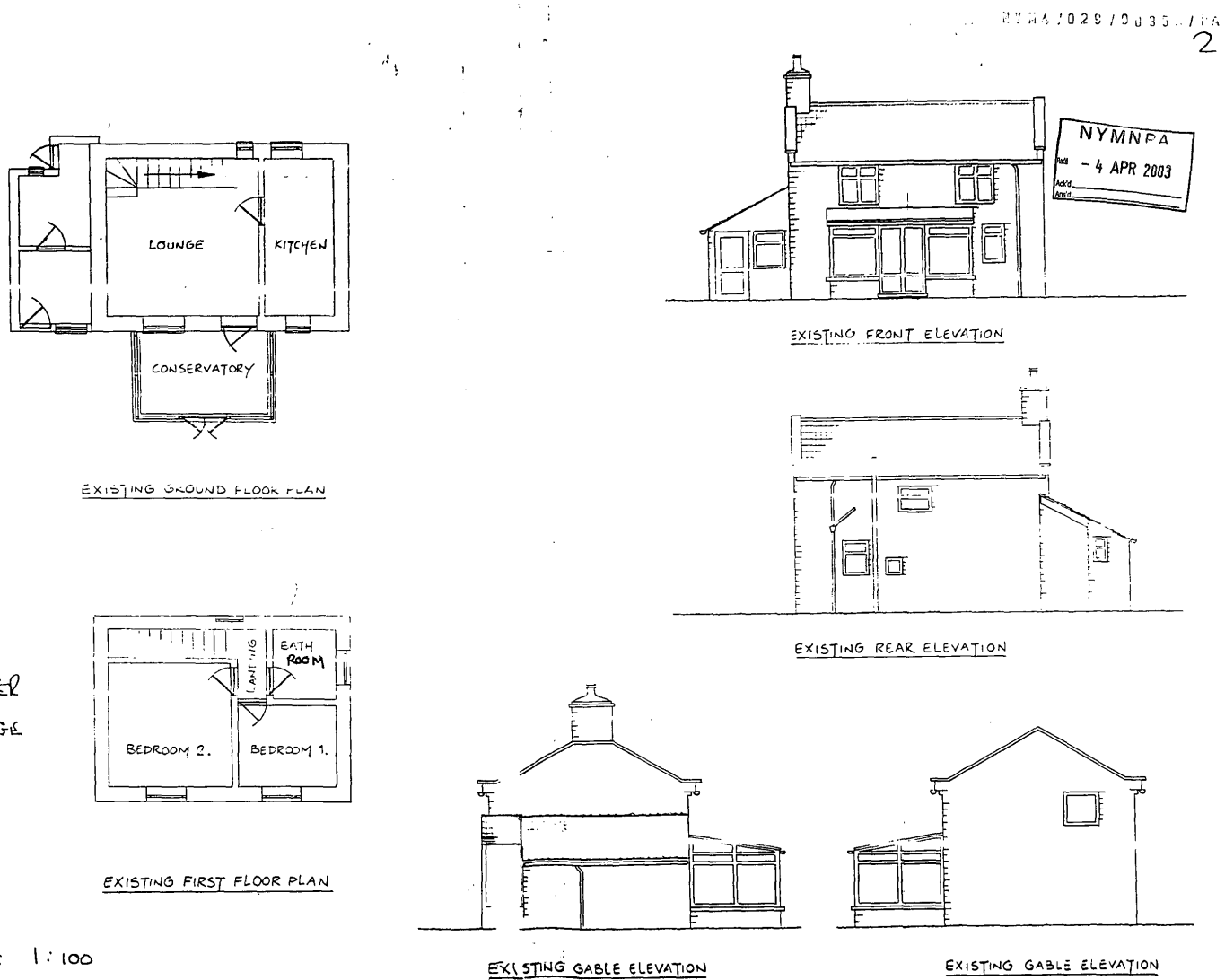


Fig. 27: Application 40290035. Scheme approved in 1975 showing substantial extensions to the south west and south east elevations along with alterations to the roof including installation of dormer windows. The chimney stack to the north east elevation is to be removed and the kitchen window enlarged. (An existing drawing was not in the file.)

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background**
- 4 Planning Policy
- 5 Proposals
- 6 Drawings



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background**
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

Fig. 28: Application 40290035A. Existing plans and elevations submitted for application 40290035A. With reference to the earlier approval, note that according to this drawing the chimney stack to the north east elevation has been removed but the kitchen window has not been enlarged.

3.1.6 The existing plans and elevations submitted with application 40290035A, refer to Fig. 28, corroborate the earlier application drawings and the Ordnance Survey Maps, although it does not specify a use for the spaces to the south west elevation. The drawings indicate an external access to the structures on the south west elevation.

3.1.7 The sketch - Fig. 31 - on the following page shows the development phases of Quarry Cottage based on Ordnance Survey maps and the drawings submitted with planning applications 40290035 and 40290035A, along with the current Permitted Development Rights and the proposals submitted in this application.

3.1.8 As mentioned previously, it is not known when the conservatory was constructed and the potential timescale for its construction spans almost twenty years. There is no record of a planning application and it may be that it was considered to be Permitted Development at the time. This is perhaps backed up by a note in the Authority's file for planning application 40290035, that referred to the Cottage as not having a frontage with the road.

3.2 Pre-application engagement

3.2.1 In line with the advice of paragraphs 39 to 41 of the NPPF 2021, early engagement with the LPA took place in the form of a pre-planning application enquiry (NYM/2020/ENQ/17140) submitted by the Applicants. A response was issued by the LPA on 26 November 2020 with additional advice being provided shortly afterwards on 4 December 2020. As such the Applicants have engaged with the LPA and taken a pro-active approach to the development process.

3.2.2 The pre-application response highlighted policy CO17 that would preclude a further extension but stated that Permitted Development Rights would allow an extension to the rear of the dwelling. The response confirms that the south east-elevation is considered to be the principal elevation.

3.2.3 The response also encourages the removal of the existing conservatory and replacement with a smaller porch structure, however the conservatory has been present in excess of twenty years without a known objection and, although it is unheated it is important as to how the Applicants currently use the house, furthermore it is integral as to the current proposals.

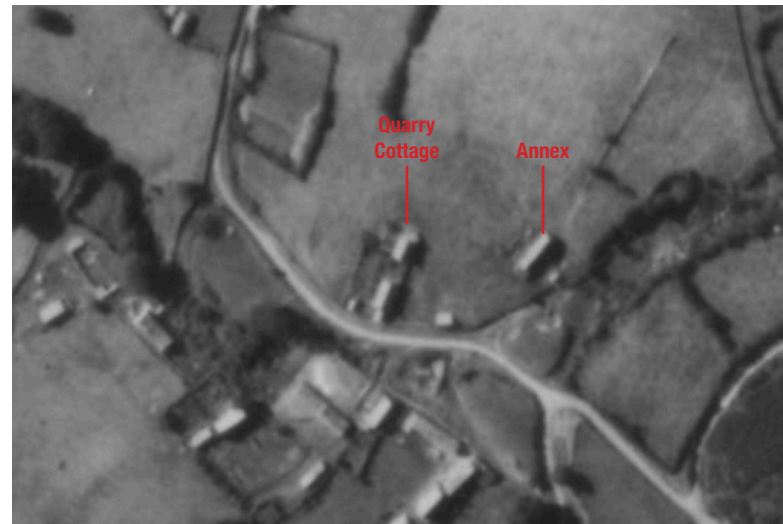
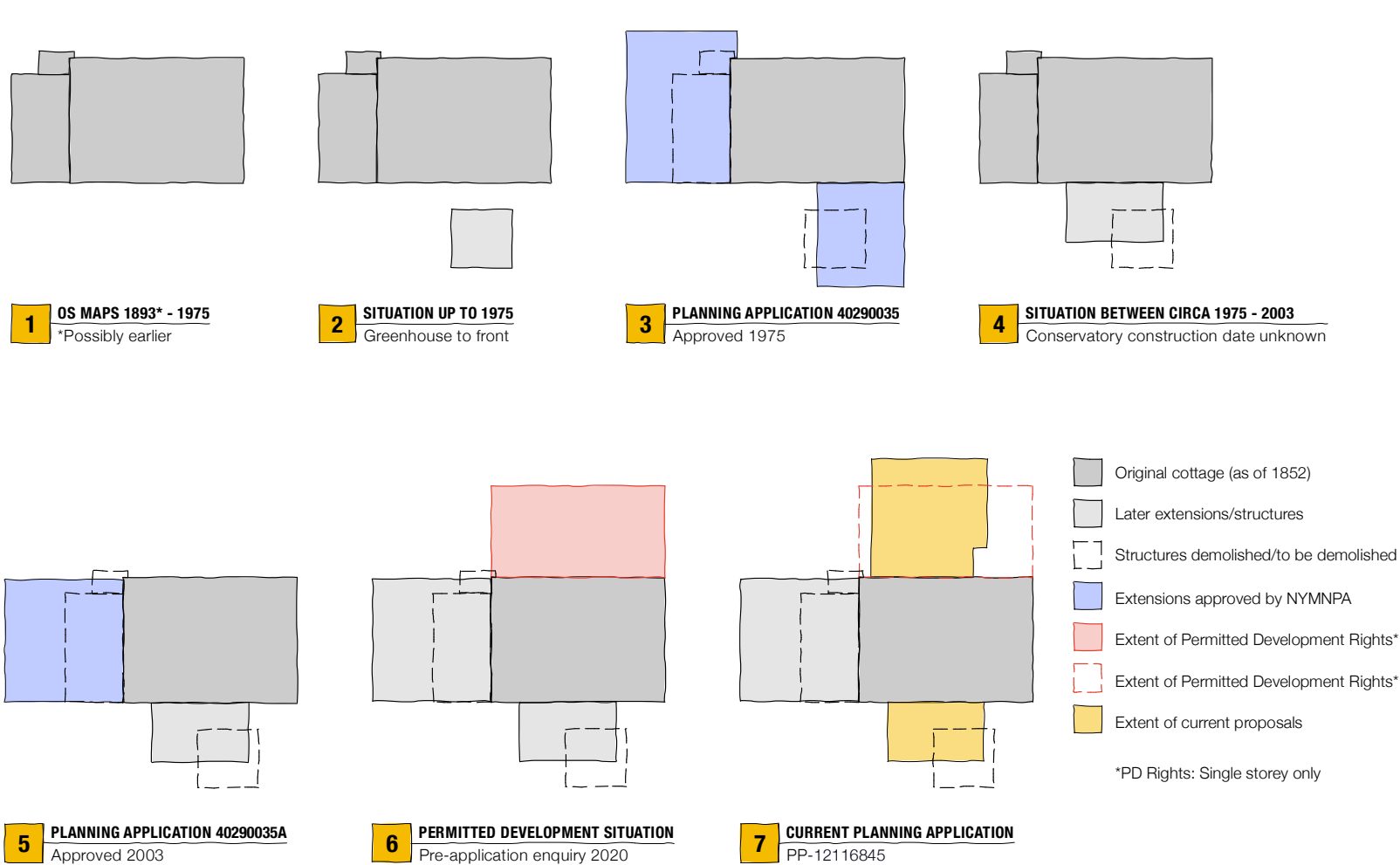


Fig. 30: Extract from an aerial photograph taken by the R.A.F. on 27 August 1946. Image credit: historicingland.org.uk.

| | |
|----------|----------------------------|
| | Project Details |
| 1 | Introduction |
| 2 | Site |
| 3 | Planning Background |
| 4 | Planning Policy |
| 5 | Proposals |
| 6 | Drawings |



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background**
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

Fig. 31: Sketch showing development phases including approved planning applications, current permitted development rights and the proposals under consideration including the replacement conservatory.

4.0 Planning Policy

Project Details

4.1 Planning Policy Context

1 Introduction

4.1.1 The Planning and Compulsory Purchase Act 2004 and the Town and Country Planning Act 1990.

2 Site

4.1.2 The National Planning Policy Framework (2021).

3 Planning Background

4.1.3 The Local Plan of the North York Moors National Park was adopted in July 2020.

4 Planning Policy

4.2 Planning and Compulsory Purchase Act 2004 and the Town and Country Planning Act 1990

5 Proposals

4.2.1 The Planning and Compulsory Purchase Act 2004 carries forward the provisions of the Town and Country Planning Act 1990, giving statutory force to a plan-led system of development control.

6 Drawings

4.2.2 Under Section 70 of the 1990 Act and section 38 (6) of the 2004 Act, the determination of planning applications must be in accordance with the approved Development Plan unless material considerations indicate otherwise

4.3 National Planning Policy Framework 2021 (NPPF)

4.3.1 The NPPF sets the policy framework against which LPAs in England must formulate their local plans and places the responsibility on the LPA for making planning decisions against that criteria “*unless material considerations indicate otherwise*”, as stated in paragraph 47. The current version of the NPPF took effect in 2021.

4.3.2 The NYMNPA Local Plan was adopted in 2020 and was drawn up in line with an earlier version of the NPPF, but the central thrust of of the NPPF is “**a presumption in favour of sustainable development**” [NPPF emphasis], which remains from earlier versions. It is against this theme that the Local Plan was drawn up.

4.3.3 Paragraph 11 of the NPPF includes the following with regards to decision-making on applications: “*approving development proposals that accord with an up-to-date development plan without delay*”.

4.3.4 Paragraph 78 provides advice on rural housing. It states that “*in rural areas, planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs*”.

4.4 North York Moors National Park Authority: Local Plan adopted 2020

4.4.1 Within the adopted Local Plan the Strategic Policies set out framework as to how the long term goals of the Plan are to be achieved. Of the thirteen policies it is C and M that are most pertinent to this application, whilst A, B, F, G and H are also touched upon to some extent.

4.4.2 Strategic Policy A - Achieving National Park Purposes, highlights the two statutory purposes of the National Park planning policy with the need “to conserve and enhance the natural beauty, wildlife and cultural heritage of the National Park” taking precedence. Within the policy it is stated that “a positive approach to new development will be taken” with reference to the NPPF and the definition of sustainable development in seven points.

4.4.3 Strategic Policy B - The Spatial Hierarchy, sets out a settlement hierarchy that guides development within the Park. Within that hierarchy Raw sits within the Open Countryside, whereby development is to be allowed only where it meets specific criteria, however householder development is not included in the list as it is dealt with by Strategic Policy M.

4.4.4 Strategic Policy C - Quality and Design of Development in the adopted Local Plan sets out the basic requirements of all development proposals and the points are expanded upon within specific policies and also with the Authority’s Design Guide, which is Supplementary Planning Guidance. The primary policy to control alterations and extensions to existing dwellings within the Park is Policy CO17 contained within Strategic Policy M.

4.4.5 Strategic Policy F - Climate Change Mitigation and Adaptation, the policy aims to require new development to be “resilient to and mitigate the effects of climate change” and although not strictly applicable to this application the proposals put forward here will reduce the amount of energy required through upgraded building fabric and making use of solar gain. These will also assist in moving towards the use of renewable energy for the dwelling.

4.4.6 Strategic Policy G - Landscape. The site is within an area designated under the 2021 Landscape Character Assessment as the Whitby - Cloughton Coastal Hinterland. The proposals to the rear of the Cottage will have a very low impact on the surrounding landscape with only intermittent views along the PROW (30.36/654/1) to the north west and a partial view from Shop Hill looking south west along the drive. The proposed extension does not encroach onto the wider site utilising an underused sloping strip of land to the rear of the existing house. The proposed replacement conservatory to the front of the Cottage is to be constructed of timber utilising the existing stone plinth and the materials will provide a much less jarring colour contrast to that of the existing uPVC, thus reducing the impact on the landscape.

4.4.7 Strategic Policy M - Housing. This sets out the criteria against which new housing of all types, replacement housing and provision for Gypsy, Roma and Travelling communities will be required to meet and also includes provisions for work to extend or alter existing dwellings.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings

4.4.7.1 Policy CO17 - Householder Development. This is the key policy in controlling extensions and alterations of existing dwellings and the Policy carries over much of the text from the 2008 Development Policy 19 on householder development, but with the significant addition of a limit on new floor area unless “*there are compelling planning reasons in favour of larger extension*”.

4.4.7.2 CO17 1. - Character & Form. The form the dwelling and 2003 extension to the south west are traditional with the extension carrying through the aesthetic and detailing of the original building. The proposed extension takes on a gabled form but simplifies and separates it from the main building with a contrasting linking structure.

4.4.7.3 CO17 2. - Residential amenity. The neighbouring property is orientated in the same way as Quarry Cottage thus minimising the impact on that dwelling and its amenity space and there are no proposed windows overlooking it. The size of the Applicants’ overall site results in a negligible loss of amenity space to Quarry Cottage. Furthermore, the siting of the extension does not impact on the parking and turning arrangements for vehicles.

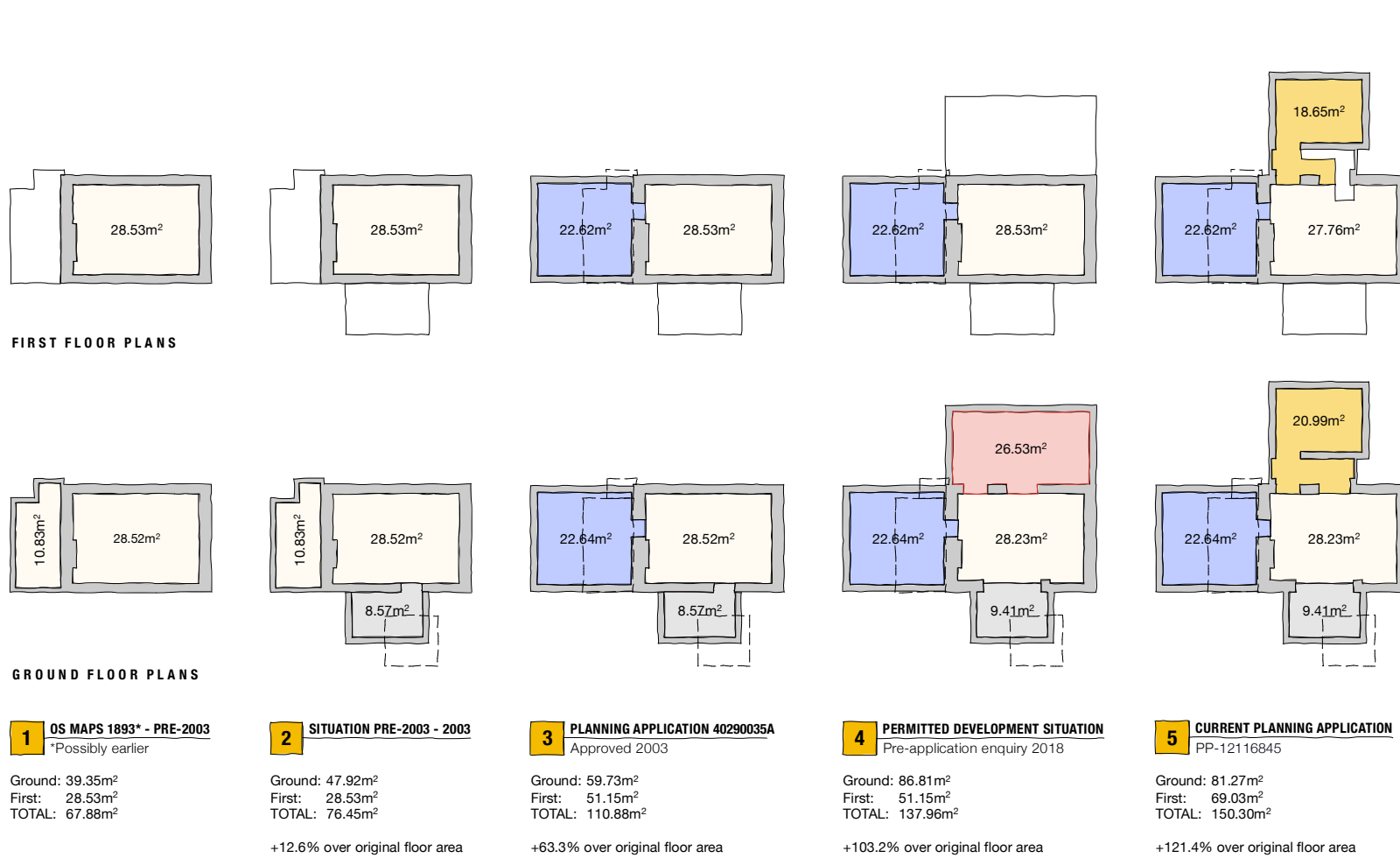
4.4.7.4 CO17 3. - NYMNPA Design Guide. The principles outlined in the Authority’s Design Guide should be followed. The need to provide a usable access prompted a design approach that allowed the problem of extremely low eaves heights to be overcome by replicating the simple form of the gable, extruding it, pulling it away from the host building and then linking it with a simple flat roof structure. To denote a new chapter in the building’s story a stripped back aesthetic with complimentary and contrasting materials has been utilised. Section 3.2 of the Authority’s Design Guide Part 2 suggests that a linking structure may be appropriate where the design of the extension is contemporary in nature.

4.4.7.5 CO17 a) introduces the 30% limit, with the requirement that any extension be clearly subservient to the main part of the building. The issues with levels and low eaves heights make this tricky to achieve whilst maintaining usable space inside. The north-west elevation presents a single storey building to the viewer that very much has the characteristics of a back elevation, without symmetry or significant architectural details (water tabling and kneelers aside). The proposed extension is subservient and the approach outlined in the previous item allows this to be emphasised by the differing architectural language, detailing and materials. This approach responds positively to the criteria set out in the subsequent item within the Local Plan: CO17 b) whereby “*the design and detailing should compliment the architectural form and character of the original dwelling and any new roofline should respect the form and symmetry of the original dwelling*”.

4.4.7.6 The 30% limit on increased floor area set by Policy CO17 was surpassed on Quarry Cottage with the construction of the 2003 extension, although at that time there was no explicit limit on the size of extensions. However, as confirmed in the Pre-planning application enquiry response, extant Permitted Development Rights would allow construction of an extension - a potential increase in floor area of 26.53m², resulting in an overall increase of 103.2% over the original floor area, although this is restricted to a single storey. Most importantly, despite the additional space, it would not resolve the issue of safe access to the dwelling avoiding the external sloping path and steps. The proposal submitted here would add a further 39.42m² to the current floor area an overall increase of 121.4% over the original floor area.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings

Fig. 32: Sketch showing the incremental increases in floor area culminating with this application and including the area that would be allowed under extant Permitted Development Rights. The extension under Permitted Development Rights would have a flat roof in order for it to come under the height restriction within 2m of a boundary.

4.4.7.7 On the previous page, Fig. 34 shows a sketch demonstrating the increase of floor area over time. Although not illustrated in Fig. 34, the extensions approved under 40290035 in 1975 would have added approximately 57.2m² (84.2%) to the original floor area and allowed alterations that would have changed the character of the building considerably.

4.4.7.8 Explanatory paragraph 7.87 gives the reasoning behind limiting the size of extensions and states “*Limiting the size of new extensions can avoid the loss of smaller more affordable dwellings.....*”. The Local Plan provides a definition (Appendix 4 - Glossary) of what constitutes affordable housing which corresponds with the NPPF, but the Local Plan does not include a definition of what constitutes an open market “*affordable dwelling*”. Quarry Cottage is an open market dwelling.

4.4.7.9 As at June 2023 the Office for National Statistics (ONS) published on its web site that the average house price in England was £304,000, with the UK average being £288,000 and the Yorkshire and the Humber average being £209,000 (source: ons.gov.uk). In all probability these will have fallen in recent months but not by a significant amount. In item 2.3 of this Statement, it was highlighted that the purchase price of Quarry Cottage was £585,000 in 2020 - in June 2020 the average house price in the Yorkshire and Humberside region was £168,000 (UK: £235,000; England: £251,000).

4.4.7.10 In its bulletin entitled Employee Earnings in the UK: 2022 published in October 2022, the ONS states that the median weekly income in the UK is £640 per week, or £33,280 per annum (gross), for full time employees. Using the mortgage calculator provided on the web site of the Halifax Bank (calculator.halifax.co.uk), a joint application with both applicants earning the median annual income and with no other outstanding debts, a mortgage of £316,160 could be obtained by a first time buyer. To purchase Quarry Cottage at its 2020 price the buyer would require a deposit of £268,840. Using the increase in property prices outlined in the previous item the price as of June 2023 would be around £708,000. Should the proposals be approved and implemented the value of the house may increase to some extent, but given the current price, an affordable dwelling would not be lost to the housing mix within the Park, avoiding a conflict with the reasoning behind Policy CO17.

4.4.7.11 With reference to item 2.15, the land attached to Quarry Cottage has increased significantly since that time, whilst the Cottage has remained relatively modest in its size and accommodation in comparison to the land it serves. The 2003 application added a third bedroom and a living room along with small ancillary spaces, but in doing so reduced the size of the larger of the remaining bedrooms.



Fig. 33: Computer generated image looking along the south-east elevation (front) with replacement timber framed conservatory. Contrast with the image in Fig. 19.

| | |
|----------|------------------------|
| | Project Details |
| 1 | Introduction |
| 2 | Site |
| 3 | Planning Background |
| 4 | Planning Policy |
| 5 | Proposals |
| 6 | Drawings |

4.4.7.12 This application does not seek to increase the number of bedrooms as the smaller of the two bedrooms, which can only accommodate a single bed, is to be converted to a home office. A significant portion of the new accommodation is below ground and not visible from almost any vantage point. These themes are expanded upon in Section 5.

4.4.7.13 Again with reference to explanatory paragraph 7.87, the Local Plan does not include a definition of what constitutes a “smaller” dwelling by way of a stated floor area or by the number of bedrooms. Assuming that the intention is that a smaller dwelling has no more than 3 bedrooms, then such a dwelling would not be lost to the housing mix within the Park by the proposals, despite the increase in floor area, so again there is no conflict with the reasoning behind Policy CO17.

4.4.7.14 To conclude this section it is accepted that there is a pressure for change within the Park and that incremental extensions can harm the character of an area leading to a loss in the mix of dwellings needed to sustain balanced communities, but the specific factors of this application - topography, siting of the dwelling, poor access to the existing dwelling and scale of land attached to the dwelling - would not significantly harm the objectives of the Park, nor undermine the aim to maintain smaller more affordable dwellings within the Park.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings



Fig. 34: Computer generated image looking south-east from within the site towards the extension.

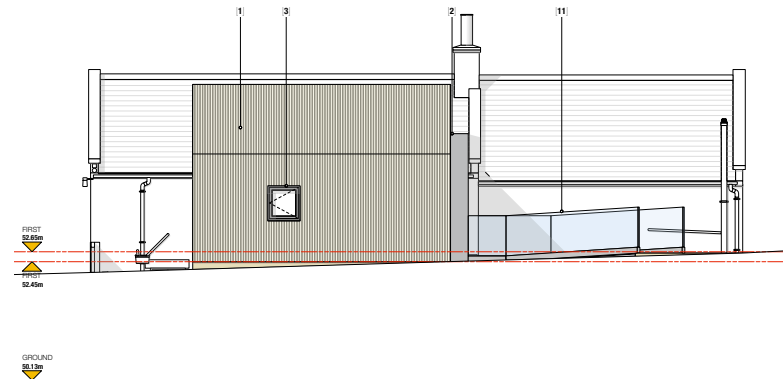


Fig. 35: Extract from PL_003 Proposed Elevations and Sections: Sheet 2 showing the north-west elevation

5.0 Proposals

5.1 Introduction

5.1.1 The application is seeking planning permission for a replacement structure to the front elevation (on the same footprint and using the existing walls) and a two storey extension to the rear that will provide a new access to the dwelling. In addition replacement side hung flush casement windows are proposed, which are more in tune with the original dwelling than the current uPVC stormproof casement windows.

5.2 Context & Background

5.2.1 Among the attractions of the site to the Applicants were the rural location, the amount of land attached to dwelling and the divisions it offered for their animals, e.g. pond, barns, fenced pasture land, along with direct access to the moors.

5.2.2 The Applicants have rural backgrounds, with one having a career that started in animal sciences, teaching at an agricultural college for a number of years and who is now the principal of a local further and higher education college; while the other is from a farming family and is a senior veterinary nurse at a local veterinary practice.

5.2.3 The Applicants have a large number of animals namely, three horses, three alpacas, two goats, six cats, five dogs and a number of ducks, chickens, peacocks and turkeys. Some of the animals have health conditions including “a rescue duck with a bad leg, a cat with very specialised and life dependent care needs along with all of the dogs and cats have been rescued from euthanasia, RSPCA cruelty cases, abandonment etc”. This collection may soon be expanded by the addition of sheep that would assist with management of the pasture land.

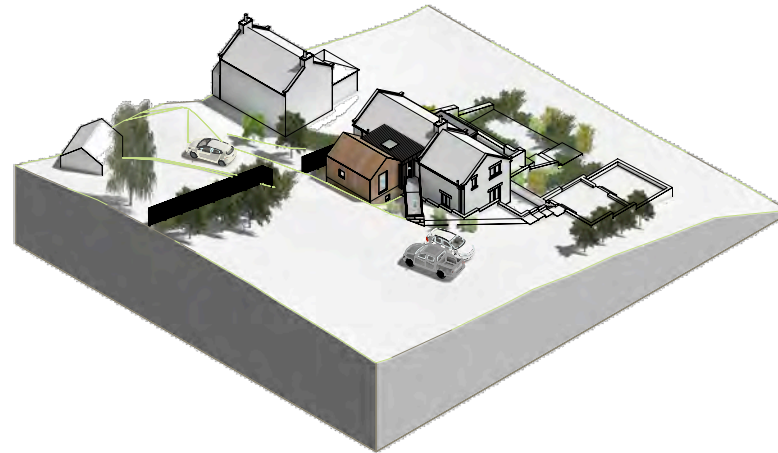


Fig. 36: Computer generated isometric view of the proposal put forward in this application.



Fig. 37: Computer generated view of the front of Quarry Cottage showing the replacement conservatory and windows. Compare with Fig. 24.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

5.3 Brief

5.3.1 There are a number of issues that the Applicants' require to be addressed by the design:

- Poor access and lack of a front door
- External and internal levels (linked to access)
- Small kitchen
- Extremely small utility
- Lack of storage for general items and also groceries/food
- Compromised living space due to the location of the WC and Utility
- Small second and third bedrooms, the former only just being able to accommodate a double bed and the latter just accommodating a single bed - both exacerbated by the low eaves heights resulting in a lack of usable storage space
- Lack of a contained space for working from home
- The need to be able to separate the cats and dogs within the dwelling
- Lack of thermal insulation
- Little connection to the landscape beyond

5.3.2 In addition to the above requirements the existing structure provides additional complicating factors:

- Very low eaves height of the existing building in relation to the first floor level
- An existing roof truss located close to the head of the existing staircase. A design that involved removing or altering the truss would probably require the removal and replacement of the whole roof over the original dwelling.

5.3.3 As mentioned previously, the location of the existing access into the dwelling poses problems at all times, but especially during inclement weather and makes handling of large or unwieldy items brought or delivered to the dwelling particularly difficult. The Applicants' parents have all fallen at some point whilst negotiating the steps, therefore any design needs to address this issue.



Fig. 38: Computer generated view of the rear showing the proposed bridge access to the first floor level.



Fig. 39: Computer generated view of the south west elevation of Quarry Cottage showing the bridge and extension to the rear.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

5.4 Design

5.4.1 Taking the front elevation first. The unsympathetic uPVC framed conservatory is to be replaced with a purpose designed timber framed glazed structure, with a flat roof and flat roof lantern. This will act as the secondary entrance and will allow the Applicants' dogs and cats to be separated. By enlarging the openings in the existing wall it will also allow the flexibility to increase the space of the open plan kitchen and dining space and provide a connection to the landscape beyond. Furthermore, by retaining a glazed structure, enlarging the openings between the conservatory and Dining/Kitchen space and the installation of a glazed sliding door it offers the opportunity to make use of the potential for passive solar gain on that side of the dwelling, thus reducing the reliance on fossil fuels (with reference to Strategic Policy F). As such the replacement conservatory is integral to the design and not an afterthought.

5.4.2 Various configurations were sketched to address the circulation issues and a solution was arrived at that wraps new staircase around part of the existing rear wall of the dwelling and allows the internal spaces to be opened up. It allows height to be introduced at the rear and thus light to be brought into an area that is currently quite gloomy. The new entrance is at the head of the staircase shortening the circulation route enormously and bringing it inside where it is dry and safe in stark comparison to the existing route. This also avoids wasting space on internal circulation routes such as corridors.

5.4.3 At the moment the distance from the car parking area to the main bedroom door and back again is a circuitous 88m or so. With the entrance this distance is reduced to a much more direct 20m without the need to negotiate a slope, steps and a flight stairs. This immediately makes the dwelling more sustainable in the long term: that is as the occupants age there is less pressure to find alternative accommodation due to the unsuitable access.

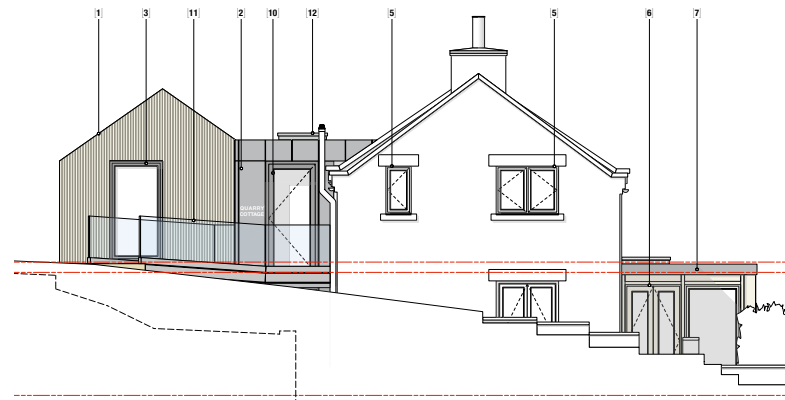


Fig. 40: Extract from PL_003 Proposed Elevations and Sections: Sheet 2 showing the south-west elevation.



Fig. 41: Computer generated view of the rear of the dwelling from the drive adjacent Bank Cottage showing the simple form of the main part of the proposed extension.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

5.4.4 The most practical and elegant way of accessing the new entrance point from the parking area is via a bridge which allows ground levels to be largely returned to their existing state with some adjustments to allow windows to provide light into the Utility and WC.

5.4.5 The form of the main part of the rear extension is inspired by a simple gabled structure pared of any adornment and clad in timber over a plinth fashioned from local stone to match the existing. The gable is orientated in on a south-west/north-east alignment in the same manner as the main house and the linking structure is kept as low as physically possible.

5.4.6 Materials have been chosen to both complement and contrast with the existing: A stone plinth for the rear extension references the older structures already on the site, a lightweight timber-clad structure over it references the agricultural buildings, a link structure clad in pre-patinated zinc to compliments the colour of the slate roof but at the same time provides a contrast. A timber framed replacement conservatory provides a modern counterpoint to the original building, and is a more considered response than the off-the shelf nature of the existing uPVC structure, using materials that are more sympathetic to those of the host building.

5.4.7 A large portion of the rear extension is lost below ground whilst views of the extension as a whole are largely limited to viewpoints within the site, as such the impact on the surrounding landscape is minimised.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings



Fig. 42: Computer generated overhead view from the north-west showing the ground floor



Fig. 43: Computer generated overhead view from the north-west showing the first floor

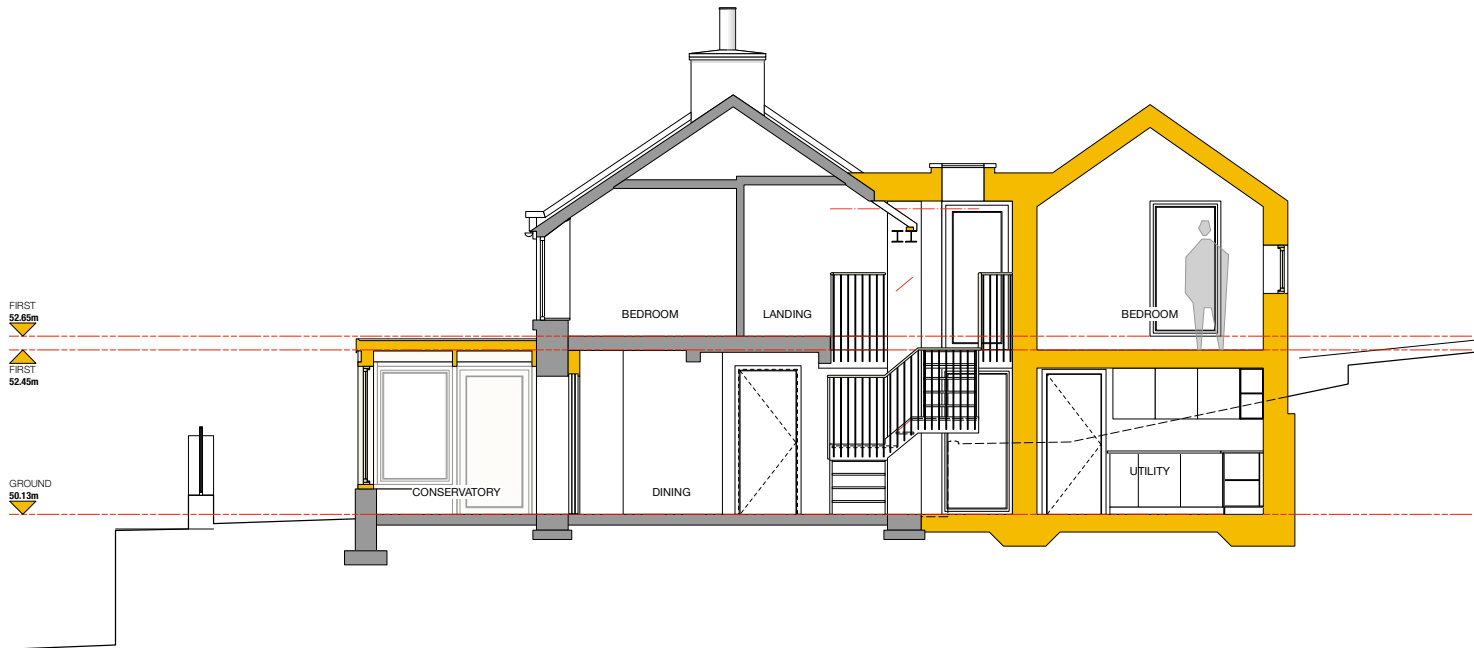
5.3 Access

5.3.1 The guidance contained in The Building Regulations 2010 Access to and use of buildings: Approved Document M, Volume 1: Dwellings applies to existing dwellings in so far as the current situation should not be made worse by any new works.

5.3.2 Approved Document M states that the requirements of M4(1) - Visitable Dwellings are mandatory in new dwellings as a basic standard however these measures do not apply to existing dwellings. At present the access comes nowhere near providing a level of provision that would be acceptable in a new dwelling and restricts the use of the dwelling by older or disabled occupants or visitors.

5.3.3 By introducing a bridge and placing the new access at the upper level the dwelling immediately becomes more sustainable for occupants in the long term.

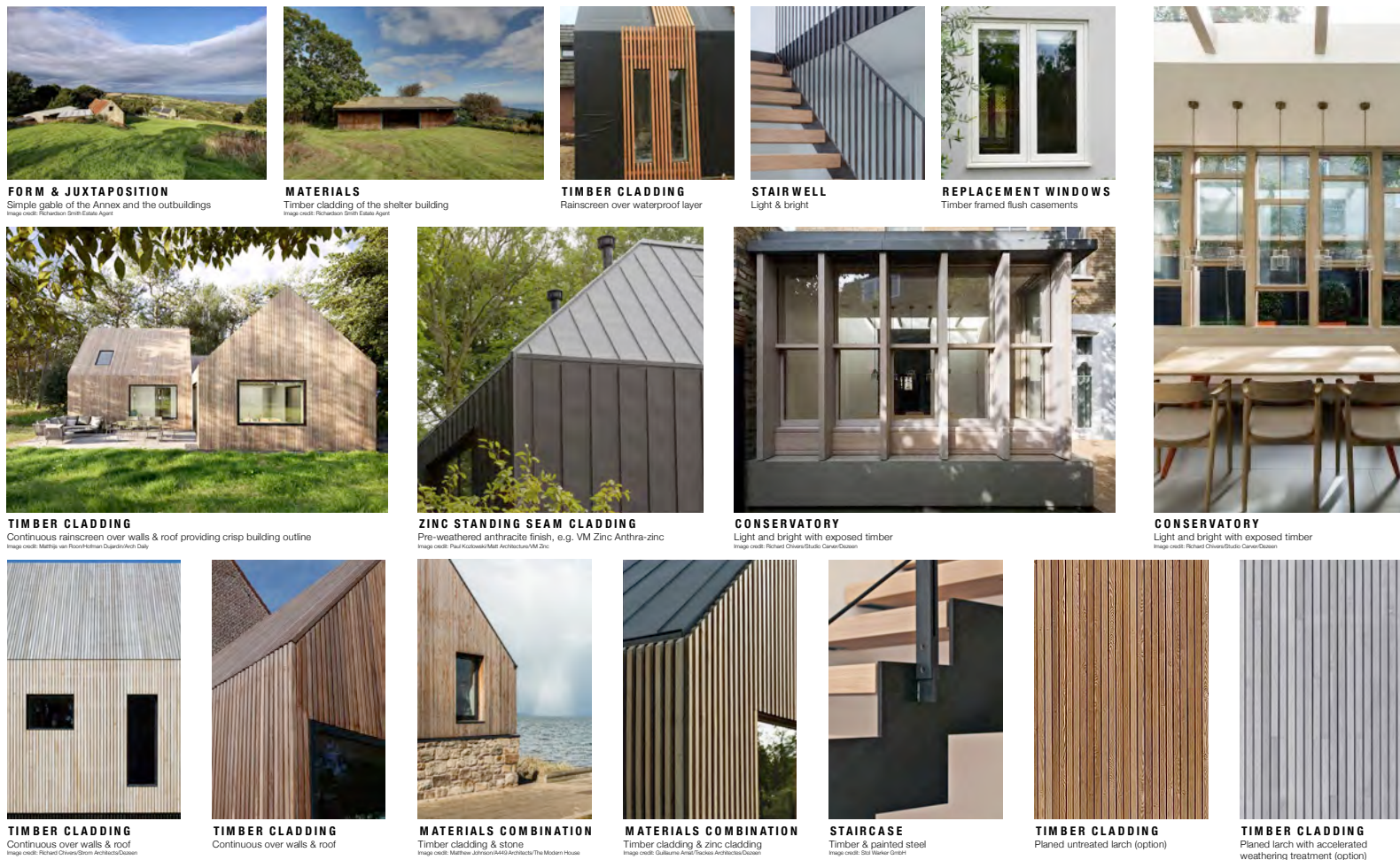
5.3.4 The access bridge is designed to have a maximum gradient of 1 in 20 with a generous flat landing outside the new entrance door.



Figs. 44: Extract from drawing PL_003 Proposed Elevations and Sections: Sheet 2 showing Section A-A

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

references

Revisions
A 17/08/23 PC Revised.

Drawing
References/Mood Board

Client
Mr & Mrs Metters

Project
**Proposed Extension & Alterations
Quarry Cottage, Raw YO22 4PP**

© Patrick Cuddy Architect
Please do not scale from this drawing.
If in doubt please ask.

Job No.
0047

Date
12/2022

Scale(s)
NOT TO SCALE

Sheet size
A3

Drawing No.
SK_005

Rev.
A

patrick cuddy architect

Town Farm House
9 High Market Place
Kirkbymoorside
York YO62 6AT

Chartered Architect
01751 269312
paddy@pcarchitect.co.uk
www.pcarchitect.co.uk

Fig. 45: Drawing SK_005_A References (not to scale), showing the references for form, materials and detailing.

5.4 Conclusion

5.4.1 This application seeks to gain permission for a householder extension to an existing dwelling.

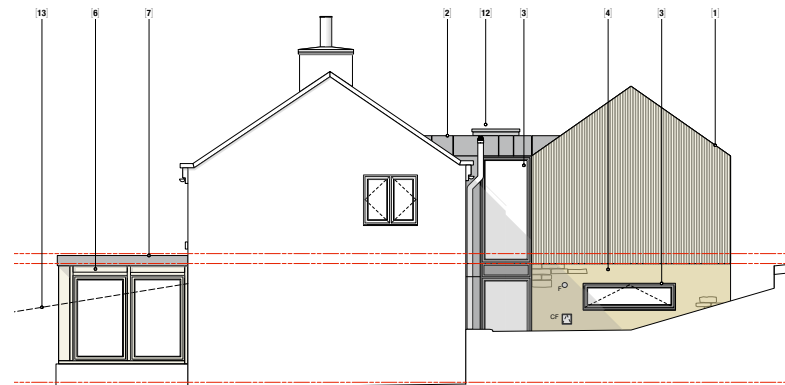
5.4.2 The Applicants have engaged in the development process through early discussions with the LPA.

5.4.3 There is no dispute that the proposals are in excess of the limit of a 30% increase in floor area set put in Local Plan Policy CO17, however the particular circumstances of the dwelling and the nature of the property as a whole do not conflict mean that the increase does not conflict with the aims behind the Policy and therefore accords with the Policy as there are compelling planning considerations.

5.4.4 The proposal will improve the sustainability of the dwelling allowing the current and future occupants to stay in the dwelling for longer.

5.4.5 The Applicants have invested heavily in the location, the locality and the property and are committed to occupying it for a long time with hopes to begin a family, alongside caring for a range of animals. The proposals would allow them to do so whilst In addition the significant improving the experience of all those who occupy or visit the dwelling.

5.4.6 In conclusion, the development respects the site, its setting and surrounding locality. In view of the above assessment the Authority is urged to support it.



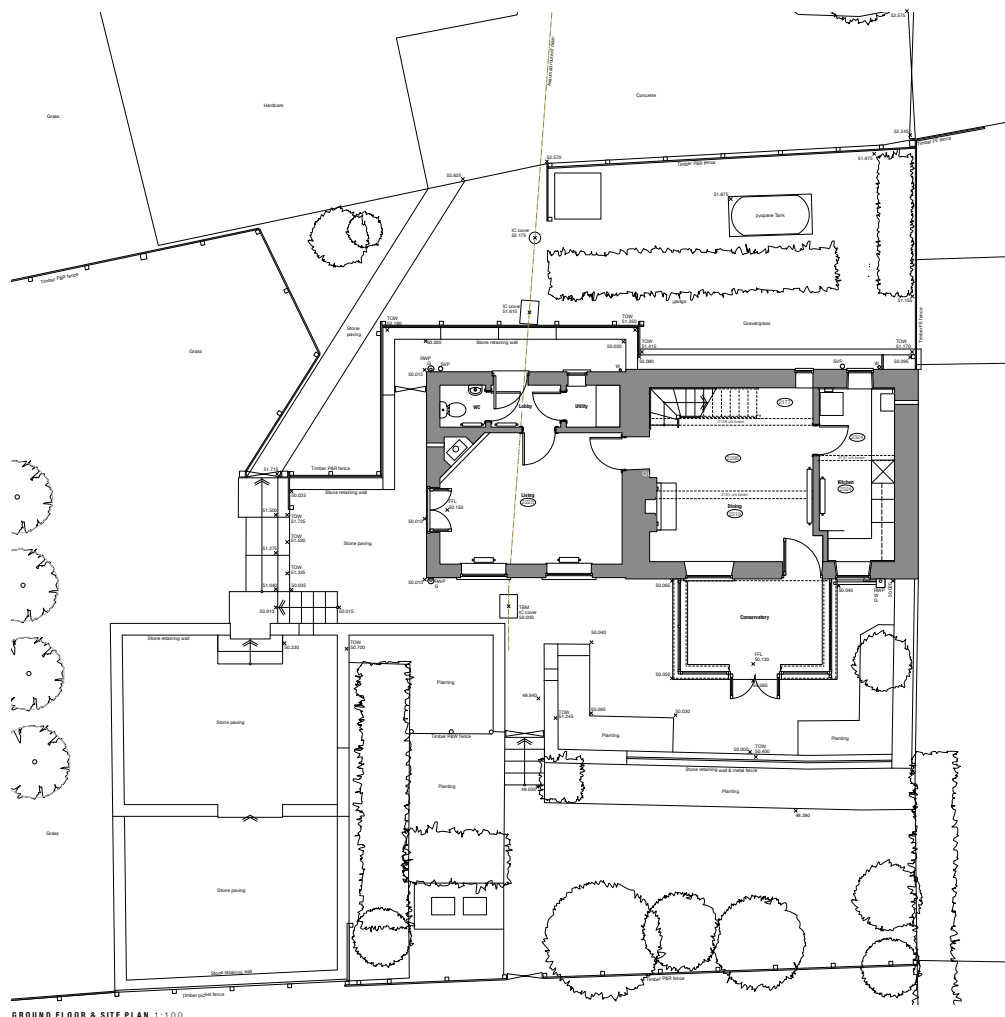
Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

Fig. 46: Extract from PL_002 Proposed Elevations and Sections: Sheet 1 showing the north-east elevation.

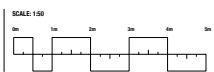


Fig. 47: Computer generated view from the garden area of Bank Cottage of the proposed replacement conservatory and extension to the rear of the Quarry Cottage.

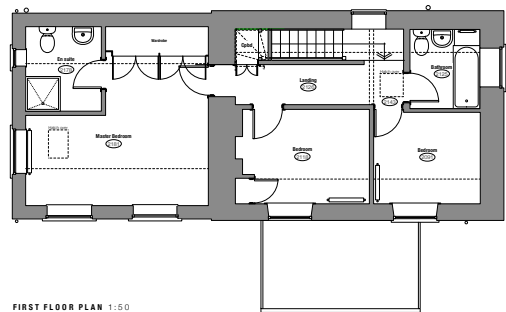
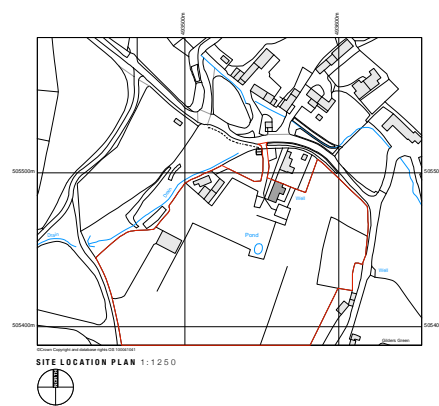


GROUND FLOOR & SITE PLAN 1:100

- NOTES:**
- 1 Site Plan based on Ordnance Survey data (source number 100041041), site dimensions and information interpolated from photographs.
 - 2 All roads shown to temporary bench mark at C.C. cover approximately 750mm to southeast of existing elevations.
- KEY:**
- Bx Boiler
 - Dr Drain or storm Run
 - E Extract vent
 - C Cavity
 - IC Inspection chamber
 - FR Firewater Reservoir
 - SWP Soil & vent pipe
 - W Waste pipe
 - FE Fender edge board fence
 - PR Post & horizontal rail fence
 - FWP Post & wire fence



existing



| | |
|---|---|
| <p>Project: EX_001_A</p> <p>Client: MI & Wo Meters</p> <p>Proposed Extension & Alterations</p> <p>Query College, New 1022 474</p> | <p>Scale: 1:200 / 1:50</p> <p>Date: 09/2021</p> <p>Sheet No: A1</p> <p>Quantity: EX_001</p> |
|---|---|

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

Fig. 48: EX_001_A Existing Plans (not to scale)



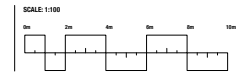
Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

(Plan based on Ordnance Survey data (source: 10001041) site dimensions and location interpolated from photographs. Note: walls to landscape fence mark at C or approximately 750mm to southeast of ring extension.

KEY:

- BP Boiler
- B/B Boiler or stove flue
- V Extract vent
- Q Gully
- IC Inspection chamber
- IMP Rainwater downpipe
- SVP Soil & vent pipe
- W Waste pipe
- FE Feather edged board fence
- PH Post & horizontal rail fence
- PF Post & wire fence



existing



| | | | |
|-----------------|--------------------------------|-------------|------------------|
| Project Name | Existing Elevations & Sections | Client | Mr & Mrs Metters |
| Project Address | Quarry Cottage, Lane 1022, 67P | Project No. | 0407 |
| Project Date | 09/2021 | Scale | 1:100 |
| Project No. | 0407 | Sheet No. | A1 |
| Project Name | Existing Elevations & Sections | Client | Mr & Mrs Metters |
| Project Address | Quarry Cottage, Lane 1022, 67P | Project No. | 0407 |
| Project Date | 09/2021 | Scale | 1:100 |
| Project No. | 0407 | Sheet No. | A1 |

Fig. 49: EX_002 Existing Elevations and Sections (not to scale)

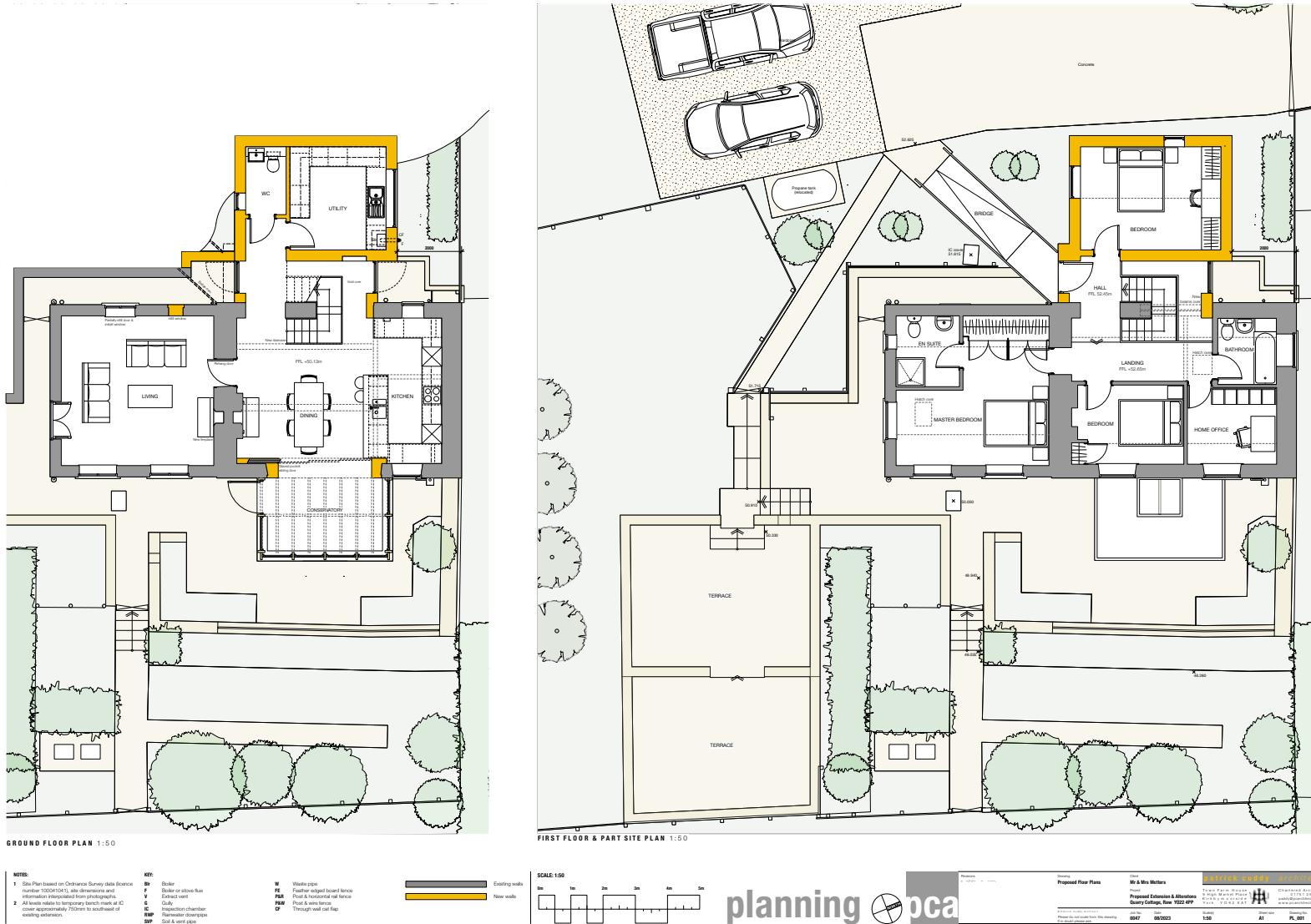
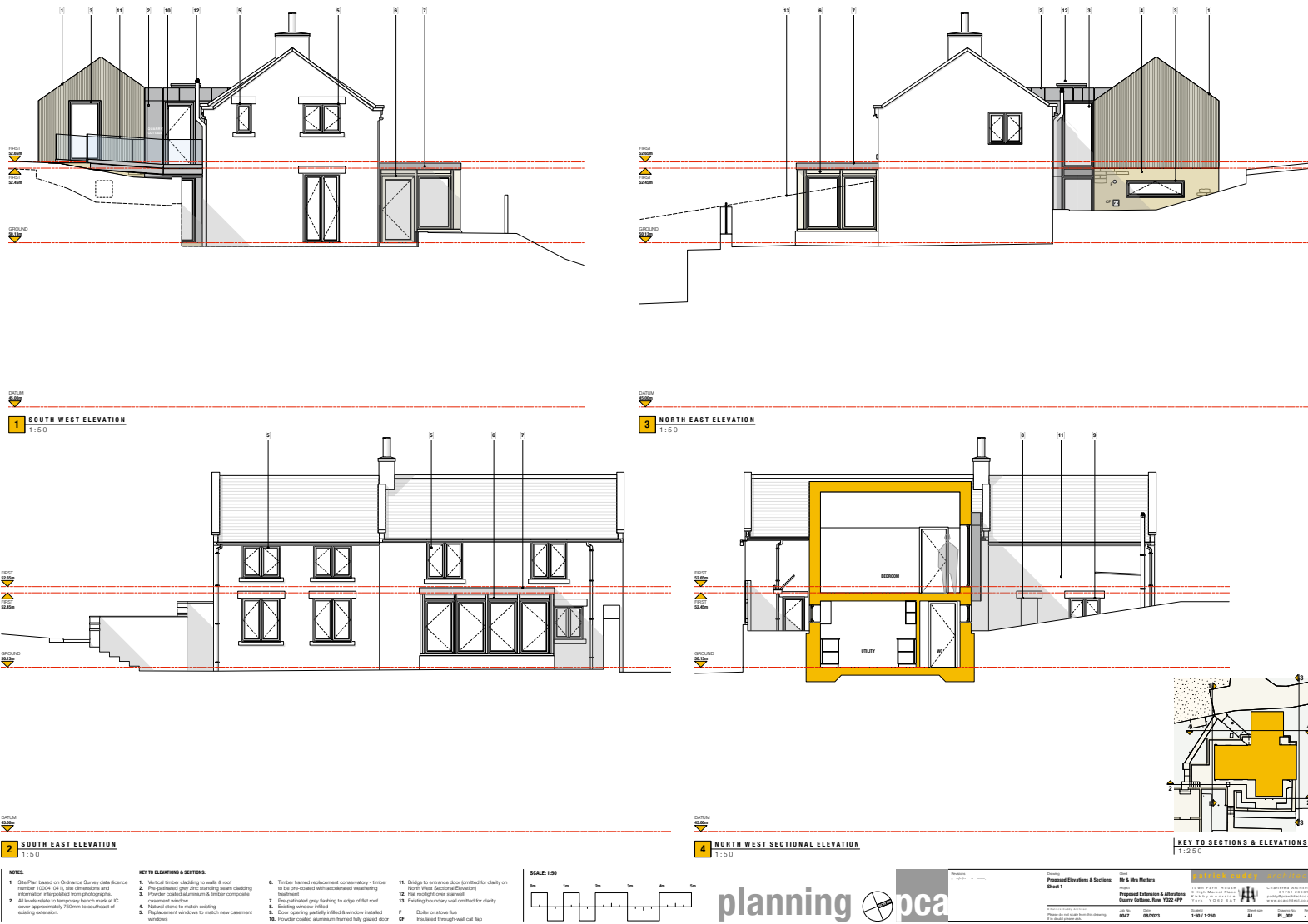


Fig. 50: PL_001 Proposed Plans (not to scale)

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

Fig. 51: PL_002 Proposed Elevations and Sections: Sheet 1 (not to scale)



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

Fig. 52: PL_003 Proposed Elevations and Sections: Sheet 2 (not to scale)



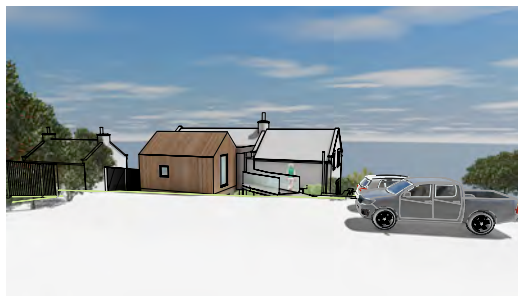
01 SKETCH VIEW LOOKING SOUTH N.T.S.
From the drive towards Quarry Cottage



02 SKETCH VIEW LOOKING EAST N.T.S.
From parking area towards new entrance



03 SKETCH VIEW LOOKING NORTH N.T.S.
From steps towards the south west elevation



04 SKETCH VIEW LOOKING EAST N.T.S.
From field towards the north west elevation



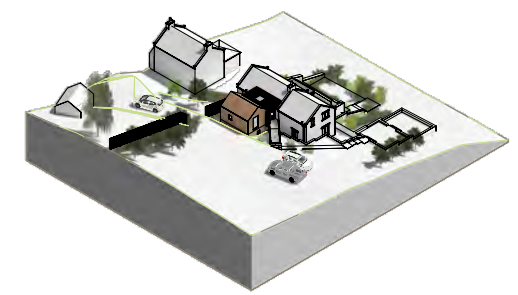
05 SKETCH VIEW LOOKING NORTH N.T.S.
From field towards the south west elevation



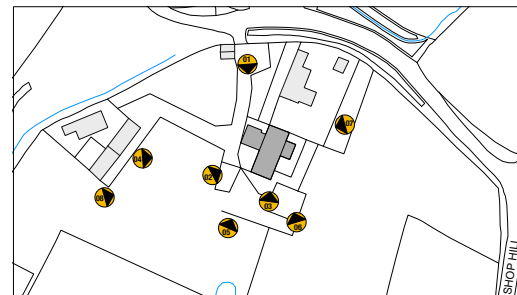
06 SKETCH VIEW LOOKING NORTH N.T.S.
From the terrace towards the south west corner



07 SKETCH VIEW LOOKING NORTH WEST N.T.S.
From neighbouring property towards Quarry Cottage

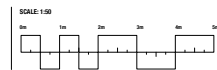


08 ISOMETRIC VIEW LOOKING SOUTH EAST N.T.S.
Towards Quarry Cottage with Bark Cottage to the left



KEY SKETCH VIEW LOCATIONS 1:500
Views 1-8

NOTES:



planning opa

| | |
|-------------|---|
| Client | Mr & Mrs Maters |
| Project | Proposed Extension & Alteration Quarry Cottage, New 1022-474 |
| Project No. | 0047 |
| Date | 09/2023 |
| Scale | 1:50 / 1:200 |
| Sheet No. | A1 |
| Drawing No. | PL_004 |

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

Fig. 53: PL_004 Proposed Sketch Images (not to scale)