NYMNPA

29/09/2023

8 Elm Grove, Robin Hoods Bay, Whitby, YO22 4RB

© Crown copyright and database rights 2023 OS 100054135. Map area bounded by: 495049,505477 495249,505677. Produced on 29 September 2023 from the OS National Geographic Database. Supplied by UKPlanningMaps.com. Unique plan reference: p4e/uk/1007595/1359201

NYMNPA

21/09/2023

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

Job Title

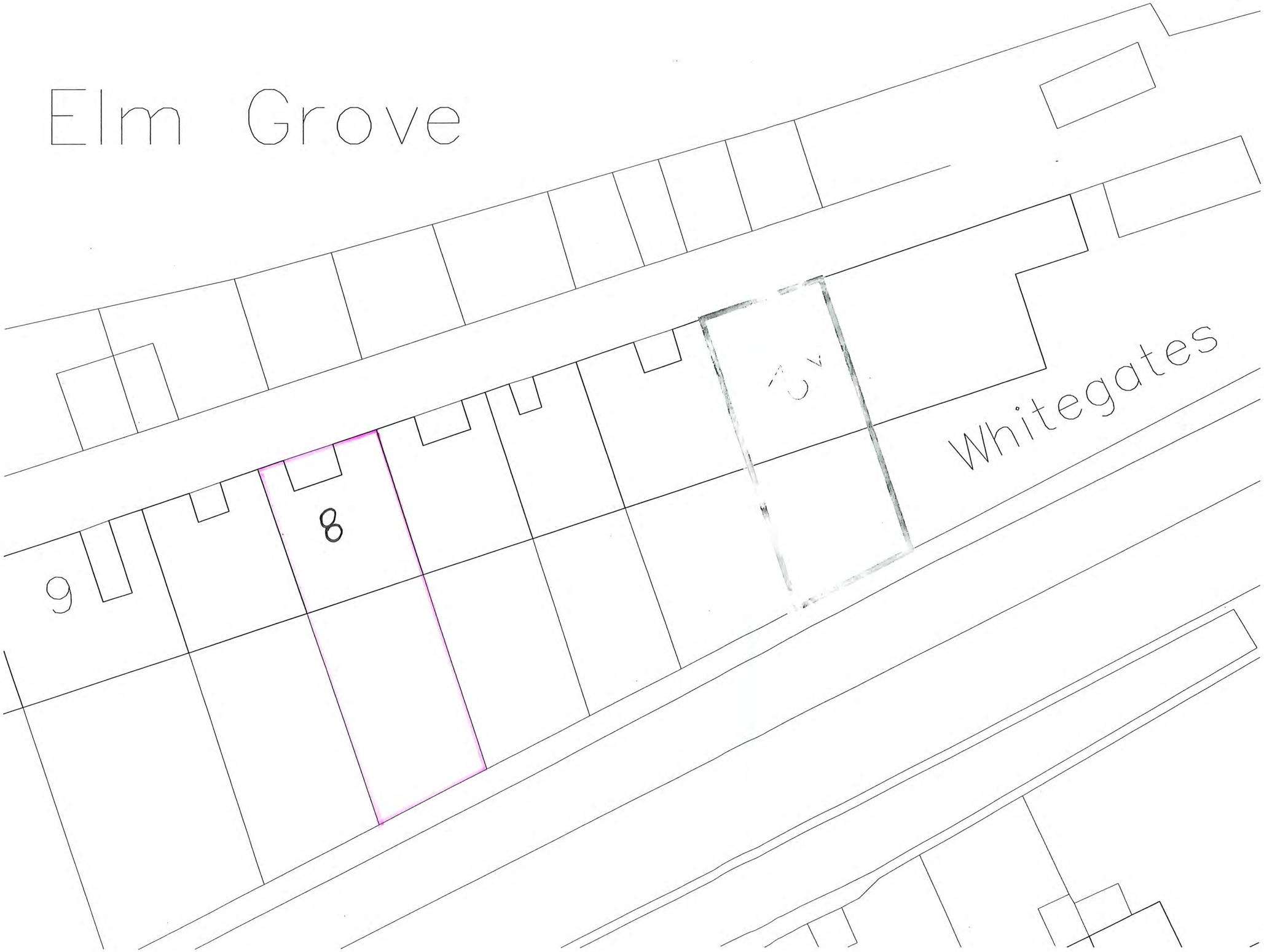
8 ELM GROVE
ROBIN HOODS BAY

Drawn By	Date	Checked	Date	Scale	Paper
LMS	Aug 23	GS		1:1000	A3

Drawing Title

EXISTING LOCATION PLAN

Job Number	Drawing Number	Rev
8EG	8EG-SR - 01	



NYMNPA

21/09/2023

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

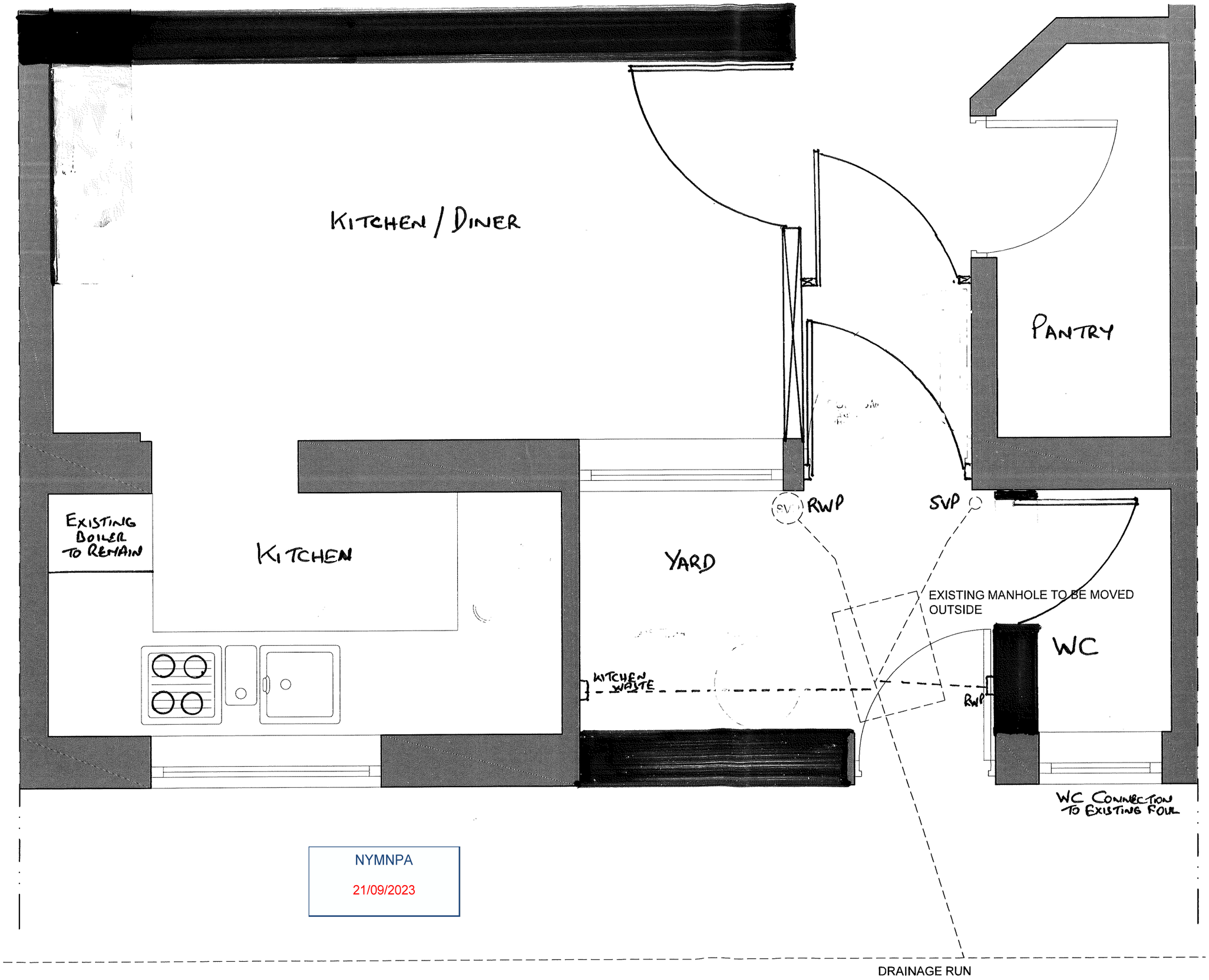
Job Title

8 ELM GROVE
ROBIN HOODS BAY

Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:200	A3

Drawing Title
EXISTING SITE PLAN

Job Number	Drawing Number	Rev
8EG	8EG - BR - 02	



NYMNPA

21/09/2023

GENERAL NOTES

Area of new windows, roof windows and doors comply with BUILDING REGULATIONS PART L1B: Section 1

Fire protection shall comply with current Building Regulations and requirements of the Fire Officer.

Potential pathways or voids for drawing air leakage must be avoided. All openings must be sealed with expanding insulating foam to seal to the pipe or frame prior to mastic pointing.

PROTECTION

Steel All structural steel work must be treated to provide protection from adverse effects of corrosion for a minimum period of 60 years in accordance with the recommendations of C.P.2003 for hot rolled sections. Light gauge steel sections shall be protected in accordance with the recommendations of DD24.

Timber All structural timber shall, in relation to its position and function, be able to resist the adverse effects of decay. All structural timber shall be protected by a wood preservative method which shall comply with the requirements of BDCP98 (1964). All structural timber to be so treated shall be cut to its final dimensions before treatment, as far as this is possible. Timber treated with preservative is to be obtained from authorised processors of such treatments and used in strict accordance with their recommendations. All structural timber is to be clearly marked as 'DRY' or 'KD'.

All cutting, boring or notching work carried out after impregnation shall be treated with a brush applied preservative concentrate of similar composition to that employed for the original impregnations.

MATERIALS AND WORKMANSHIP

Contractor to ensure that materials which include products, components, fittings, natural materials, items of equipment and other items in connection with building work, are of a suitable nature and quality in relation to the purpose and conditions of their use, and are adequately mixed or prepared, and applied used or fixed so as to perform adequately the functions for which they are intended.

Workmanship to comply with BS 8000: Workmanship on Building Sites.

Provide adequate notice of commencement of the proposed works to Building Control and all necessary Statutory Authorities, at the required stages of inspection.

Position of all existing boundaries, walls, drains etc. (particularly in relation to the building) to be checked on site before start of any construction or ordering of any materials.

Provide samples of all external materials requested for approval before works commence.

FOUNDATIONS

Not withstanding the representation on drawings foundations to comply with Building Regulations. Sizes, depths and construction shown for foundations, floor slab and hardcore are minimum required for normal ground and should be adjusted to suit conditions when excavations made. Any representations made are superseded by any applicable Consultant Engineers calculations and details. All load-bearing partitions similarly founded.

Foundations to Reg. A1/A2, minimum 600 wide and 200 thick, 21 N/sqmm concrete.

UPPER FLOORS

Upper floors are to be retained. Any replacement timber to be specified by the Project Engineer

Extent and location of all drilling and notches must be agreed with the project engineer, and be within the limitations stipulated with the Building Regulations Approved Document A. Depth of notches are to generally be no greater than 0.125 of the depth of the joist, and distance from the end bearing of the joist should be between 0.1 and 0.2 of the span. Drilling is to generally be no greater than 0.25 of the depth of the joist, and distance from the end bearing of the joist should be between 0.25 and 0.4 of the span.

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

Job Title

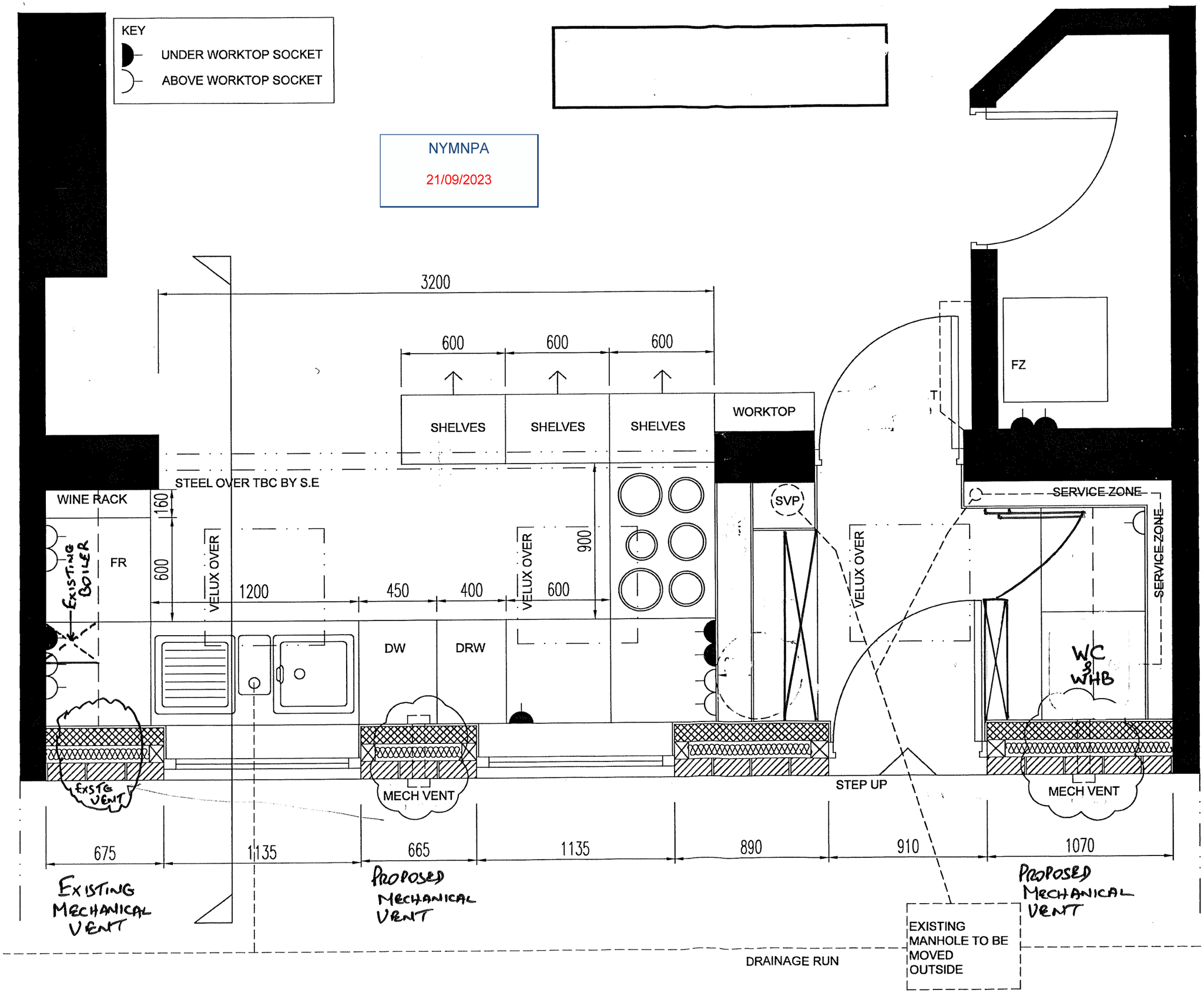
8 ELM GROVE

Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:20	A3

Drawing Title

EXISTING DETAILED GROUND FLOOR PLAN

Job Number	Drawing Number	Rev
8EG	8EG - BR - 07	



WALL CONSTRUCTION GUIDANCE

Cavity to be closed at eaves, jamb and cill with vertical insulating thermal cavity closer / dpc positioned in cavity prior to installation of window frame.

150mm wide vertical dpc's should be nailed to the full height of frames and should protrude into the cavity by 25mm and extend up to the underside of the lintel where it should be turned back towards the inner leaf.

150mm wide vertical dpc's to all jambs of external openings in cavity walls linked to horizontal dpc's. Vertical dpc's to be taken to outer face of joinery and mastic pointed.

At cills dpc to be placed between cill and the outer leaf, turned up the back and ends of the cill.

Ruberoid Hyload damp proof course system to BS 6398 1983 or equal approved.Horizontal damp proof course minimum 150mm above finished ground level, linked to dpm.

Dorman Long or Catnic lintels or equal to suit all openings. All lintels to be installed in accordance with the manufacturers recommendations, to be correct size and have correct bearing at each end.

Cavity tray provided over openings where appropriate protection not provided as integral part of lintel. Dpc cavity tray over external lintels should extend 150mm beyond the end of the lintel with a minimum 140mm total rise in cavity tray. Stop ends to all cavity trays with weep holes provided at maximum 450mm intervals. (min. 2 weep holes per opening). Cavity trays also to be provided where the cavity is bridged by air bricks and over meter boxes.

Provide a cavity tray and flashing within the rear wall over the bay window and stepped cavity tray to wall Bedroom 1 adjacent dormer.

WINDOWS

Windows shall either be Kitemarked or have independent BBA approval, and be fully weather stripped for severe exposure.

Windows are to be supplied pre-glazed. All units shall be double-glazed, with internal beading. Double-glazed units shall be of the 'dual-seal' type with min. 16 mm air gap, one pane to be Pilkington K glass or equal approved manufactured to the current British Standard relating to such units and marked with the British Standard reference.

Windows shall be fitted with a locking system and supplementary ironmongery to satisfy the requirements of Secured by Design. A night vent keep is required.

All Glazed panels below 600mm from the finished floor level in safety glass in accordance with BS 6206. Finised floor level and 1500mm above that level in a door or in a side panel, close to either edge of the door, to be in safety glass in accordance with BS 6206. All new windows to achieve min 'U' value of 1.6W/m2K. 4-16-4 Pilkington K Glass double glazed units.

All windows shall be fitted with adjustable trickle ventilation, sized to meet Building Regulations, and fitted as the system manufacturer's recommendations. Trickle vents to be min. 1750 mm above floor level, having a area not less than 8000 sq mm.

FIRE ALARMS, EQUIPMENT AND SMOKE DETECTION

Provide heat detectors to Kitchens as necessary.

All equipment should be tested in accordance with the local Fire/Building Control Officer's requirements and certification provided.

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

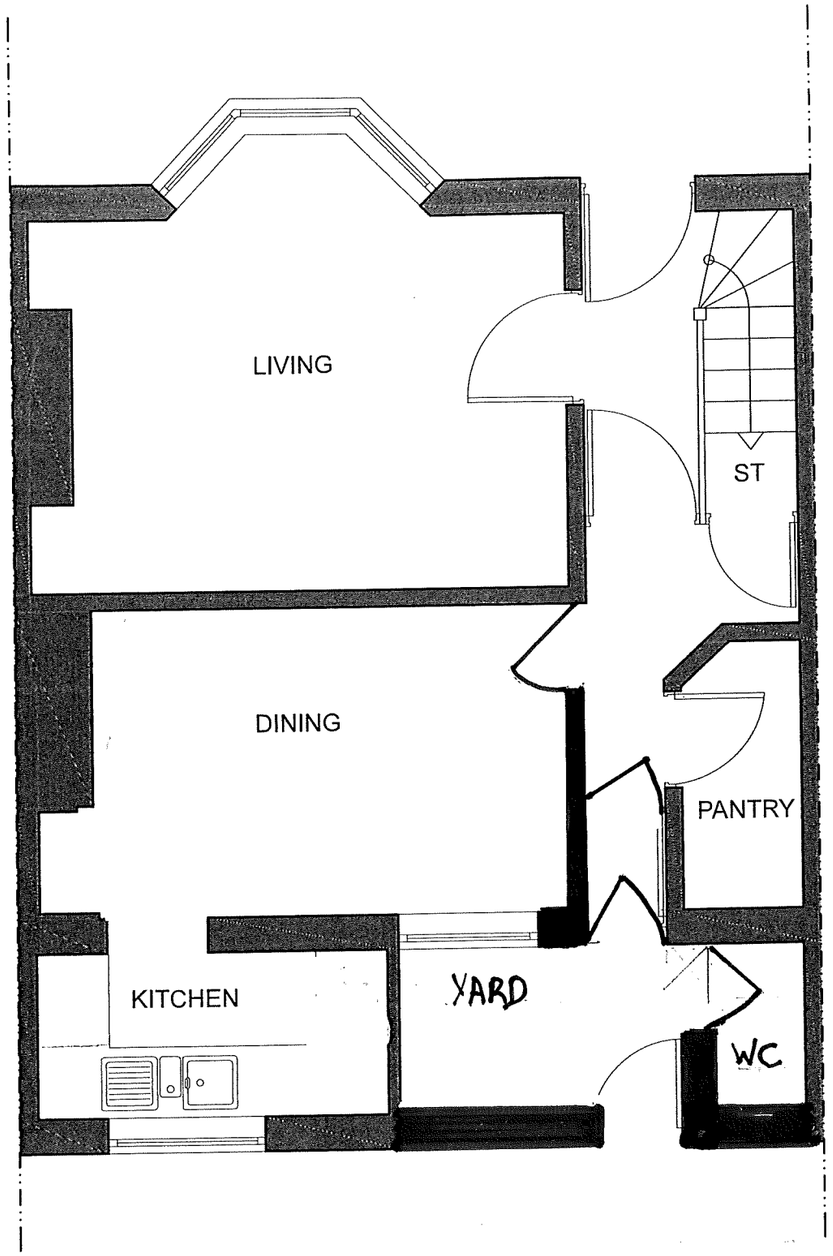
Job Title

8 ELM GROVE
ROBIN HOODS BAY

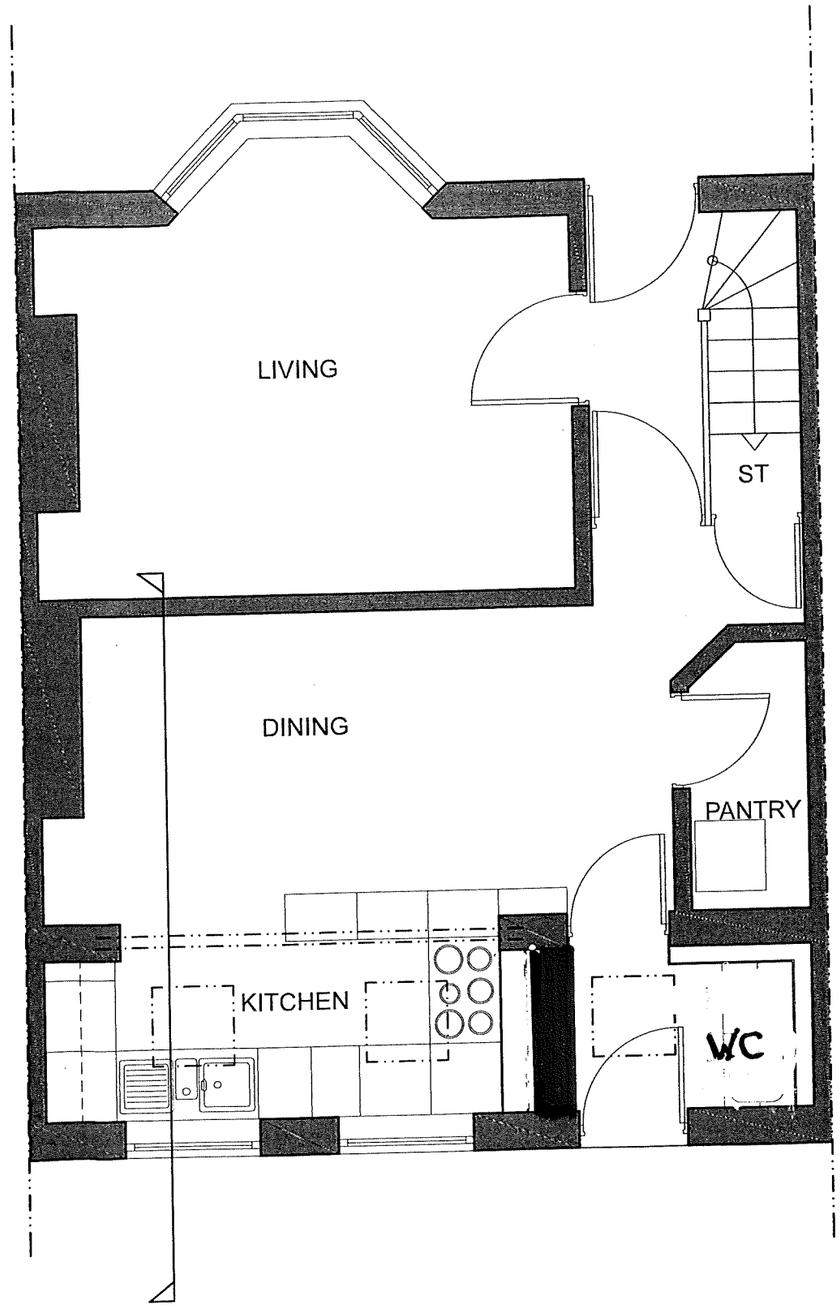
Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:20	A3

Drawing Title
PROPOSED DETAILED GROUND FLOOR PLAN

Job Number	Drawing Number	Rev
8EG	8EG - BR - 08	



EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

NYMNPA

21/09/2023

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

Job Title

8 ELM GROVE
ROBIN HOODS BAY

Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:50	A3

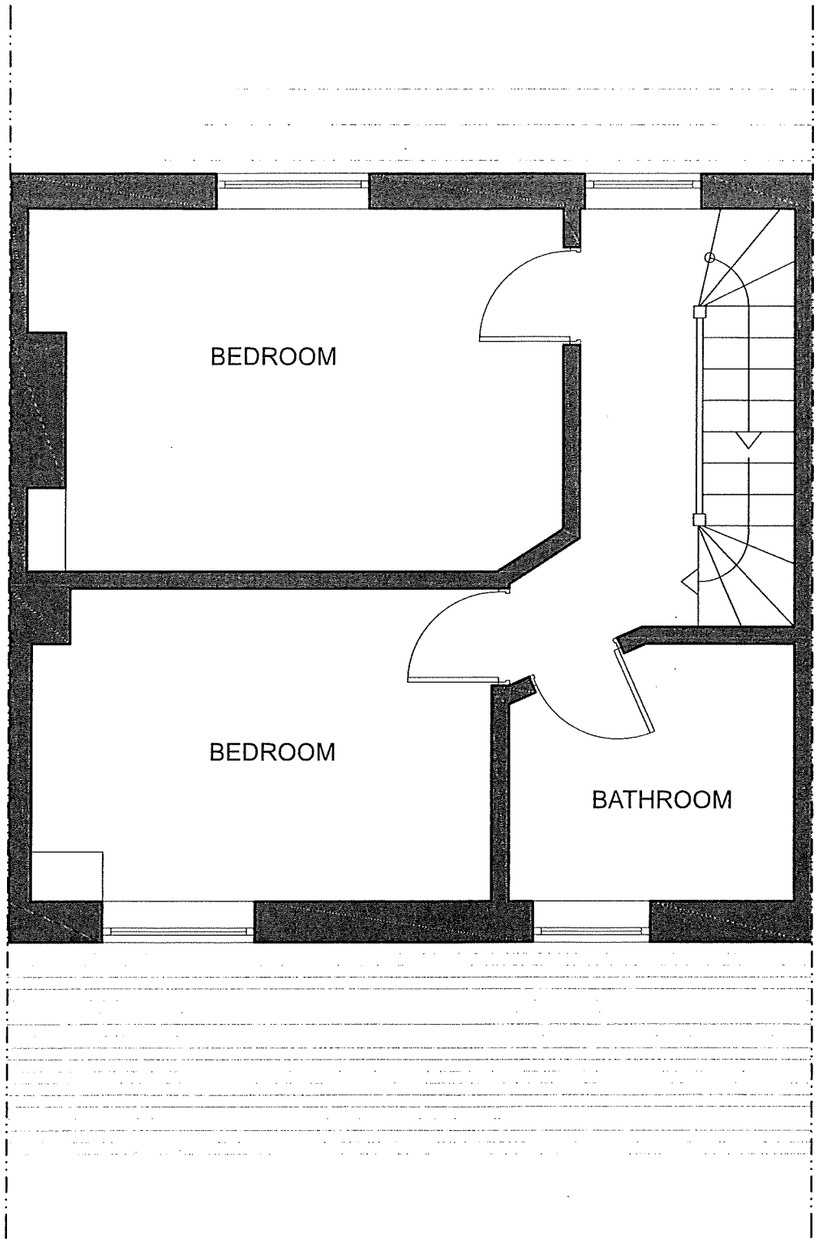
Drawing Title

EXISTING AND PROPOSED GROUND FLOOR PLAN

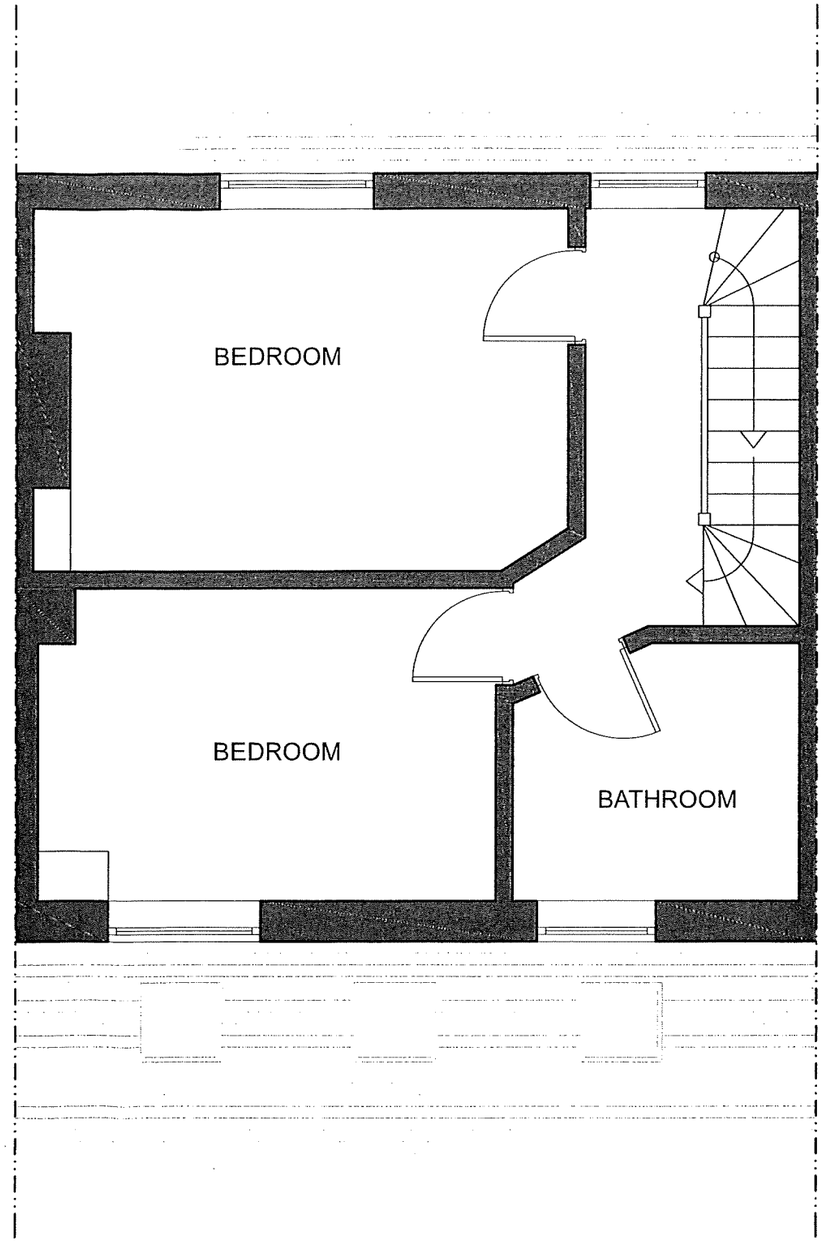
Job Number	Drawing Number	Rev
8EG	8EG - BR - 03	

NYMNPA

21/09/2023



EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

Job Title

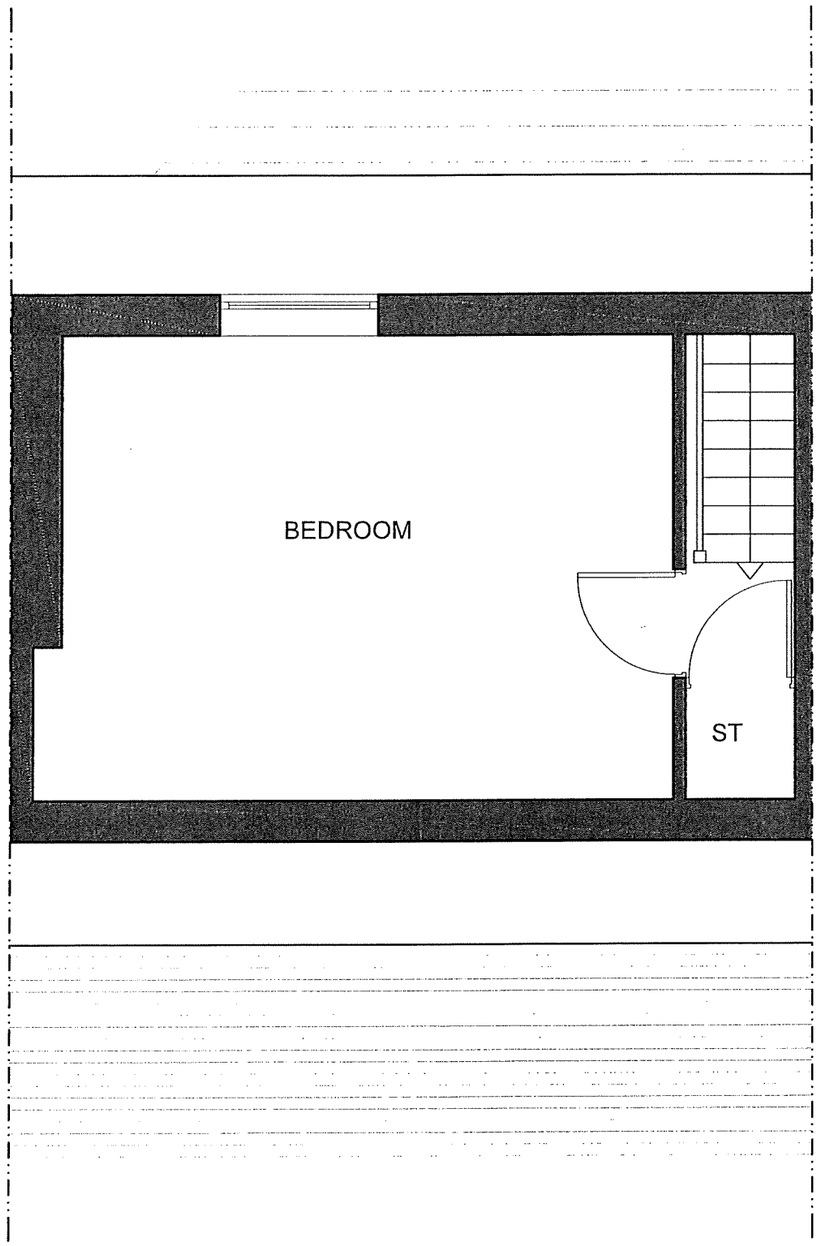
8 ELM GROVE
ROBIN HOODS BAY

Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:50	A3

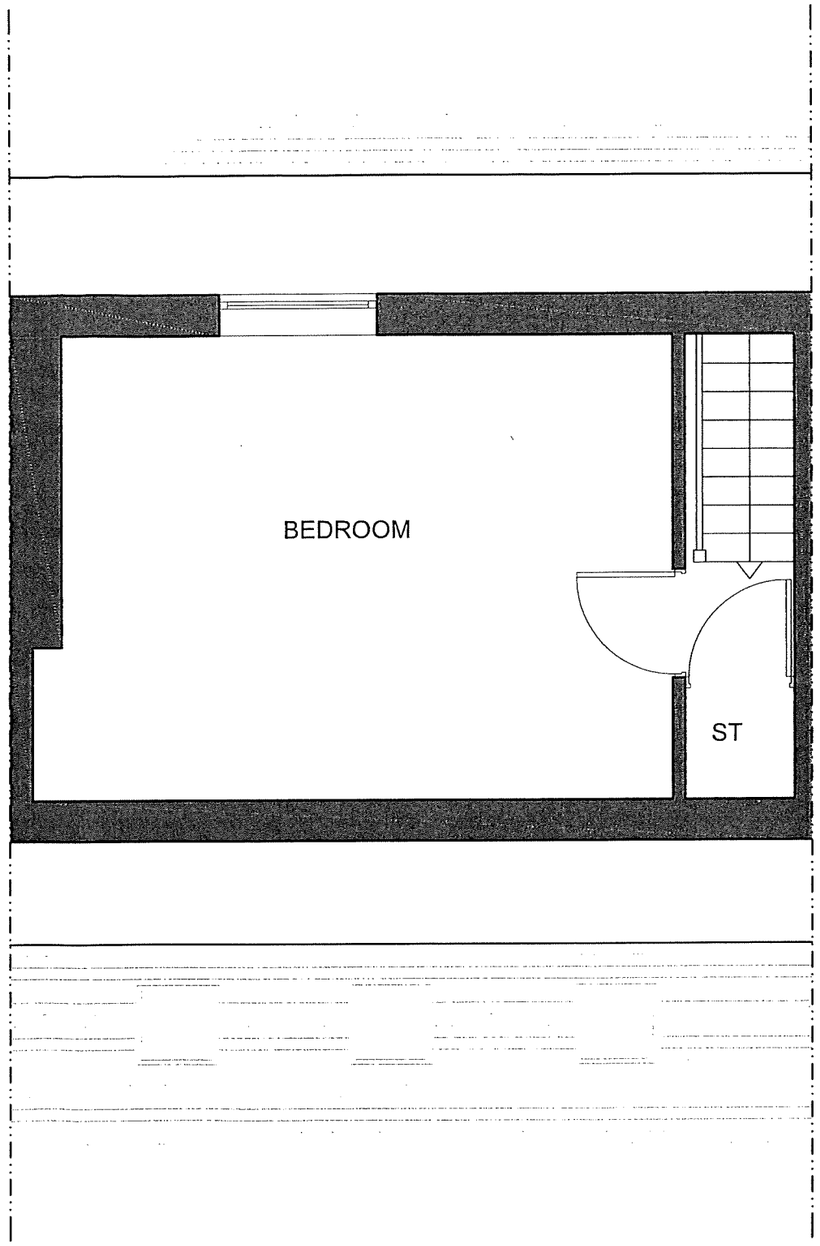
Drawing Title

EXISTING AND PROPOSED FIRST FLOOR PLAN

Job Number	Drawing Number	Rev
8EG	8EG - BR - 04	



EXISTING SECOND FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

NYMNPA

21/09/2023

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

Job Title

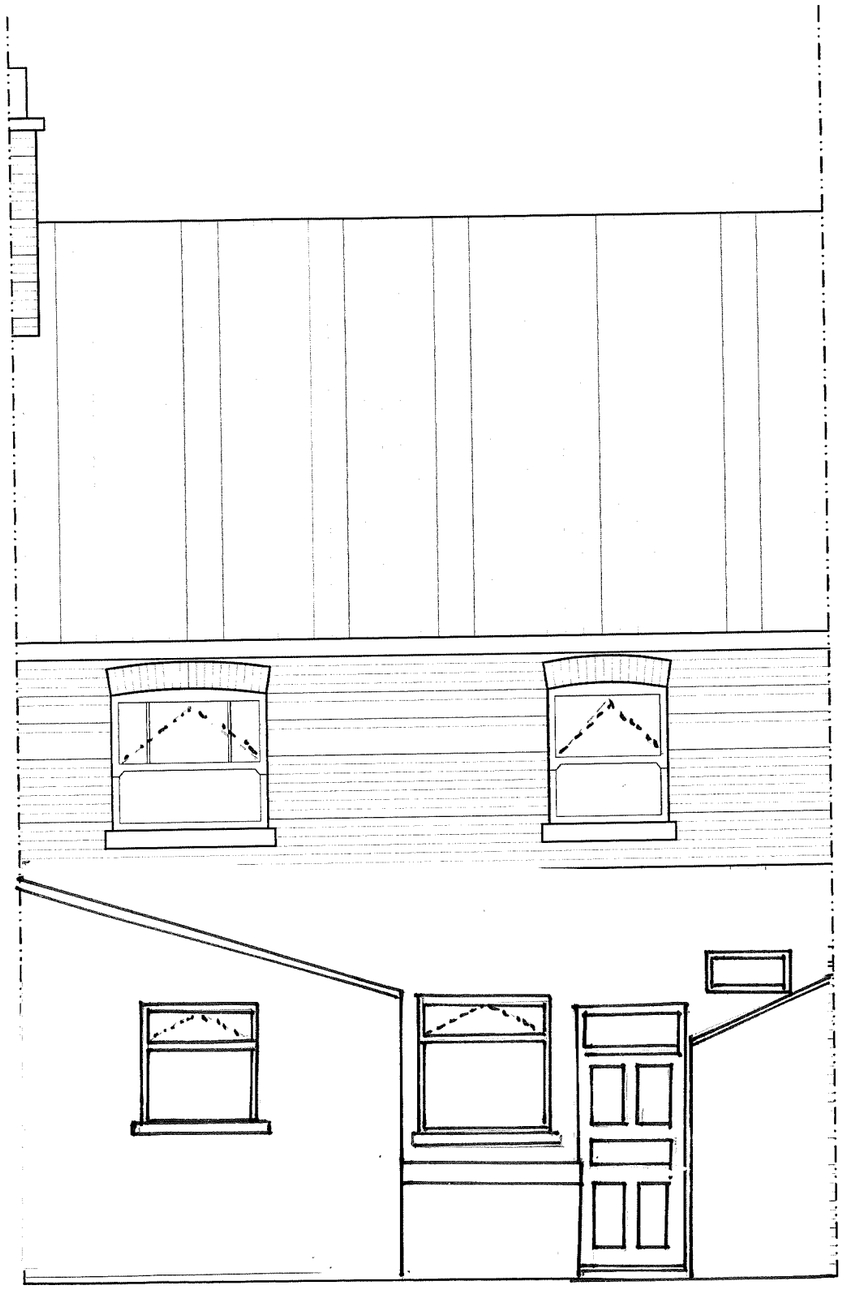
8 ELM GROVE
ROBIN HOODS BAY

Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:50	A3

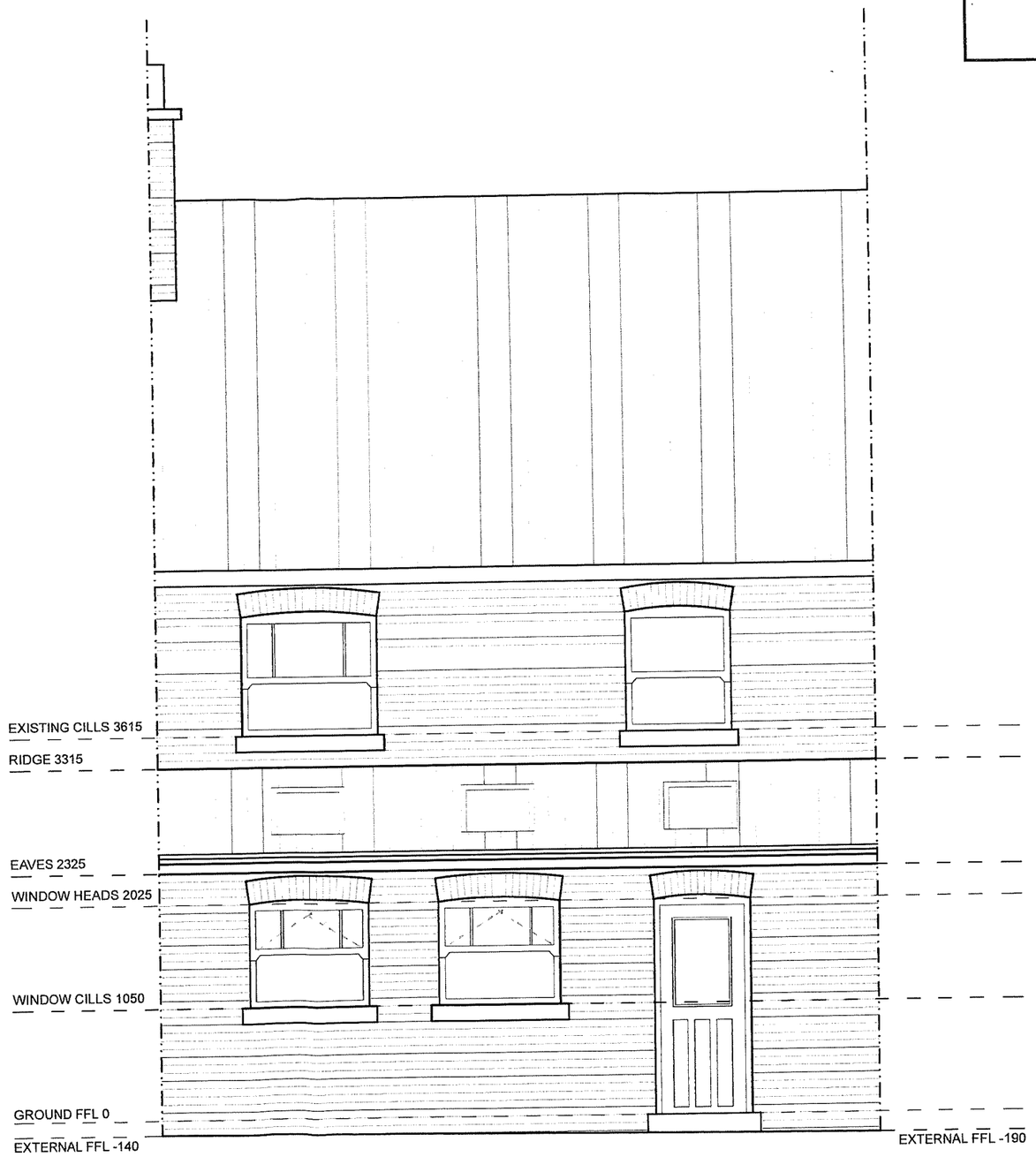
Drawing Title

EXISTING AND PROPOSED SECOND FLOOR PLAN

Job Number	Drawing Number	Rev
8EG	8EG - BR - 05	



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

NYMNPA

21/09/2023

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall finishes not the structure unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the author immediately.

Rev	Date	Revision Note	By

Job Title

8 ELM GROVE
ROBIN HOODS BAY

Drawn By	Date	Checked	Date	Scale	Paper
LMS	April 23	GS		1:50	A3

Drawing Title
EXISTING AND PROPOSED REAR ELEVATION

Job Number	Drawing Number	Rev
8EG	8EG - BR - 06	