

Design statement

NYMNP

26/09/2023

15 September 2023

NYM/2023/0590

Agricultural building, Inglegarth, Aislaby, YO21 1SZ

Introduction.

My wife and I are moving into Inglegarth later this year. At this time, we will take on management of 12 acres of grazing land that was farmed by my wife's late father for many years. The land is currently being used by a local farmer, on a short-term agreement, for grazing sheep. My wife and I may continue to keep sheep albeit on a smaller scale. Our initial plan for the land is to restore the stone wall boundaries, plant trees and encourage some rewilding. We have already progressed our plan with NYMNP's help. There are no buildings, stores or shelters currently associated with any of our land.

Building purpose.

Intended use of the building is an equipment store and workshop. The type of equipment to be stored is that which is needed to manage 12 acres of grazing land and associated boundaries. For example, a small tractor or farm quad, trailer, topper etc. There will be no livestock kept in the building.

Location.

The proposed building location is adjacent to Inglegarth on an area of level ground which used to be a spoil heap. The heap stood nearly as high as the house. The site location along with the lie of the land lends itself to concealing the proposed building which will not be seen from public roads or paths and only visible from the rear of one neighbouring property.

Building style.

A traditional Yorkshire style building of good proportion to the surrounding area as well as the adjacent property.



Supporting Agricultural Information

Applicants are encouraged to complete the following as this will enable the Authority to speed up the processing of your notification/application. The purpose of this form is to provide basic information on the farm system to help assess the need and appropriateness of agricultural buildings within the National Park.

Application Reference: NYM/2023/0590

Site Address: INGLEGARTH, HIGH CRAGWELL, AISLABY, YO21 1SZ

Applicant Name: JAMES ROBSON

Livestock Numbers

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Cattle

| | Average number throughout the year | Additional information |
|-------------------------------------|------------------------------------|------------------------|
| Dairy Cows/Breeding Bulls | n/a | |
| Suckler Cows/Heifers over 24 months | n/a | |
| Followers (6 to 24 months) | n/a | |

Sheep

| | Average number throughout the year | Additional information |
|---|------------------------------------|--|
| Breeding Ewes/Tups | not known | The land is currently used by a local farmer. There are a lot of sheep on much of the land for most of the year. |
| Replacement Ewe Lambs/Finishing Store Lambs | not known | |

Pigs

| | Average number throughout the year | Additional information |
|------------|------------------------------------|------------------------|
| Sows/Boars | n/a | |
| Weaners | n/a | |

Continued.../

Others

| | Average number throughout the year | Additional information |
|------------------------------|------------------------------------|------------------------|
| Other Livestock, i.e. Horses | n/a | |

Land

| | Area in Hectares | Additional information |
|------------------------------------|------------------|------------------------|
| Size of Holding | 4.85 | |
| Available Grazing Land | 0 | |
| Arable Lane | 0 | |
| Moorland | 0 | |
| Grazing Land on Short Term Tenancy | 4.85 | |

Agricultural Buildings

| List main existing agricultural buildings and use | Approximate dimensions in metres | Is it a modern or traditional building? |
|---|----------------------------------|---|
| 1. There are no agricultural buildings, storage or shelters with this land. I understand the tenant uses a building on adjacent land. | | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |
| 8. | | |

| Proposed building(s) and use | Dimensions in metres |
|---------------------------------|----------------------|
| 1. Equipment store and workshop | 10m x 7m |
| 2. | |

Please Note: It would be helpful if you could attach a sketched block plan annotating which building is which as referred to above.

Please detail below how the farming operation on site may change as a result of the proposal i.e. increase in stock levels or justification for the use of the new building.

Potential decrease in the number sheep grazing. The land will be divided into original boundaries and used for some sheep (numbers not known but reduced), significant tree planting and rewilding. Overall visual enhancement of the area within our control.

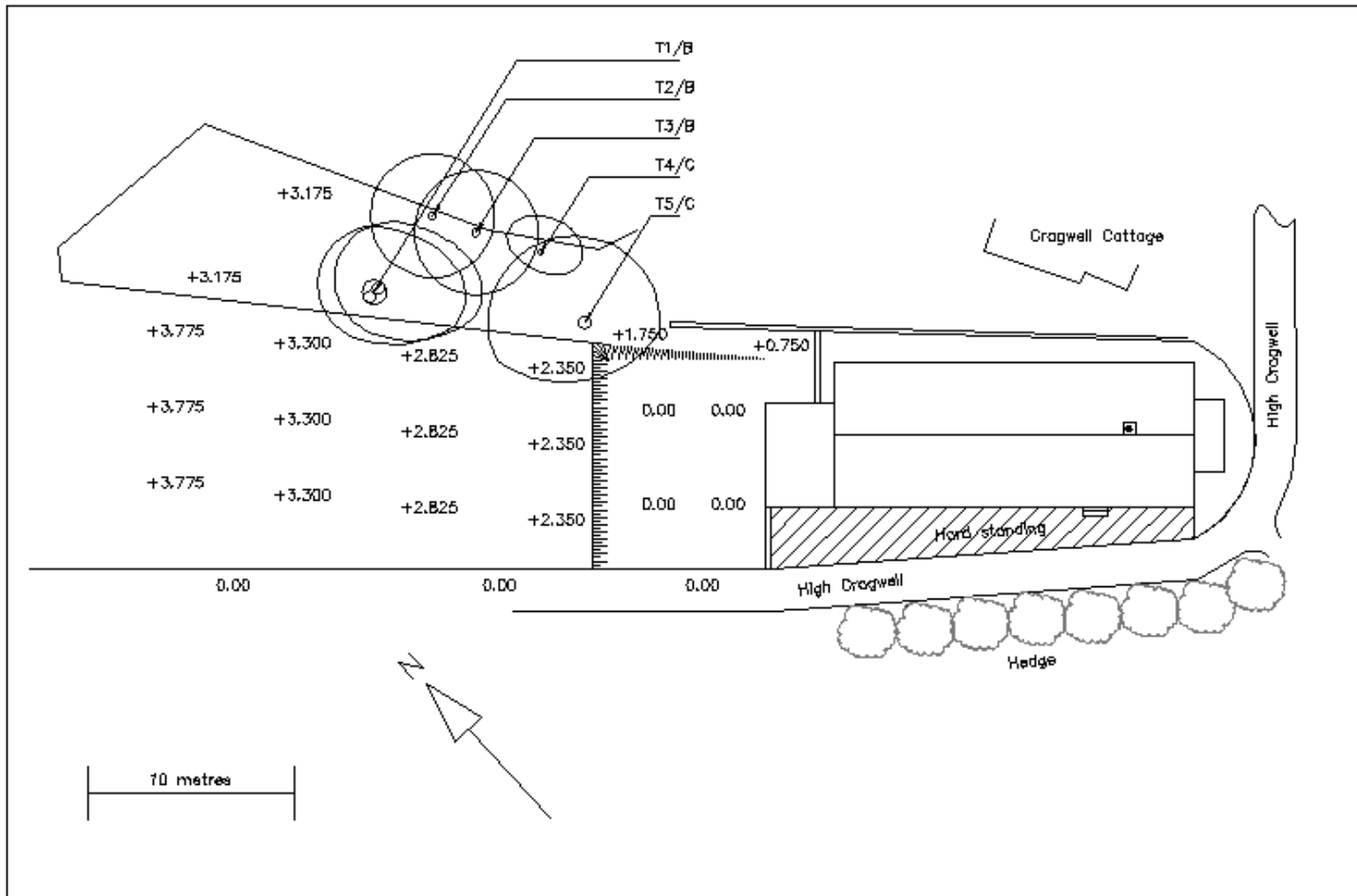
Tree survey NYM2023/0590

NYMNP A

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23/09/2023 - Inglegarth, High Cragwell, Aislaby YO21 1SZ.

The plan below shows trees T1 to T5 along with their respective categories. The trees are on Cragwell Cottages land, planted on higher ground, north of the proposed site. The site area is shown at level 0.00. Elevations are in metres.



Tree survey NYM2023/0590

Tree schedule

| Ref | Cat | Species common | Species scientific | Height in meters | Diameter at 1500mm | Average crown spread in metres | Crown clearance above ground in metres | Age class | Condition physical | Condition structural | Management recommendations | Estimated contribution |
|-----|-----|----------------|--------------------|------------------|--------------------|--------------------------------|--|-------------|--------------------|---|---|------------------------|
| T1 | B | Wild cherry | Prunus avlum | 11 | 300/300 | 7 | 3 | Mature | Fair | Double stemmed from <1m. | None | 20 |
| T2 | B | Scots pine | Pinus sylvestris | 15 | 380 | 6 | 12 | Middle aged | Good | Good | None | 40 |
| T3 | B | Scots pine | Pinus sylvestris | 15 | 380 | 6 | 12 | Middle aged | Good | Good | None | 40 |
| T4 | C | Silver birch | Betula pendula | 12 | 260 | 3.5 | 4 | Middle aged | Poor | Poor growth | Over shadowed by other trees. | 10 |
| T5 | C | Beech | Fagus sylvatica | 17 | 600 | 7,5 | 4 | Middle aged | Fair | Not growing vertically because of location i.e. growing on the side of a spoil heap. Stunted growth with regard to age and stem diameter. | T5 will eventually outgrow its location and then require removal. Crown reduction may help reduce mechanical stress and enable the tree to remain longer. | 10 |

Tree survey NYM2023/0590

Tree constraints

Trees T1 to T5 are on the north side of the proposed site. T5 is the only tree considered a potential constraint to the development in that it may dominate the proposed building, given its already elevated position adjacent to the site. However, T5 is likely to eventually outgrow its location given that it is planted on the edge of a spoil heap.

Tree protection plan

The proposed construction work will not affect trees T1 to T5 in any way. The trees are in an elevated position away from all works.

Tree care

There are no proposals to remove any trees as part of this application. Long term, T5 may benefit from crown reduction and thinning to prevent it outgrowing its space / location.

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04/09/2023

