

The Planning Inspectorate

QUESTIONNAIRE (s78) HOUSEHOLDER APPEAL (Online Version)

You must ensure that a copy of the completed questionnaire, together with any attachments, are sent to the appellant/agent by the date given in the start letter.

Appeal Reference	APP/W9500/D/23/3336172
Appeal By	MR & MRS D METTERS
Site Address	Quarry Cottage Raw Whitby North Yorkshire YO22 4PP

PART 1

1. Do you agree that the Householder Appeals Service (HAS) written representation procedure is appropriate for this appeal? Please note there must be exceptional reasons for us to agree to a procedure other than HAS.	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
2.a. Are there any appeals or matters relating to the same site still being considered by us or the Secretary of State?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
2.b. Are there any appeals or matters adjacent or close to the site still being considered by us or the Secretary of State?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
3. Can the Inspector see the relevant parts of the appeal site from public land?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
4. Will the reasons for refusal/grounds of appeal require the Inspector to enter:				
4.a. the appeal site or property to judge the appeal proposal?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
The site is not wholly visible from the public highway				
4.b. a neighbour's land or property to judge the appeal proposal?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
5. Are you aware of any specific health and safety issues, from your Officer's visits to the site or otherwise, which would need to be taken into account when the inspector visits the site?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.a. Is the site within a Conservation area?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.b. Is the site adjacent to a Conservation Area?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.c. Is the site within a green belt?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
6.d. Is the site in an Area of Outstanding Natural Beauty?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
7.a. Does the proposed development involve the demolition, alteration or extension of a listed building?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
7.b. Would the proposed development affect the setting of a listed building?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
8. Did you give publicity, as required, for the site being within a Conservation Area or affecting a listed building?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>

9. Is any part of the site subject to a Tree Preservation Order? Yes No

PART 2

Environmental Impact Assessment - Schedule 2

10.a.i. Is the proposed development Schedule 2 development as described in Column 1, Schedule 2 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2011? Yes No

Screening

10.c.i. Have you issued a Screening Opinion (SO)? Yes No
Please attach a copy of the SO that was placed on the planning register, and any other related correspondence
 see 'Questionnaire Documents' section

10.c.ii. Did the SO state that the proposed development is EIA development as defined by the EIA Regulations? Yes No

Environmental Statement (ES)

10.d. Has the appellant supplied an environmental statement? Yes No

Publicity

10.e. If applicable, please send a copy of the site notice and local advertisement published under Article 15 of the DMPO 2015, as required for EIA development with your case file. Applies N/A

11.a. the development hereby permitted shall begin not later than three years from the date of this decision. Yes No

11.b. the materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building. Yes No

11.c. the development hereby permitted shall be carried out in accordance with the approved plans. Yes No

11.d. any other conditions you regard as necessary? Yes No
Details of the condition(s) and reasons you regard the condition(s) as necessary are:
 see 'Questionnaire Documents' section

PART 3

12.a.i. All the plans submitted with the application;
 see 'Questionnaire Documents' section

12.a.ii. A list of the plans submitted with the application, stating each reference number and clearly indicating which of these plans was under consideration at the time the application was decided;
 see 'Questionnaire Documents' section

12.b.i. A copy of the letter/site notice with which you notified interested parties about the householder planning application and a list of the addresses to which it was sent if applicable;
 see 'Questionnaire Documents' section

[see 'Questionnaire Documents' section](#)

12.b.ii. All representations received from interested parties about the application, including comments from internal and external consultees;



[see 'Questionnaire Documents' section](#)

12.c. A copy of the letter with which you notified people about the appeal and a list of the addresses to which it was sent;



[see 'Questionnaire Documents' section](#)

[see 'Questionnaire Documents' section](#)

12.d. The Planning Officer's report to committee or delegated report on the application and any other relevant documents/minutes;



[see 'Questionnaire Documents' section](#)

[see 'Questionnaire Documents' section](#)

12.e. Design and Access Statement (if submitted);



[see 'Questionnaire Documents' section](#)

12.f. Extracts from any statutory development plan policy (inc front page, title and date of approval/adoption and status);



[see 'Questionnaire Documents' section](#)

[see 'Questionnaire Documents' section](#)

12.g. Extracts from relevant policies which have been saved by way of a direction;



12.h. Extracts from any supplementary planning guidance that you consider necessary (and/or any supplementary planning guidance published under previous provisions still in place) together with its status, whether it was the subject of public consultation and consequent modification, whether it was formally adopted and if so, when. In the case of emerging documents, please state what stage they have reached;



[see 'Questionnaire Documents' section](#)

12.i. Relevant planning history only (e.g. previous relevant permissions if appropriate), including a list of relevant documents taken into account when considering the application.



[see 'Questionnaire Documents' section](#)

12.j. If any Development Plan Document (DPD) or Neighbourhood Plan relevant to this appeal has been examined and found sound/met the basic conditions and passed a referendum, the date the DPD or Neighbourhood Plan is likely to be adopted and, if you consider this date will be before the Inspector's decision on this appeal is issued, an explanation of the Council's policy position in respect of this appeal upon its adoption. You should also include an explanation of the status of existing policies and plans, as they relate to this appeal, upon adoption and which (if any) will be superseded;



12.k. If any DPD or Neighbourhood Plan relevant to this appeal has been submitted for examination, or in the case of a Neighbourhood Plan has been examined and is awaiting a referendum, an explanation of any substantive changes in the progress of the emerging plan, and their relevance to this appeal if it is considered that the plan will not be adopted before the Inspector's decision on this appeal is issued;



12.l. Your Authority's CIL charging schedule is being/has been examined;



12.m. Your Authority's CIL charging schedule has been adopted.



Please advise the case officer of any changes in circumstances occurring after the return of the questionnaire.

LPA Details

I certify that a copy of this appeal questionnaire and any enclosures will be sent to the appellant or agent today.



LPA's reference

NYM/2023/0569

Completed by

Wendy Strangeway

On behalf of

North York Moors National Park Authority

Please provide the details of the officer we can contact for this appeal, if different from the Planning Inspectorate's usual contact for this type of appeal.

Name

Phone no (including dialling code)

Email

Please advise the case officer of any changes in circumstances occurring after the return of the questionnaire.

Appeal Reference	APP/W9500/D/23/3336172
Appeal By	MR & MRS D METTERS
Site Address	Quarry Cottage Raw Whitby North Yorkshire YO22 4PP

The documents listed below were uploaded with this form:

- | | |
|-----------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Relates to Section: | PART 2 |
| Document Description: | 10.c.i. A copy of the Screening Opinion (SO) that was placed on the planning register, and any other related correspondence. |
| File name: | Screening Opinion.pdf |
| Relates to Section: | PART 2 |
| Document Description: | 11.d. Any other conditions you regard as necessary. |
| File name: | List of Suggested Additional Conditions.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.a.i. All the plans submitted with the application |
| File name: | 2023-09-11 Public -Amended Site Location Plan.pdf |
| File name: | 2023-09-11 Public - Plans.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.a.ii. A list of the plans submitted with the application, stating each reference number and clearly indicating which of these plans was under consideration at the time the application was decided |
| File name: | List of the Plans Submitted and Considered.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.b.i. A copy of the letter with which you notified interested parties about the householder planning application. |
| File name: | Consultation Letter.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.b.i. A list of the addresses of the people who were notified of the householder planning application. |
| File name: | List of Those Notified.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.b.ii. All representations received from interested parties about the application. |
| File name: | 2023-10-05 Public - Consultation Responses.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.c. A copy of the letter with which you notified people about the appeal. |
| File name: | Appeal Letter.pdf |
| Relates to Section: | PART 3 |
| Document Description: | 12.c. A list of the addresses of the people who were notified of the appeal. |

File name:	List of Those Notified.pdf
Relates to Section:	PART 3
Document Description:	12.d. The Planning Officer's report to committee or delegated report on the application and any other relevant documents/minutes.
File name:	2023-10-26 Public - Officer Delegated Report.pdf
Relates to Section:	PART 3
Document Description:	12.d. The Planning Officer's report to committee or delegated report on the application and any other relevant documents/minutes.
File name:	Minutes.pdf
Relates to Section:	PART 3
Document Description:	12.e. Design and Access Statement (if submitted).
File name:	2023-09-11 Public - Supporting Information.pdf
Relates to Section:	PART 3
Document Description:	12.f. Extracts from any statutory development plan policy including the front page, title and date of approval/adoption and status.
File name:	Title Page 2020.pdf
File name:	2020 Copy of Front Sheet.pdf
Relates to Section:	PART 3
Document Description:	12.f. Extracts from any statutory development plan policy including the front page, title and date of approval/adoption and status.
File name:	SPC.pdf
File name:	CO17.pdf
Relates to Section:	PART 3
Document Description:	12.h. Extracts from any supplementary planning guidance that you consider necessary (and/or any supplementary planning guidance published under previous provisions still in place) together with its status, whether it was the subject of public consultation and consequent modification, whether it was formally adopted and if so, when. In the case of emerging documents, please state what stage they have reached.
File name:	Design Guide Part 2.pdf
Relates to Section:	PART 3
Document Description:	12.i. Relevant planning history only (e.g. previous relevant permissions if appropriate), including a list of relevant documents taken into account when considering the application.
File name:	NYM-4-29-35A-PA Decision Notice and Plan.pdf
Completed by	Not Set
Date	13/03/2024 13:37:40
LPA	North York Moors National Park Authority

vi) SCREENING OPINION

EIA Schedule 1/Schedule 2: No If Schedule 2, is statement required NA

EIA: No 16 wks

vii) POLICY INFORMATION

Relevant RSS/EU Dirs/HRA: (Planning Team Leader to Complete)

Major Application: No (13 weeks) Departure: No County Matter: No

Brownfield/Greenfield/Agr conversion/Non-Agr conversion NA Net change to no. of dwellings: NA

5 residential units or more or 200 sqm or more or non residential floorspace? No 10% Renewables: Not Required

Householder Fast track appeal - APP/W9500/D/232/3336172

NYM/2023/0569 - Quarry Cottage, Raw

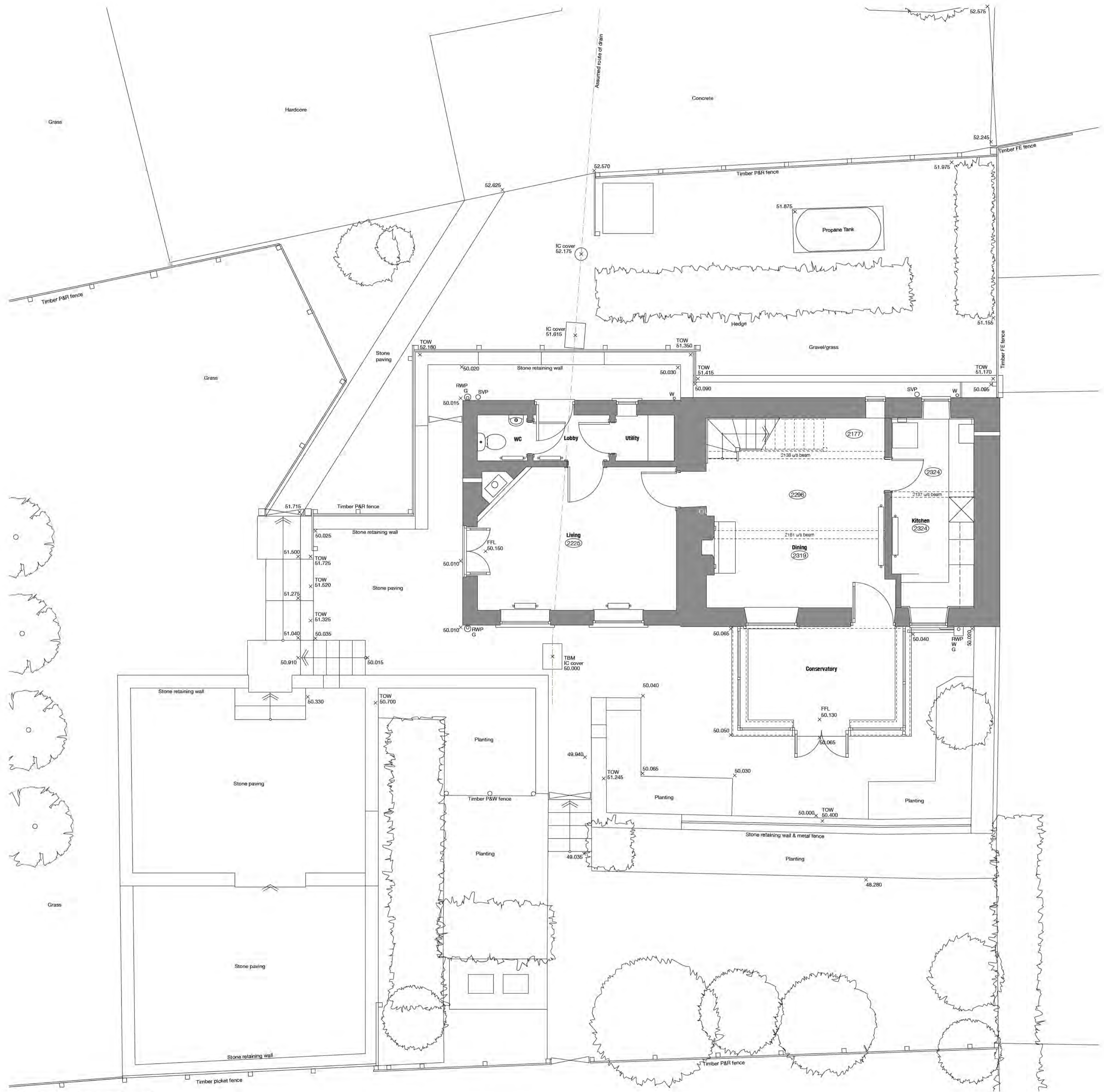
Question 11 d – Suggested additional conditions

1. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 Schedule 2, Part 1, Class A (or any order revoking and re-enacting that Order), no further extensions to the property known as Quarry Cottage shall take place without a further grant of planning permission being obtained from the Local Planning Authority.

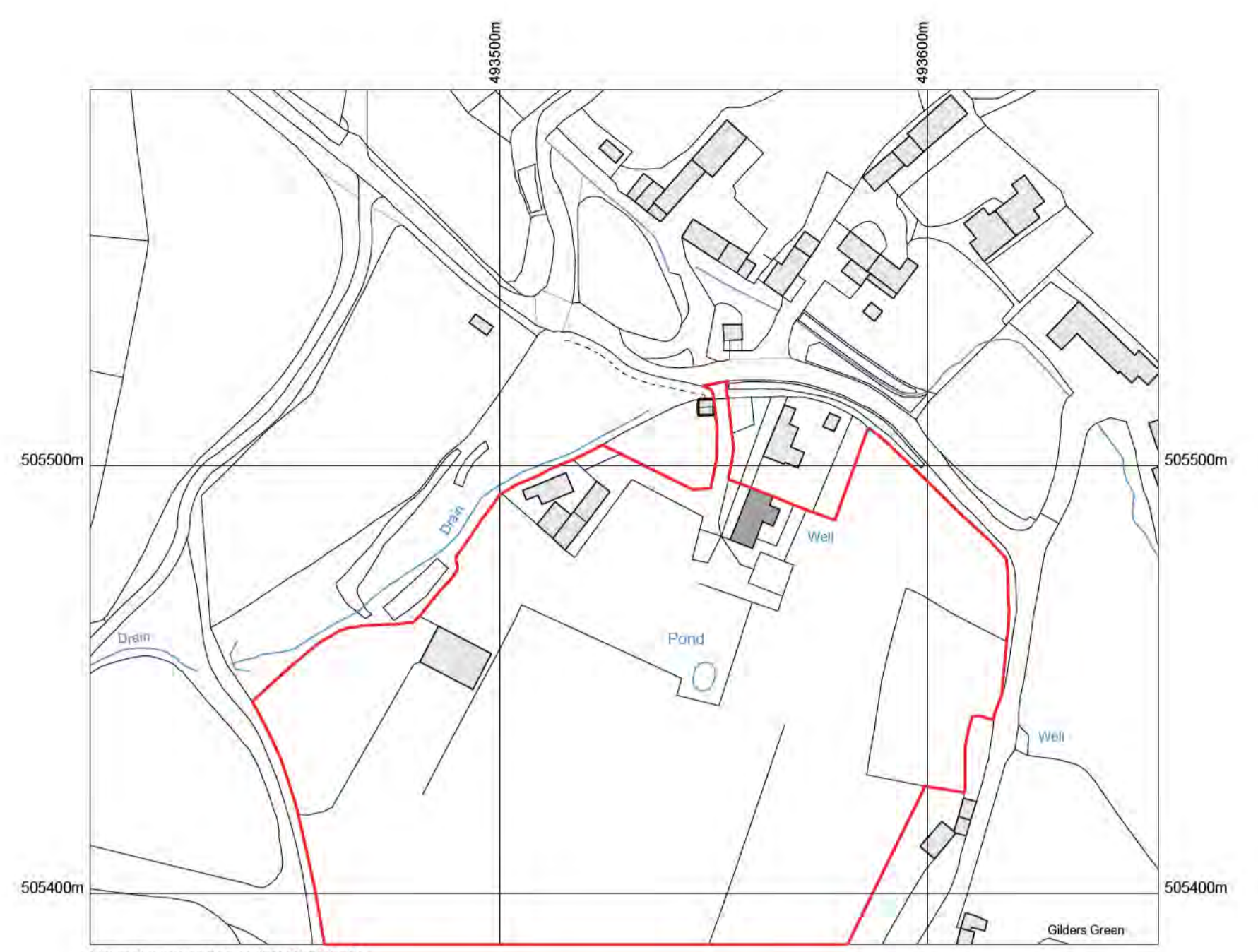
(Reason: In order to enable the Local Planning Authority to retain control over future alterations to the property in the interests of safeguarding the existing form and character of the building in line with Strategic Policies A and C which seek to enhance and conserve the special qualities of the National Park and secure high quality design for new development and Policy CO17 of the which seeks to limit the size of new extensions so as to maintain a suitable mix of housing types within the National Park avoid the loss of smaller more affordable dwellings in the National Park.

2. No work shall commence on the construction of the walls hereby approved until a sample of the materials to be used in the construction of all external surfaces (including the stonework, timber cladding and zinc standing seam cladding) has been prepared on site for inspection and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved sample(s), which shall not be removed from the site until completion of the development.

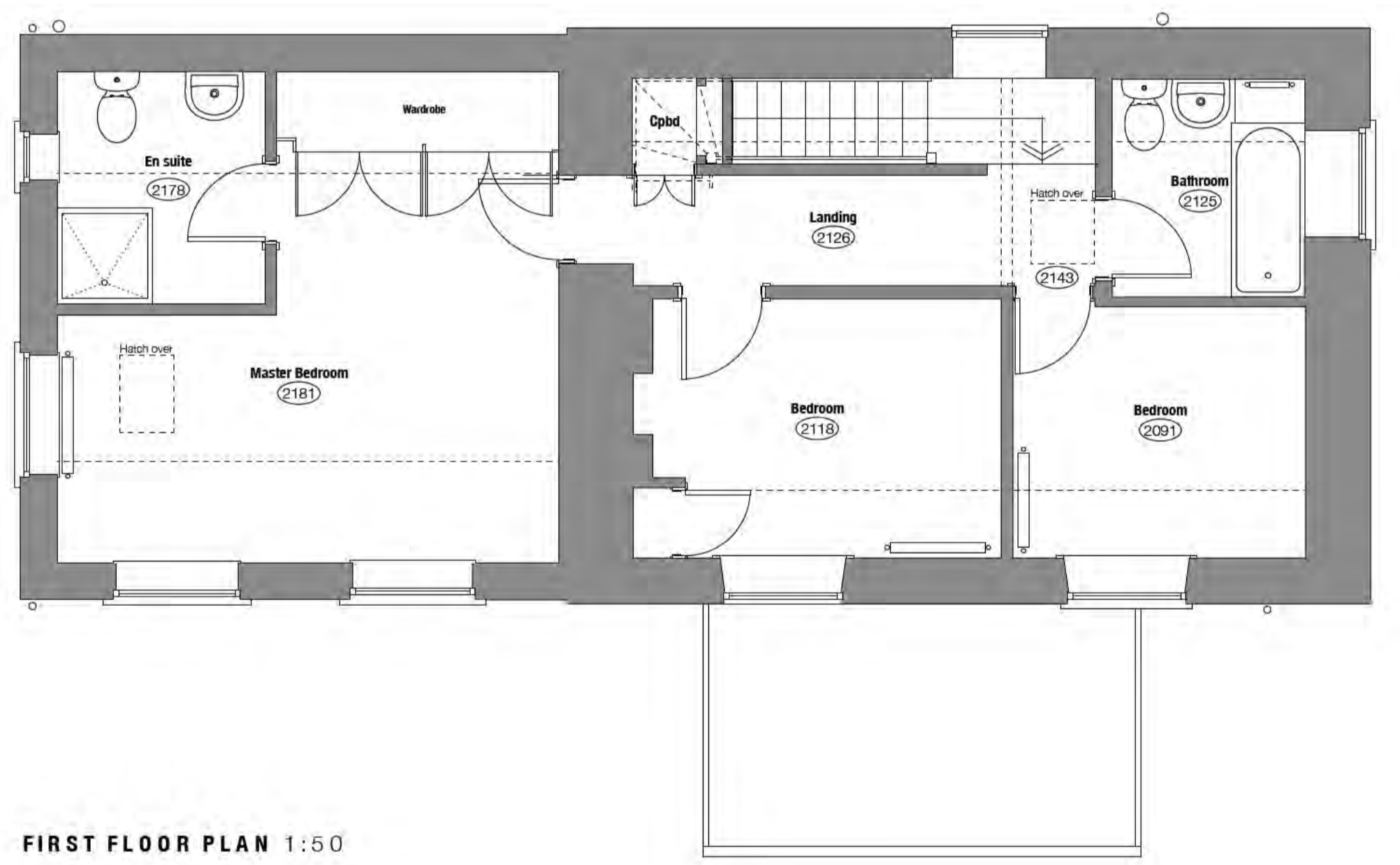
(Reason: For the avoidance of doubt and in order to comply with the provisions of Strategic Policies A and C of the North York Moors Local Plan which seek to ensure that building materials are of a high quality and compatible with the character of the locality and that the special qualities of the National Park are safeguarded.)



GROUND FLOOR & SITE PLAN 1:100



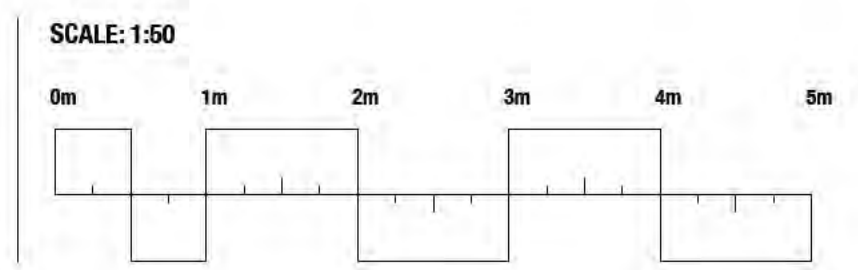
SITE LOCATION PLAN 1:1250



FIRST FLOOR PLAN 1:50

NOTES:
 1 Site Plan based on Ordnance Survey data (licence number 100041041), site dimensions and information interpolated from photographs.
 2 All levels relate to temporary bench mark at IC cover approximately 750mm to southeast of existing extension.

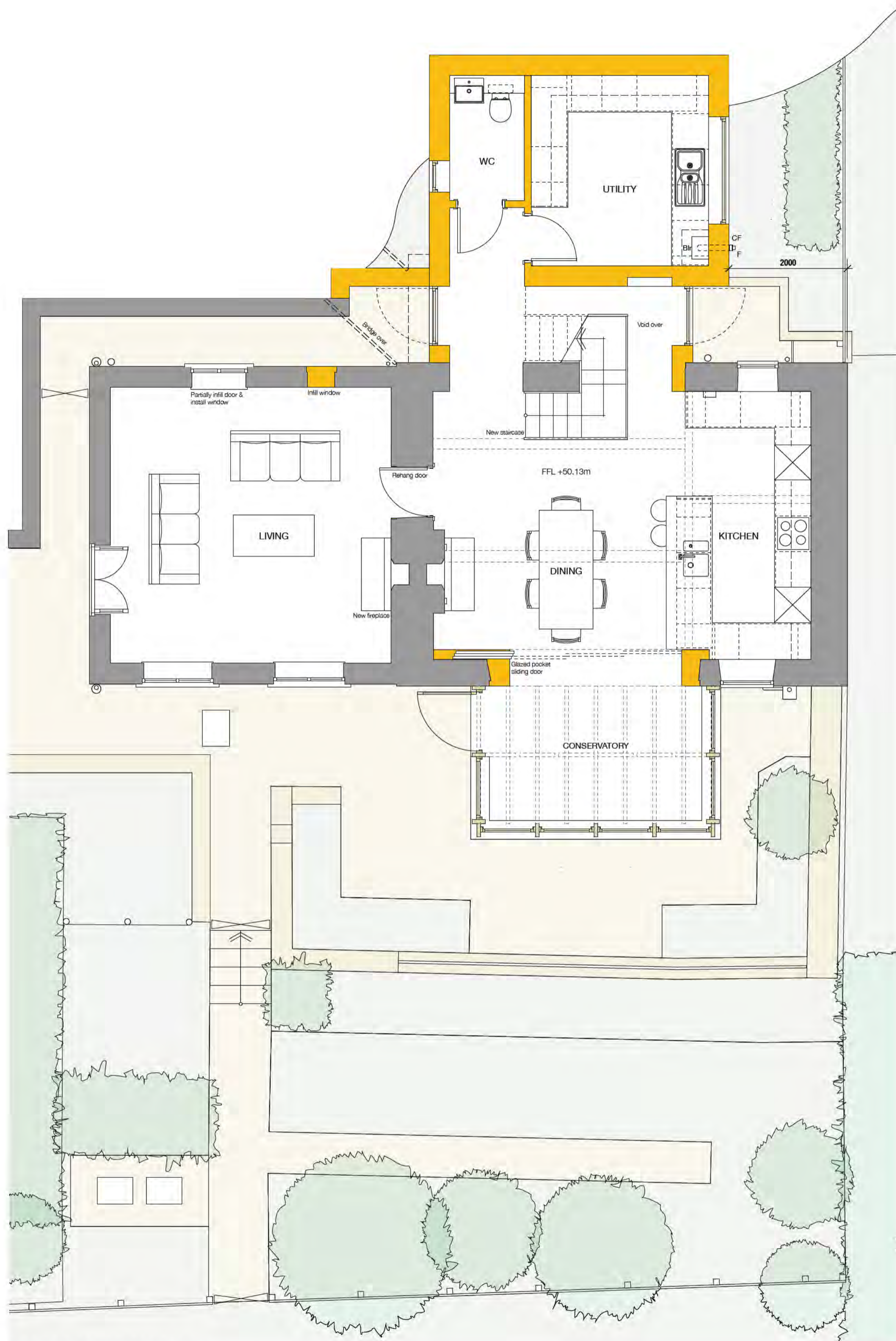
KEY:
 Blr Boiler
 F Boiler or stove flue
 V Extract vent
 G Gully
 IC Inspection chamber
 RWP Rainwater downpipe
 SVP Soil & vent pipe
 W Waste pipe
 FE Feather edged board fence
 P&R Post & horizontal rail fence
 P&W Post & wire fence



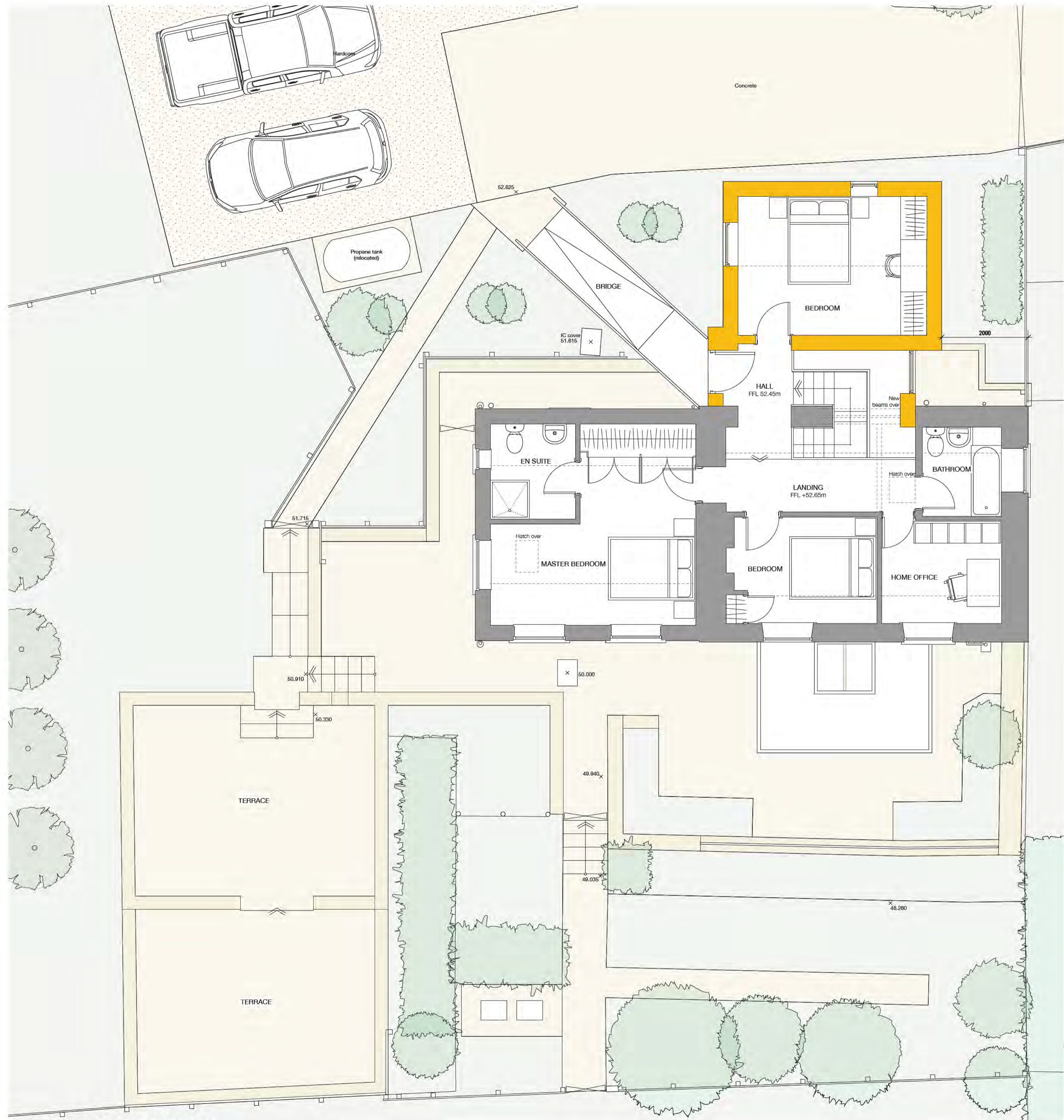
existing



<p>Revisions: A 09/2021 PC Ownership boundary corrected, fences etc updated.</p>	<p>Drawing: Existing Plans</p>	<p>Client: Mr & Mrs Metters</p>	<p>Project: Proposed Extension & Alterations Quarry Cottage, Raw YO22 4PP</p>	<p>Patrick Cuddy Architects 01753 28212 paddy@pcarchitect.co.uk www.pcarchitect.co.uk</p>
<p>Job No: 0047</p>	<p>Date: 09/2021</p>	<p>Scale(s): 1:1250 / 1:50</p>	<p>Sheet size: A1</p>	<p>Drawing No.: EX_001</p>



GROUND FLOOR PLAN 1:50



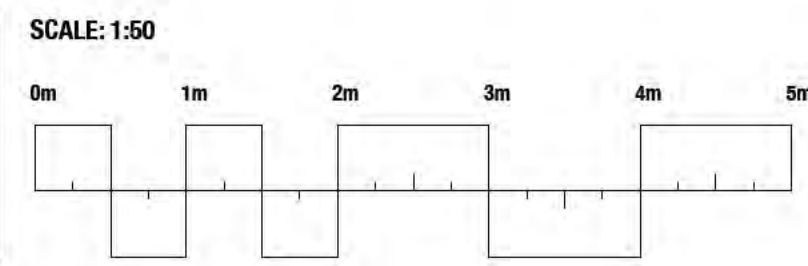
FIRST FLOOR & PART SITE PLAN 1:50

NOTES:

- 1 Site Plan based on Ordnance Survey data (licence number 100041041), site dimensions and information interpolated from photographs.
- 2 All levels relate to temporary bench mark at IC cover approximately 750mm to southeast of existing extension.

KEY:

Blr Boiler	W Waste pipe	Existing walls
F Boiler or stove flue	FE Feather edged board fence	New walls
V Extract vent	PE Post & horizontal rail fence	
G Gully	P&W Post & wire fence	
IC Inspection chamber	CF Through wall cat flap	
RWP Rainwater downpipe		
SVP Soil & vent pipe		



<p>Revisions</p> <p>Drawing: Proposed Floor Plans</p>	<p>Client: Mr & Mrs Metters</p> <p>Project: Proposed Extension & Alterations Quarry Cottage, Raw YO22 4PP</p>	<p>Job No: 0047</p> <p>Date: 08/2023</p> <p>Scale: 1:50</p> <p>Sheet size: A1</p> <p>Drawing No: PL_001</p>	<p>pca</p> <p>Chartered Architect</p> <p>17 York Road, York YO22 4PP</p> <p>01904 289212</p> <p>pa@pcaarchitect.co.uk</p> <p>www.pcaarchitect.co.uk</p>
--------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------

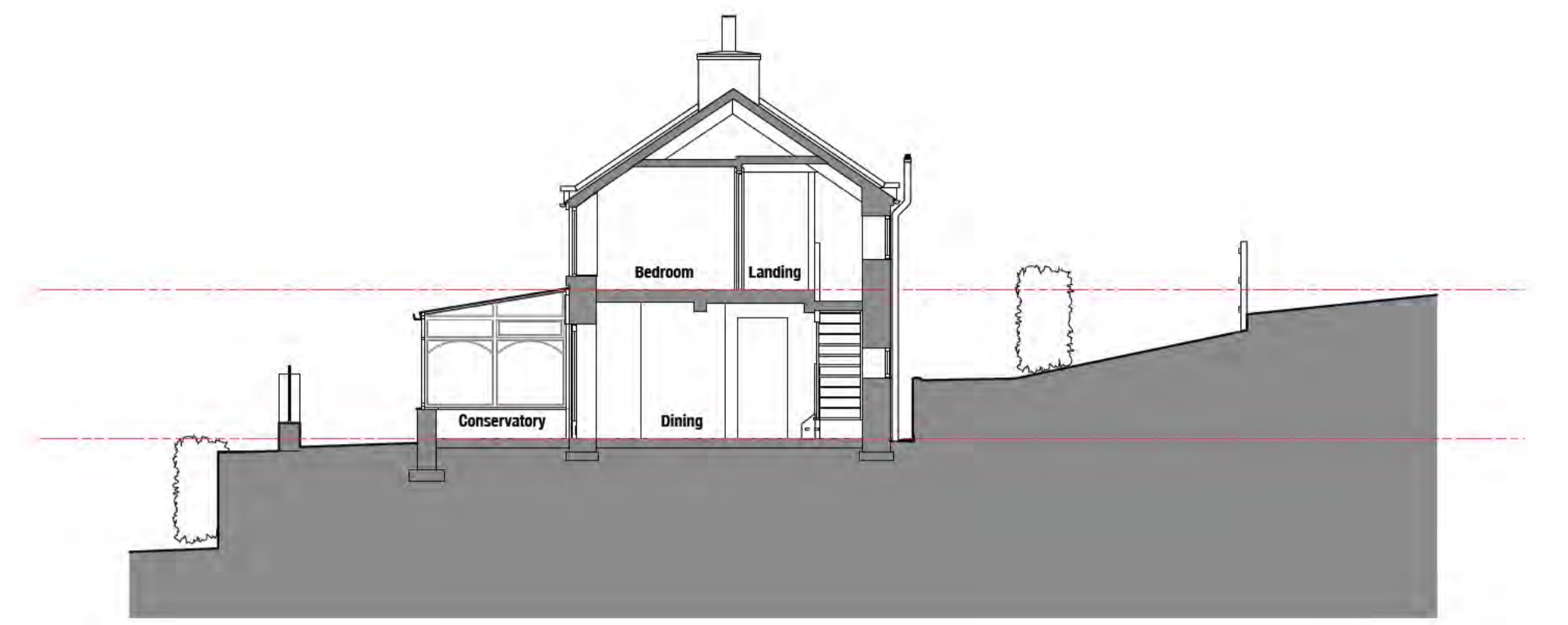


DATUM
45.0m

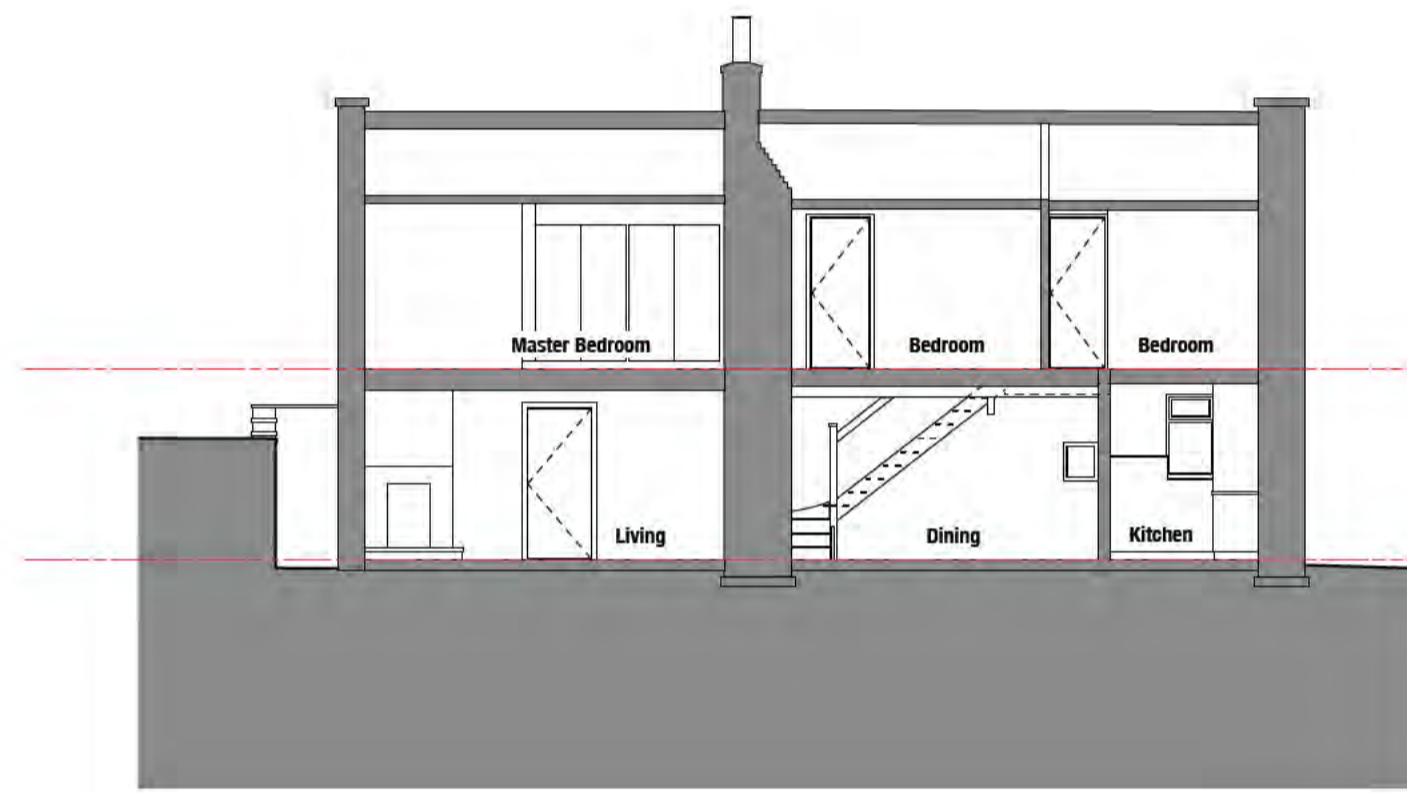
1 SOUTH WEST ELEVATION 1:100



2 SOUTH EAST ELEVATION 1:100

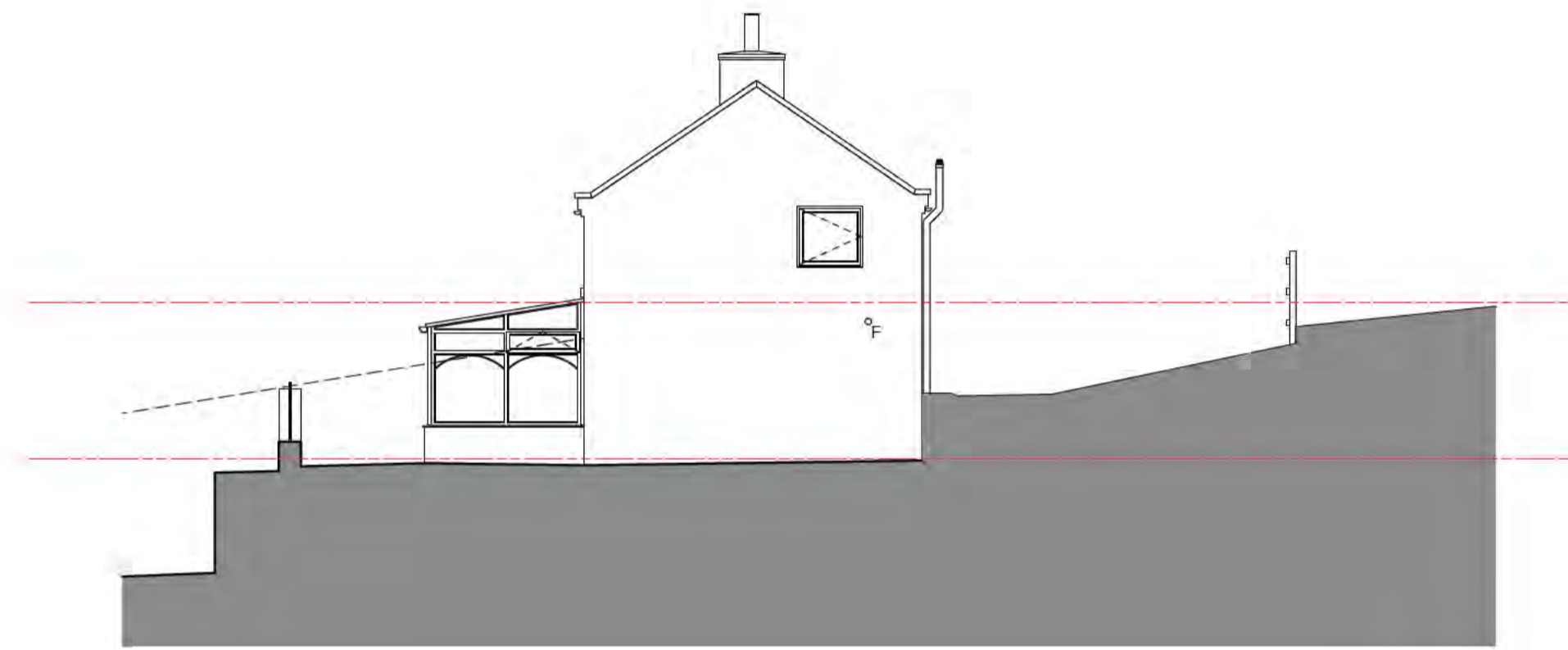


SECTION A - A 1:100



DATUM
45.0m

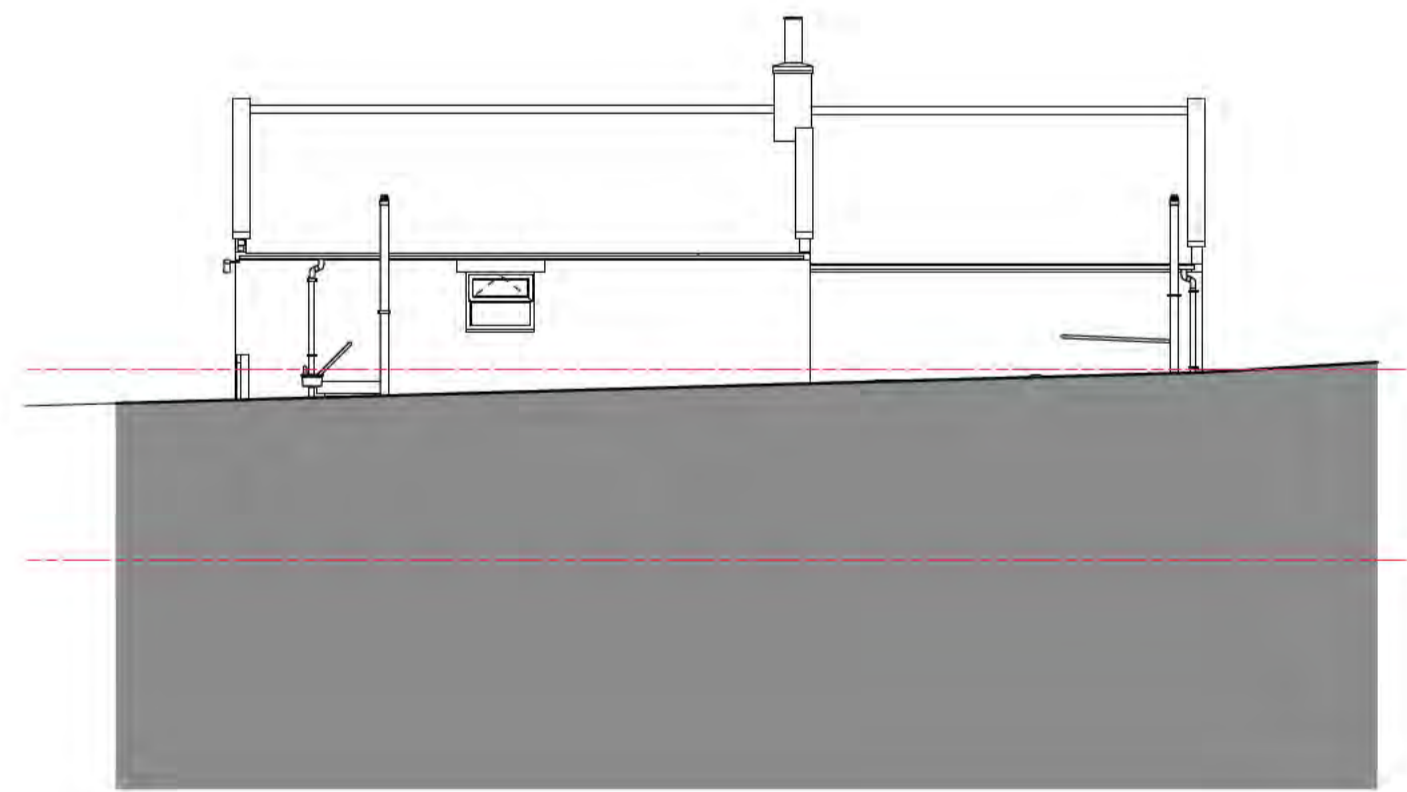
SECTION B - B 1:100



3 NORTH EAST ELEVATION 1:100



4 NORTH WEST ELEVATION 1:100



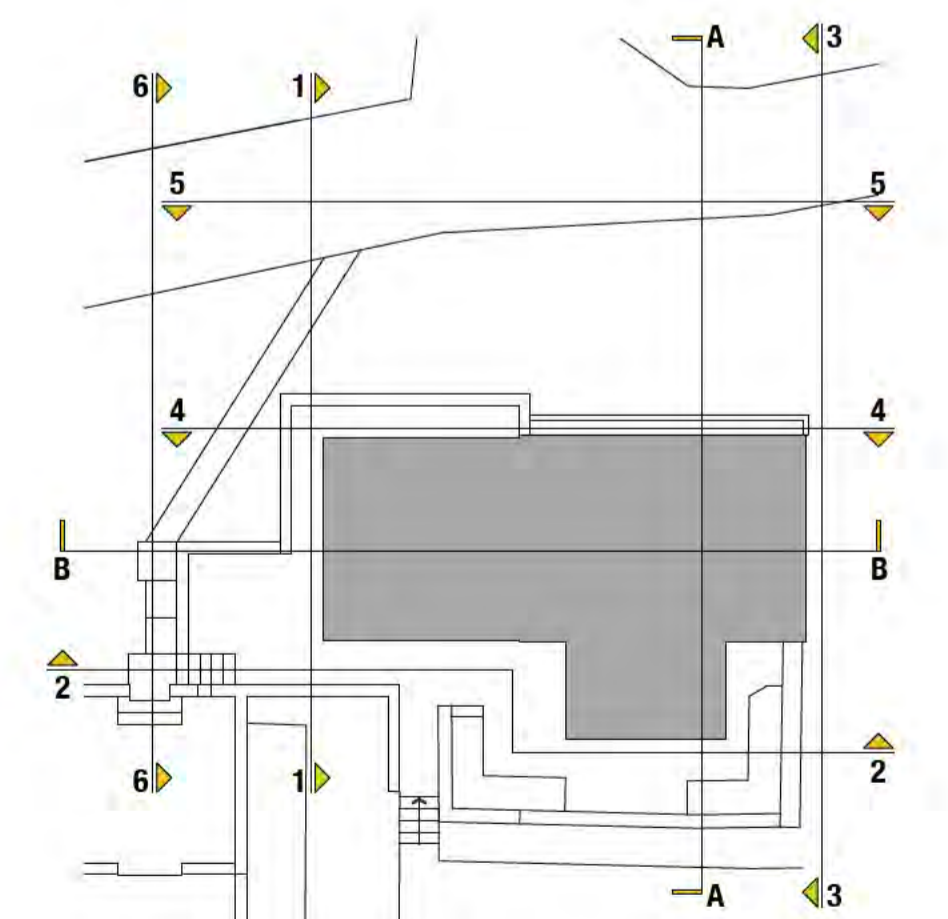
DATUM
45.0m

5 NORTH WEST ELEVATION 1:100



DATUM
45.0m

6 SOUTH WEST ELEVATION 1:100



KEY TO SECTIONS & ELEVATIONS 1:200

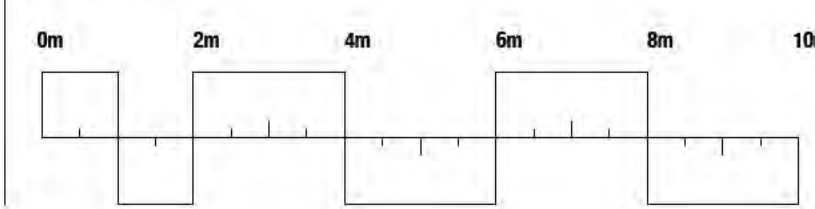
NOTES:

- Site Plan based on Ordnance Survey data (licence number 100041041), site dimensions and information interpolated from photographs.
- All levels relate to temporary bench mark at IC cover approximately 750mm to southeast of existing extension.

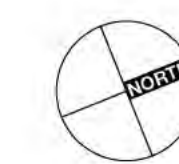
KEY:

- | | | | |
|-----|----------------------|-----|------------------------------|
| Blr | Bolter | W | Waste pipe |
| F | Boiler or stove flue | FE | Feather edged board fence |
| V | Extract vent | PSR | Post & horizontal rail fence |
| G | Gully | P&W | Post & wire fence |
| IC | Inspection chamber | | |
| RWP | Rainwater downpipe | | |
| SVP | Soil & vent pipe | | |

SCALE: 1:100



existing



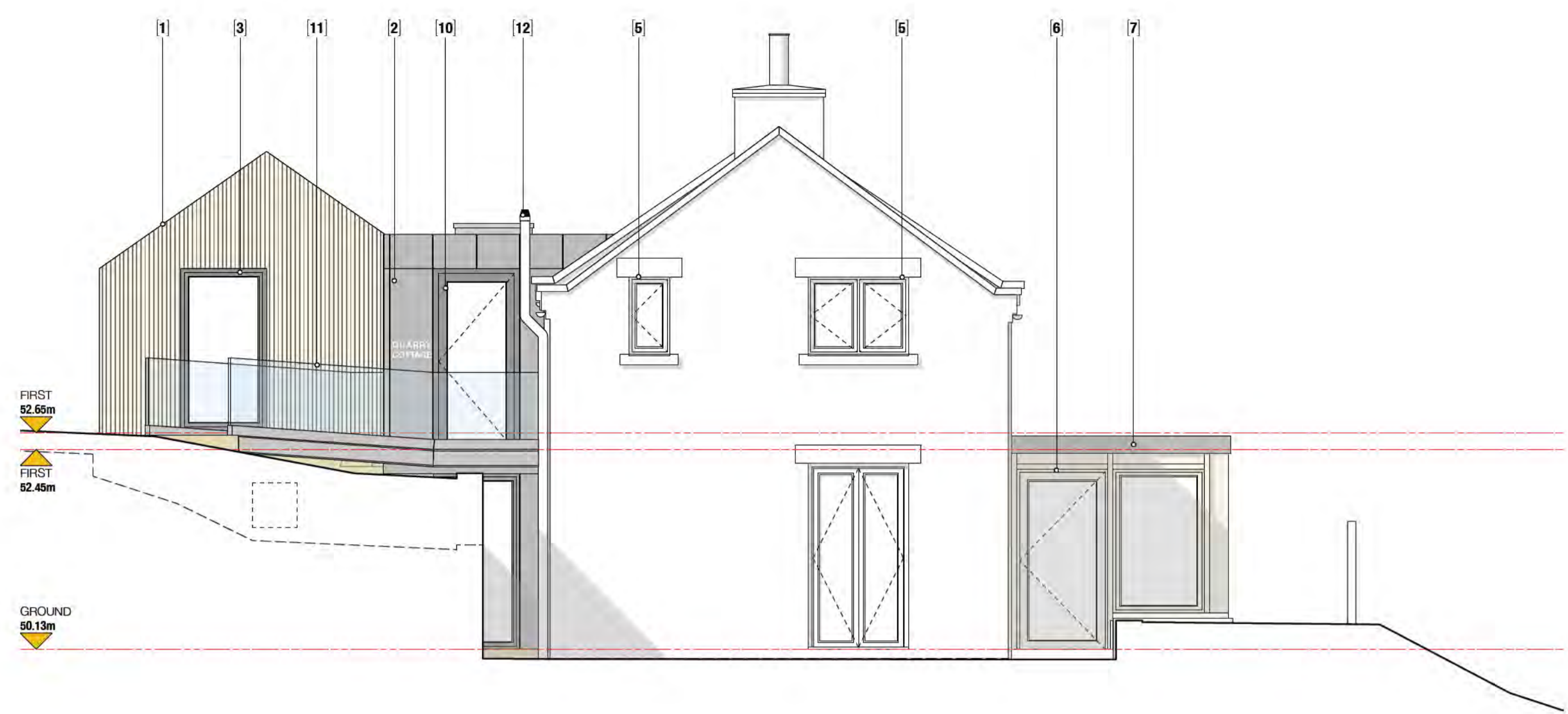
pca

<p>Revisions</p> <p>Drawing Existing Elevations & Sections</p>	<p>Client Mr & Mrs Metters</p> <p>Project Proposed Extension & Alterations Quarry Cottage, Raw YO22 4PP</p>	<p>Job No 0047</p> <p>Date 09/2021</p>	<p>Scale 1:100</p> <p>Sheet size A1</p>	<p>Drawing No EX_002</p> <p>Rev -</p>
-------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------	---------------------------------------------------------------	-------------------------------------------------------------

© Patrick Cuddy Architect
 Please do not scale from this drawing.
 If in doubt please ask.

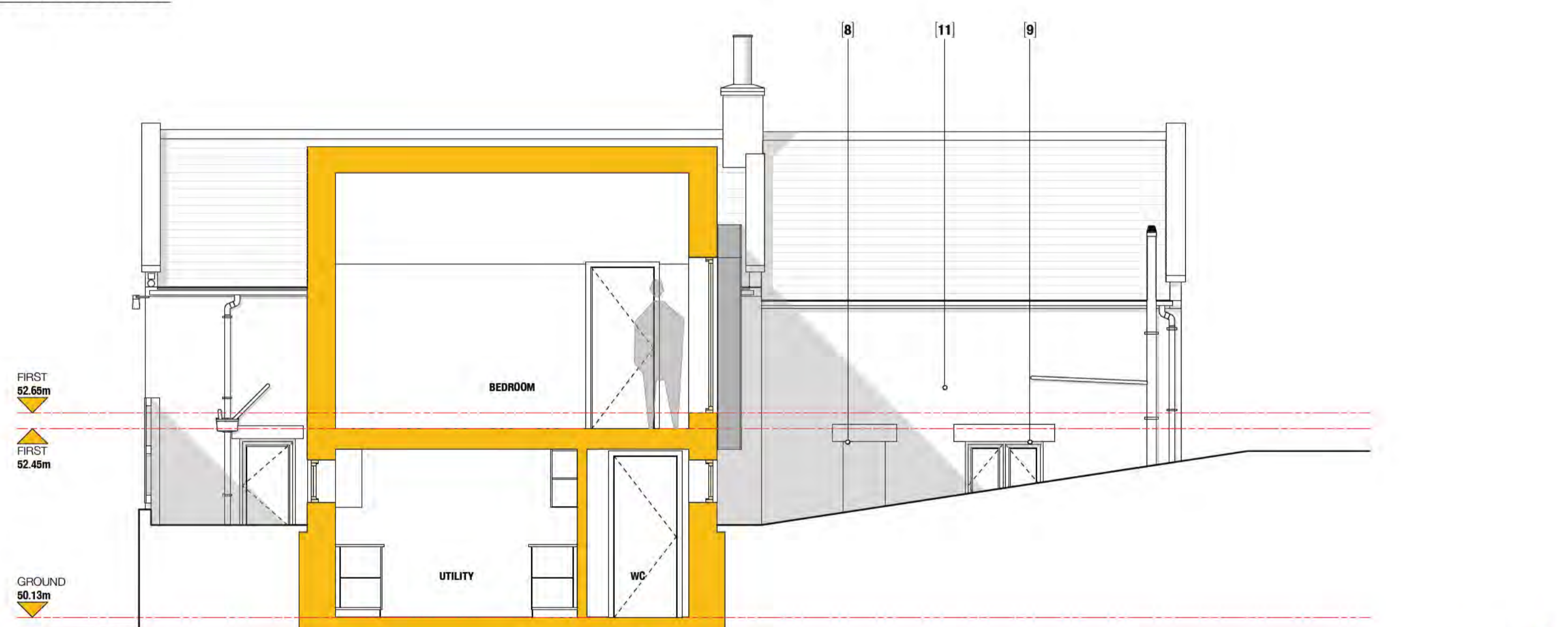
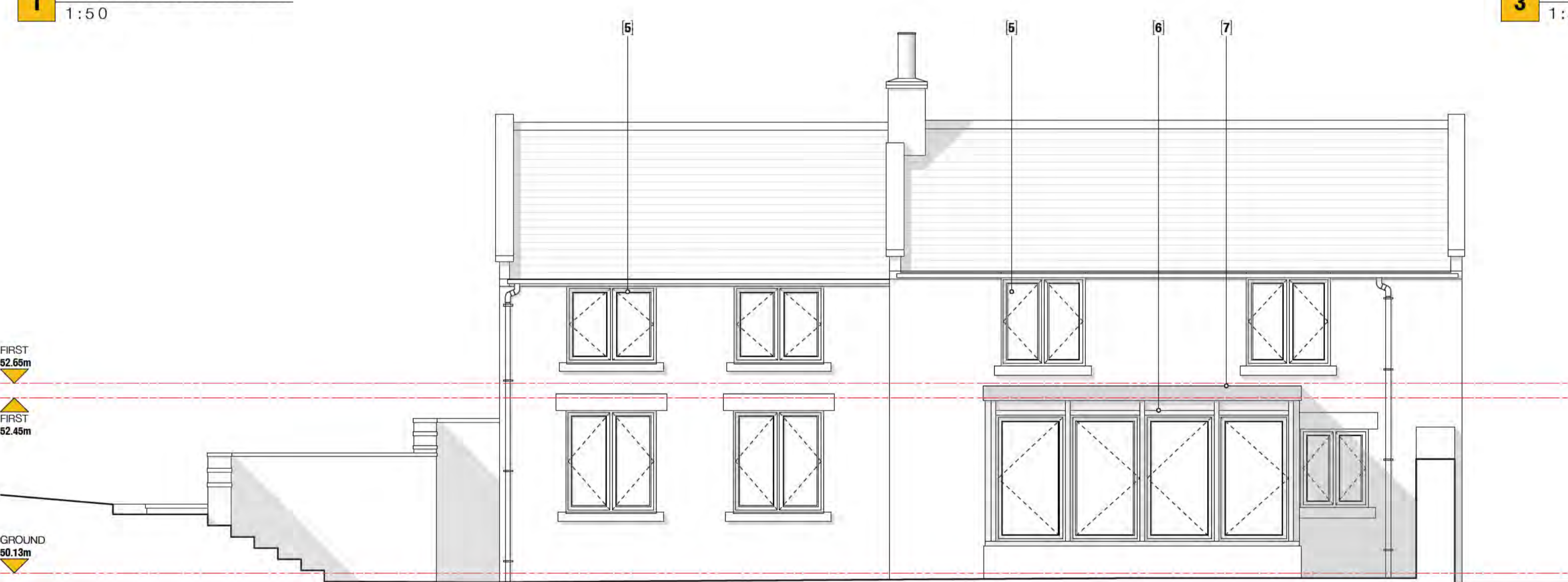
Patrick Cuddy Architect
 Town Farm House
 8 High Market Place
 Kirkby Malton
 York YO22 8AT

Chartered Architect
 01763 288312
 paddy@pcarchitect.co.uk
 www.pcarchitect.co.uk



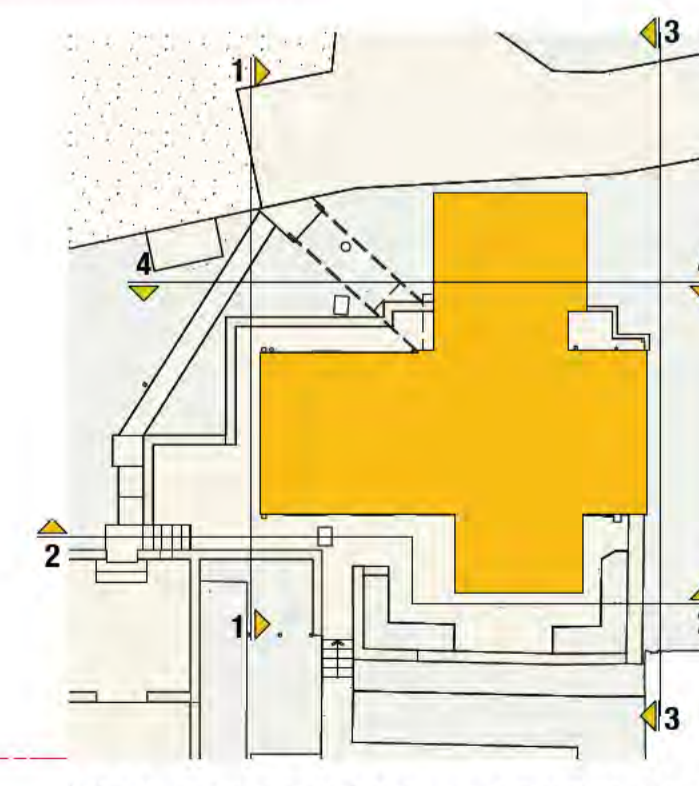
1 SOUTH WEST ELEVATION
1:50

3 NORTH EAST ELEVATION
1:50

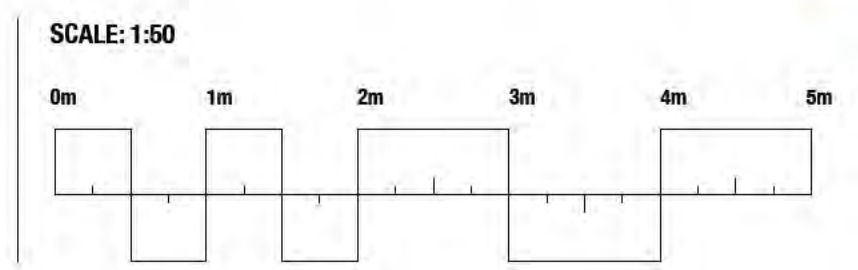


2 SOUTH EAST ELEVATION
1:50

4 NORTH WEST SECTIONAL ELEVATION
1:50



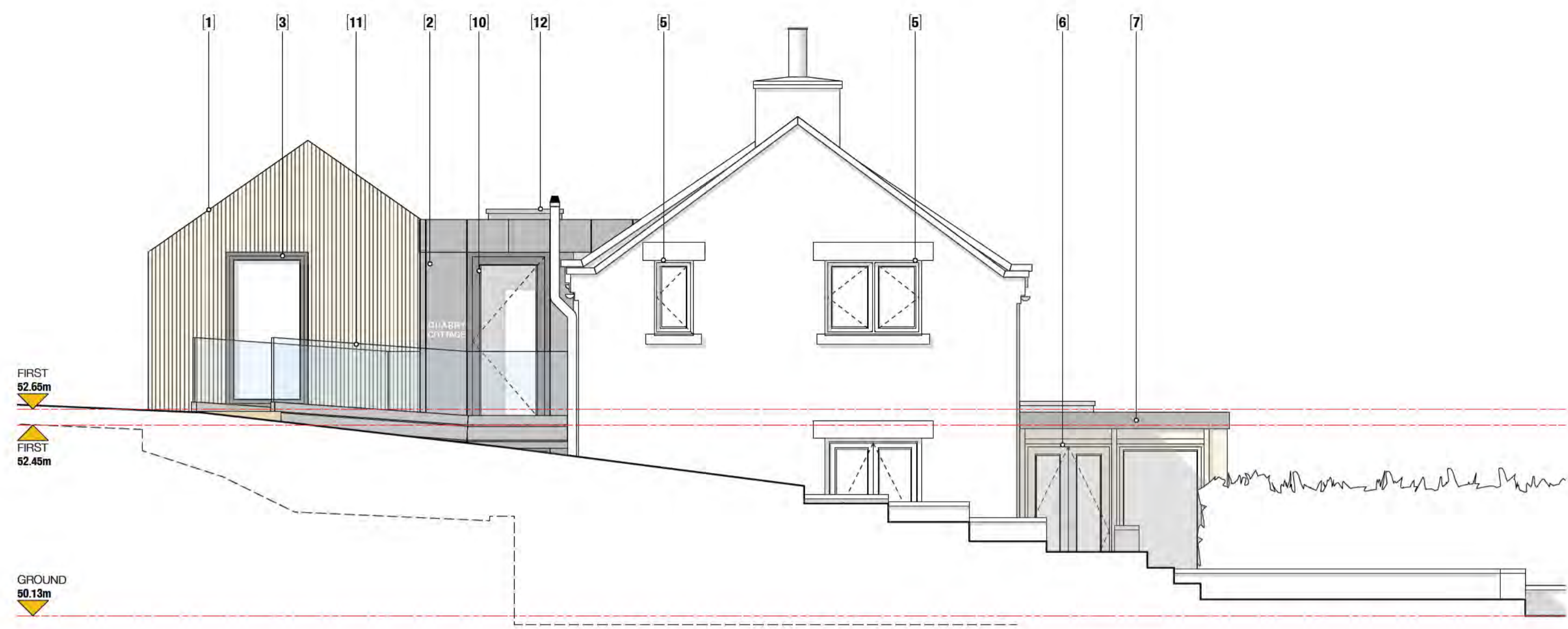
- NOTES:**
- Site Plan based on Ordnance Survey data (licence number 100041041), site dimensions and information interpolated from photographs.
 - All levels relate to temporary bench mark at IC cover approximately 750mm to southeast of existing extension.
- KEY TO ELEVATIONS & SECTIONS:**
- Vertical timber cladding to walls & roof
 - Pre-patinated grey zinc standing seam cladding
 - Powder coated aluminium & timber composite casement window
 - Natural stone to match existing
 - Replacement windows to match new casement windows
 - Timber framed replacement conservatory - timber to be pre-coated with accelerated weathering treatment
 - Pre-patinated grey flashing to edge of flat roof
 - Existing window infilled
 - Door opening partially infilled & window installed
 - Powder coated aluminium framed fully glazed door
 - Bridge to entrance door (omitted for clarity on North West Sectional Elevation)
 - Flat rooflight over stairwell
 - Existing boundary wall omitted for clarity
- F** Boiler or stove flue
CF Insulated through-wall cat flap



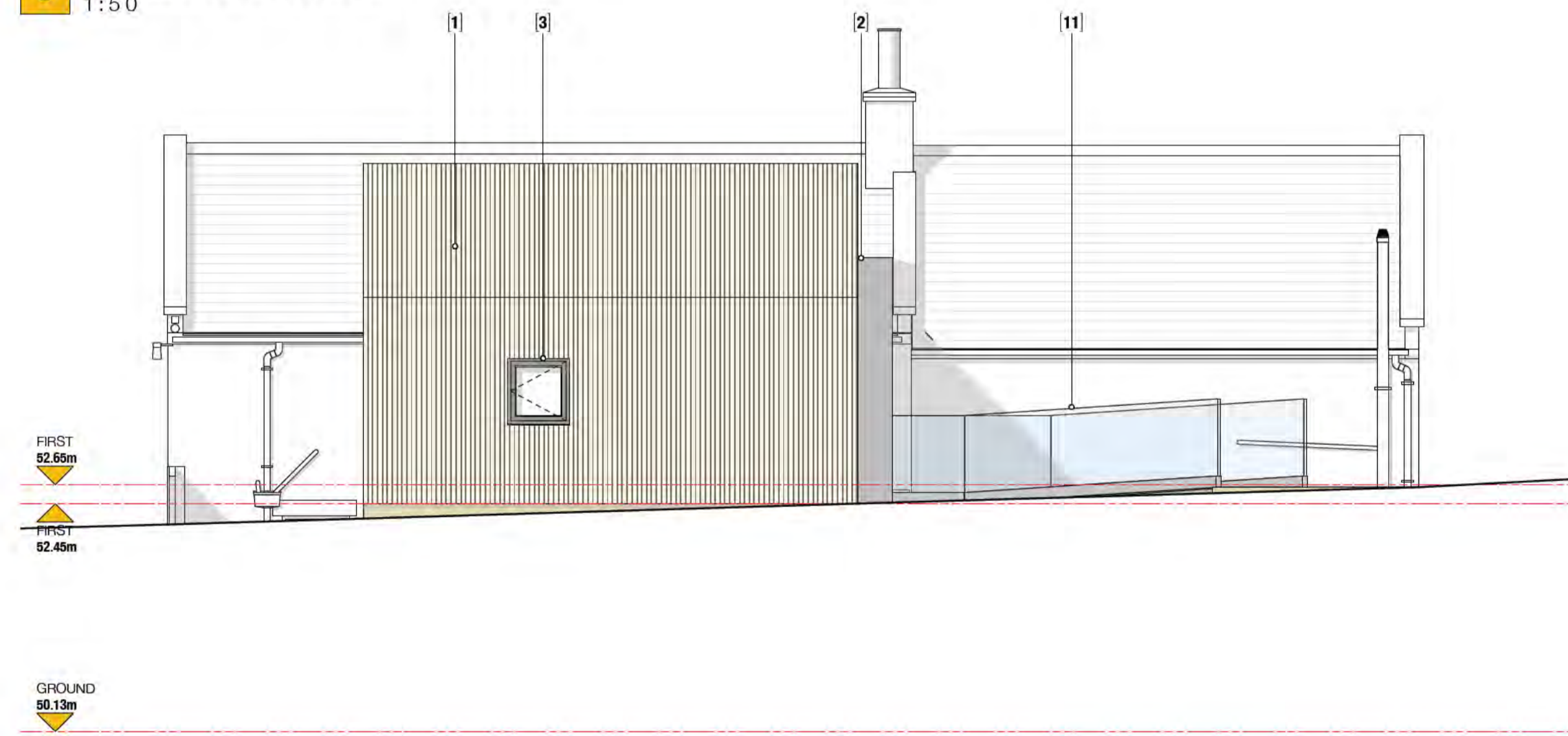
planning pca

KEY TO SECTIONS & ELEVATIONS
1:250

<p>Proposed Elevations & Sections: Sheet 1</p> <p>Client: Mr & Mrs Metters</p> <p>Project: Proposed Extension & Alterations Quarry Cottage, Raw YO22 4PP</p> <p>Job No: 0047 Date: 08/2023</p> <p>Scale: 1:50 / 1:250</p> <p>Sheet size: A1</p> <p>Drawing No: PL_002</p>	<p> Paddy Cuddy Architects Chartered Architect 01761 259212 paddy@pcarchitect.co.uk www.pcarchitect.co.uk </p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

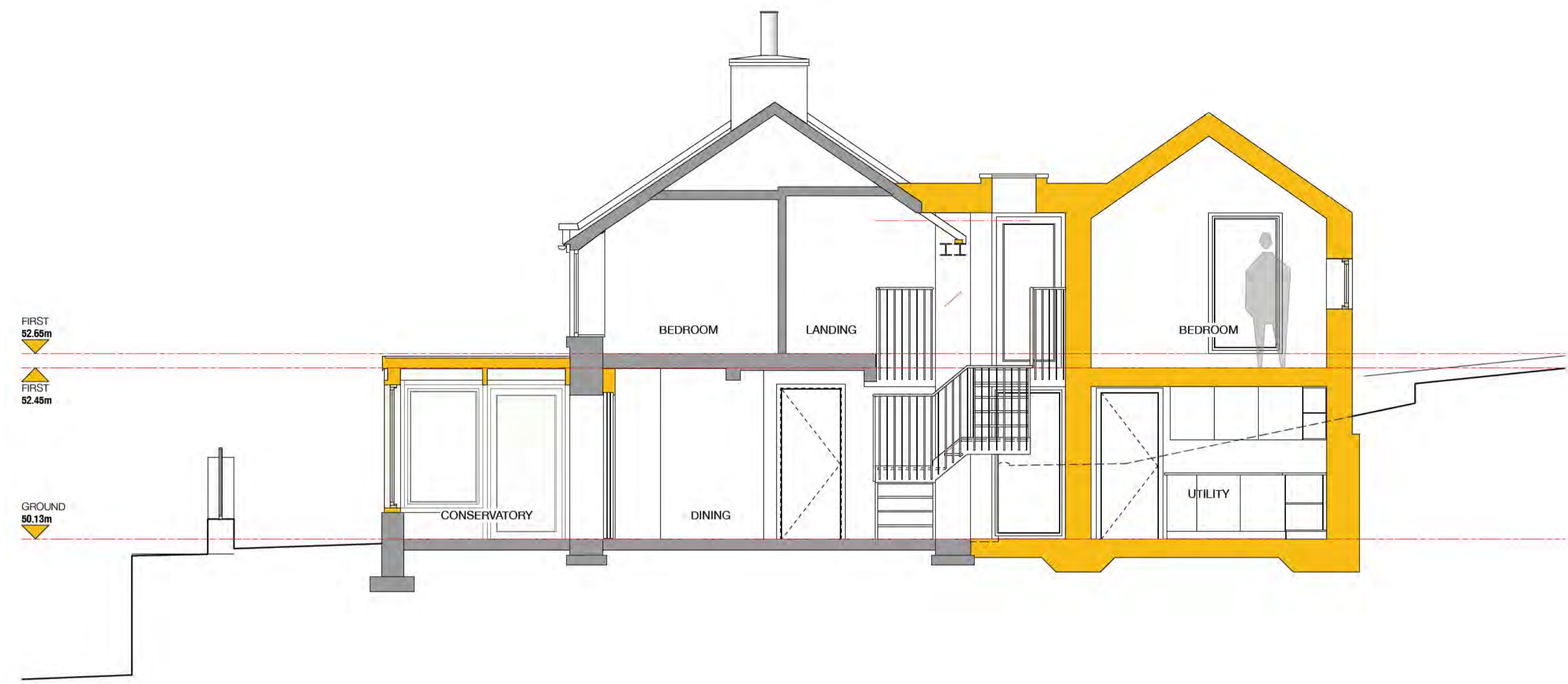


6 SOUTH WEST ELEVATION
1:50

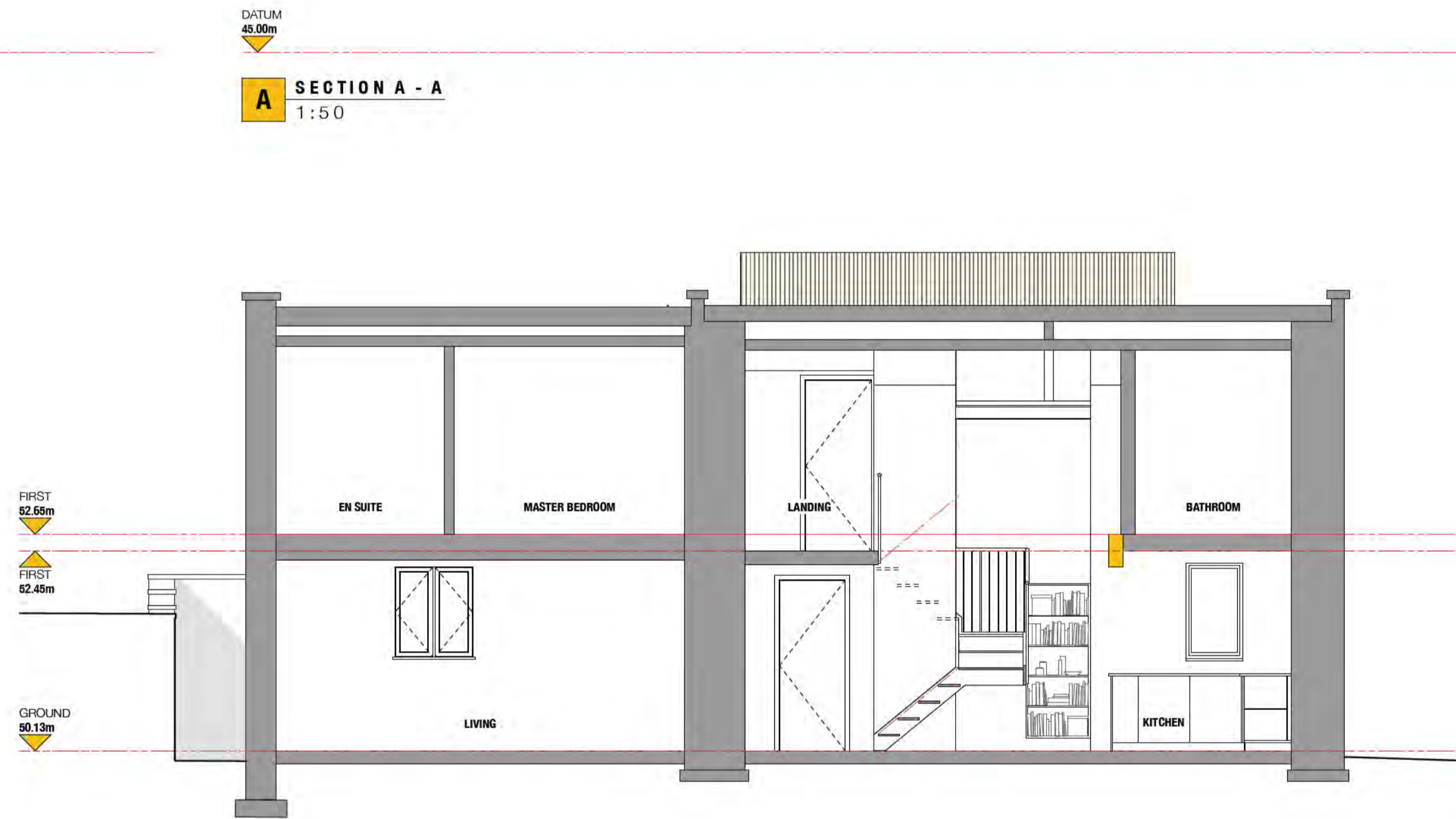


6 NORTH WEST ELEVATION
1:50

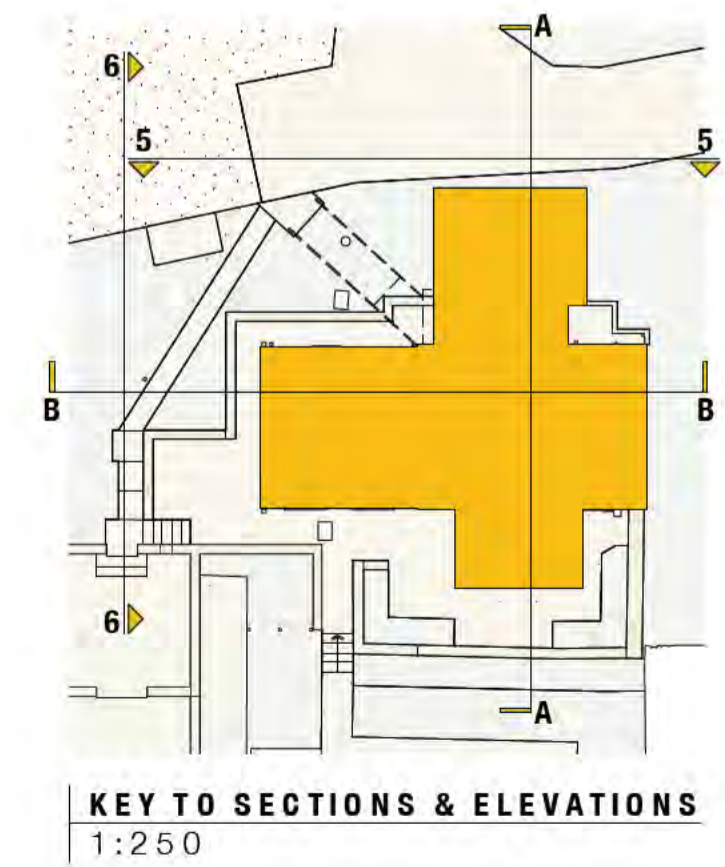
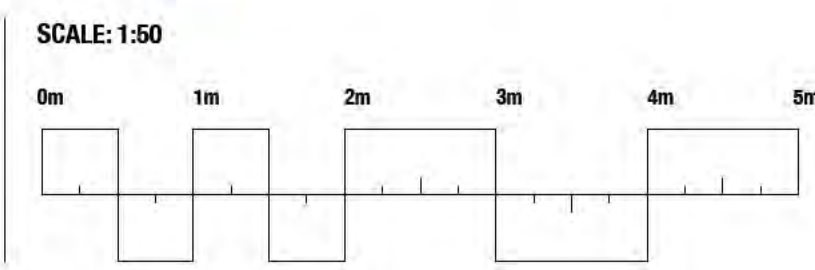
- NOTES:**
- 1 Site Plan based on Ordnance Survey data (licence number 100041041), site dimensions and information interpolated from photographs.
 - 2 All levels relate to temporary bench mark at IC cover approximately 750mm to southeast of existing extension.
- KEY TO ELEVATIONS & SECTIONS:**
1. Vertical timber cladding to walls & roof
 2. Pre-patinated grey zinc standing seam cladding
 3. Powder coated aluminium & timber composite casement window
 4. Natural stone to match existing
 5. Replacement windows to match new casement windows
 6. Timber framed replacement conservatory - timber to be pre-coated with accelerated weathering treatment
 7. Pre-patinated grey flashing to edge of flat roof
 8. Existing window infilled
 9. Door opening partially infilled & window installed
 10. Powder coated aluminium framed fully glazed door
 11. Bridge to entrance door (omitted for clarity on North West Sectional Elevation)
 12. Flat rooflight over stairwell
 13. Existing boundary wall omitted for clarity
- F** Boiler or stove flue
CF Insulated through-wall cat flap



A SECTION A - A
1:50



B SECTION B - B
1:50





01 SKETCH VIEW LOOKING SOUTH NTS
From the drive towards Quarry Cottage



02 SKETCH VIEW LOOKING EAST NTS
From parking area towards new entrance



03 SKETCH VIEW LOOKING NORTH NTS
From steps towards the south west elevation



04 SKETCH VIEW LOOKING EAST NTS
From field towards the north west elevation



05 SKETCH VIEW LOOKING NORTH NTS
From field towards the south west elevation



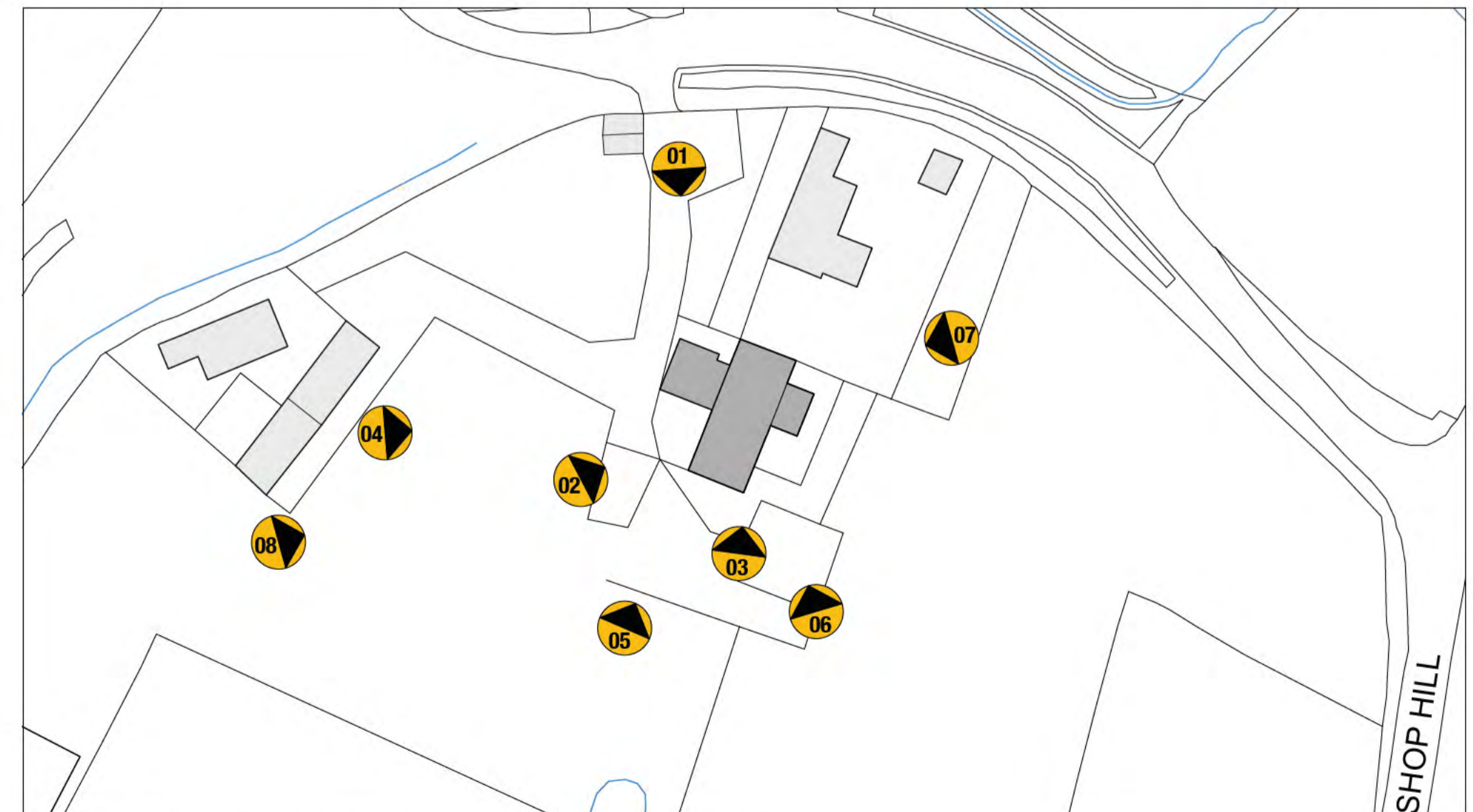
06 SKETCH VIEW LOOKING NORTH NTS
From the terrace towards the south west corner



07 SKETCH VIEW LOOKING NORTH WEST NTS
From neighbouring property towards Quarry Cottage

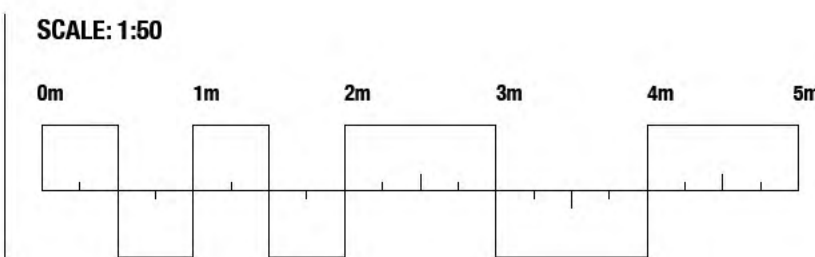


08 ISOMETRIC VIEW LOOKING SOUTH EAST NTS
Towards Quarry Cottage with Bank Cottage to the left



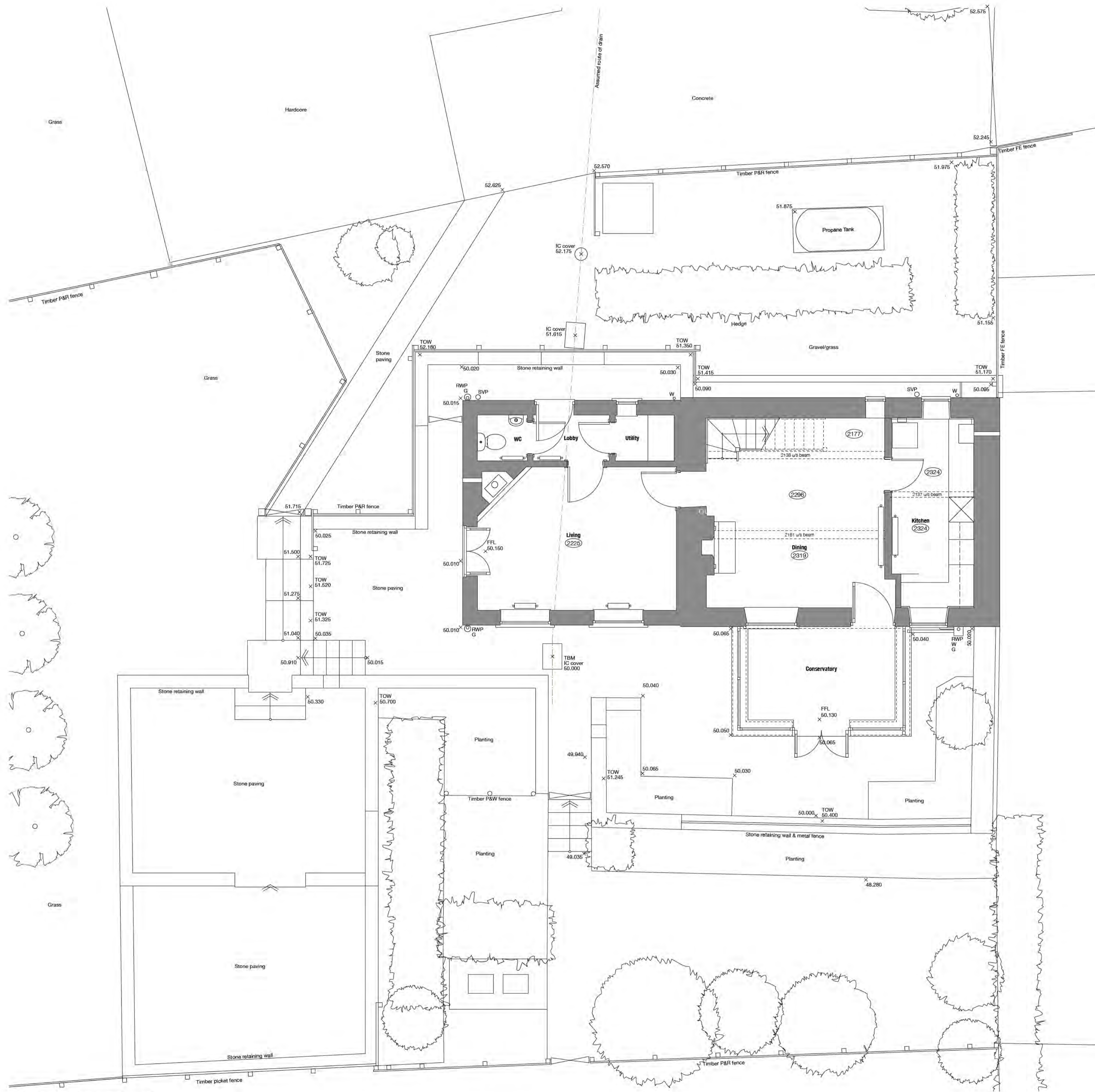
KEY SKETCH VIEW LOCATIONS 1:500
Views 1-8

NOTES:

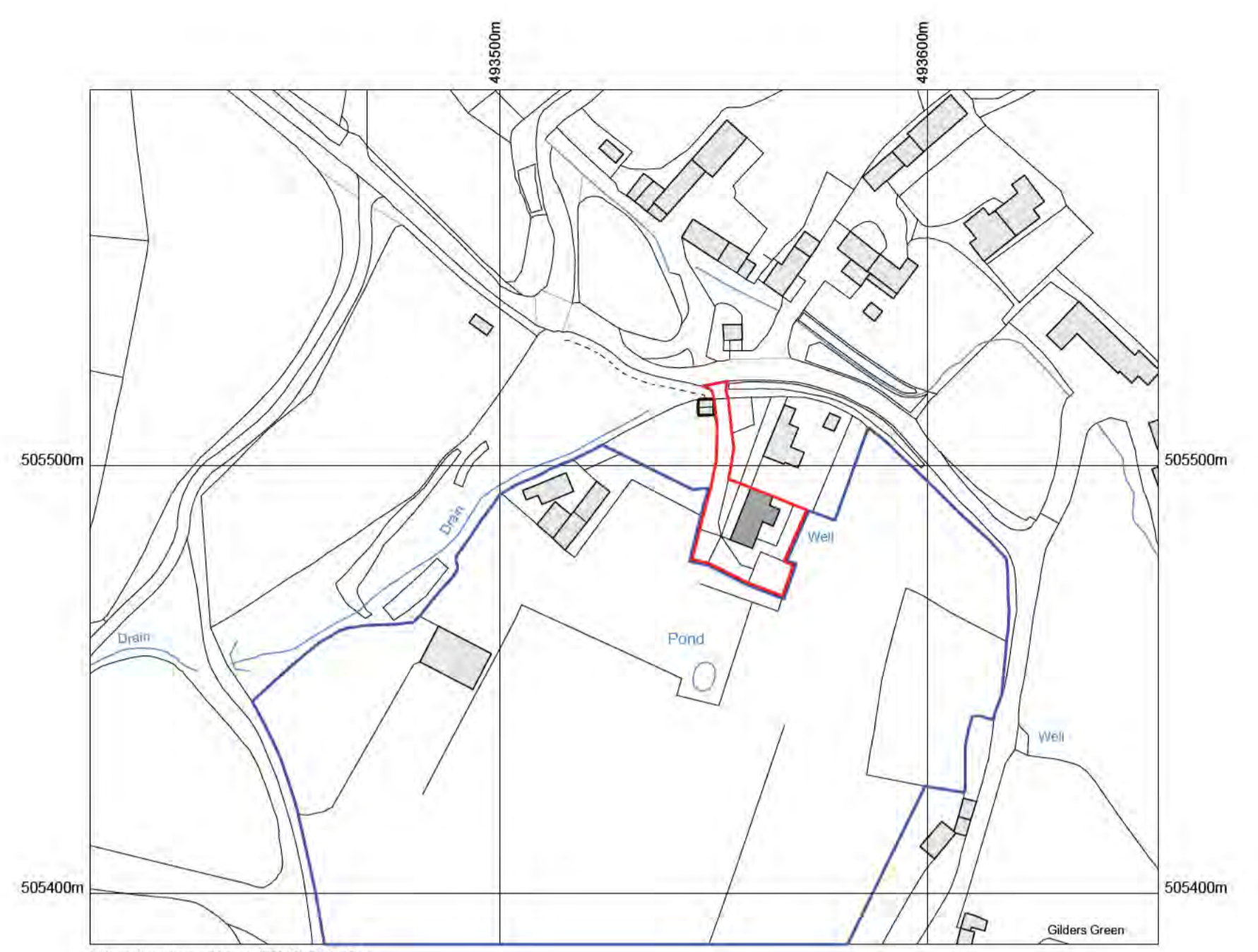


planning  pca

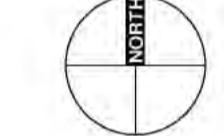
<p>Revisions</p> <p>Drawing: Proposed Sketch Images</p>	<p>Client: Mr & Mrs Metters</p> <p>Project: Proposed Extension & Alterations Quarry Cottage, Raw YO22 4PP</p>	<p>patrick cuddy architect</p> <p>Chartered Architect 01761 259312 paddy@pcarchitect.co.uk www.pcarchitect.co.uk</p>
<p>Patrick Cuddy Architect Please do not scale from this drawing. If in doubt please ask.</p>	<p>Job No: 0047 Date: 08/2023</p>	<p>Scales: 1:50 / 1:250 Sheet size: A1 Drawing No: PL_004</p>



GROUND FLOOR & SITE PLAN 1:100

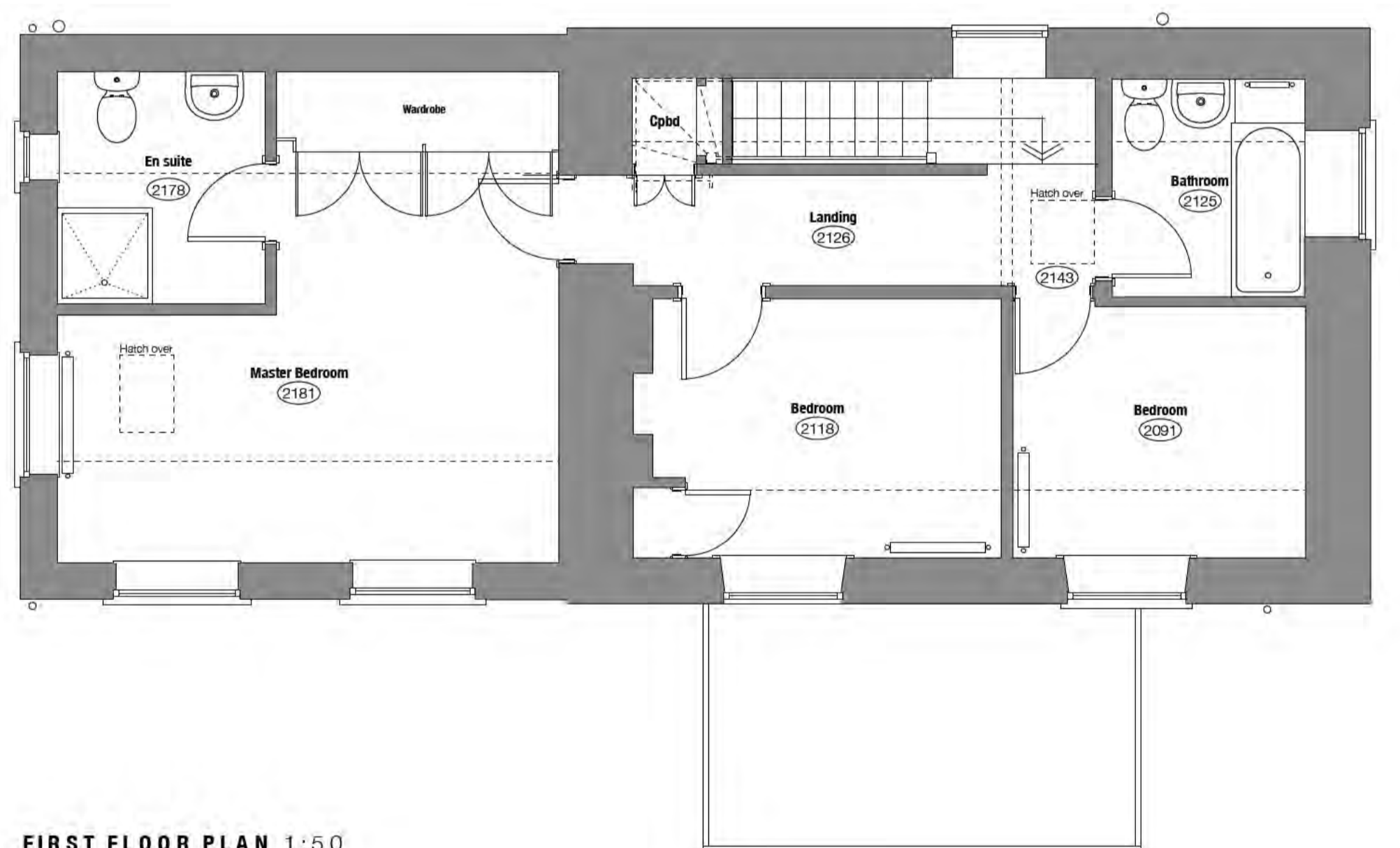


SITE LOCATION PLAN 1:1250



AMENDED

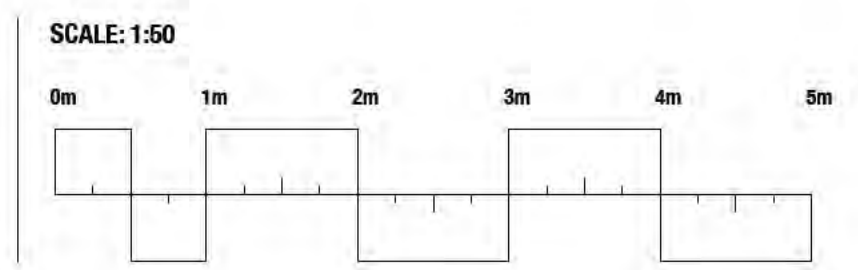
NYMNP
11/09/2023



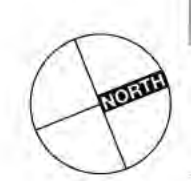
FIRST FLOOR PLAN 1:50

NOTES:
1 Site Plan based on Ordnance Survey data (licence number 100041041), site dimensions and information interpolated from photographs.
2 All levels relate to temporary bench mark at IC cover approximately 750mm to southeast of existing extension.

KEY:
Blr Boiler
F Boiler or stove flue
V Extract vent
G Gully
IC Inspection chamber
RWP Rainwater downpipe
SVP Soil & vent pipe
W Waste pipe
FE Feather edged board fence
P&R Post & horizontal rail fence
P&W Post & wire fence



existing



pca

<p>Revisions: A 30/09/23 PC Ownership boundary corrected, fences etc updated. B 11/09/23 PC Fences boundary revised & blue line boundary added.</p>	<p>Drawing: Existing Plans</p>	<p>Client: Mr & Mrs Metters</p>	<p>Project: Proposed Extension & Alterations Quarry Cottage, Raw YO22 4PP</p>	<p>Drawn: patrick caddy</p>	<p>Checked: patrick caddy</p>	<p>Chartered Architect 01763 289312 paddy@pcarchitect.co.uk www.pcarchitect.co.uk</p>
<p>Job No: 0047</p>	<p>Date: 09/2021</p>	<p>Scale: 1:1250 / 1:50</p>	<p>Sheet size: A1</p>	<p>Drawing No: EX_001</p>	<p>Rev: B</p>	<p>© Patrick Caddy Architect Please do not issue from this drawing. If in doubt please ask.</p>

Householder Fast track appeal - APP/W9500/D/232/3336172

NYM/2023/0569 - Quarry Cottage, Raw

Question 12 a(ii) – List of the plans submitted and considered:

Existing Plans	EX_001 Rev. B	11 Sep 2023
Proposed Floor Plans	PL_001	31 Aug 2023
Existing Elevations and Sections	EX_002	31 Aug 2023
Proposed Elevations and Sections (Sheet1)	PL_002	31 Aug 2023
Proposed Elevations and Sections (Sheet 2)	PL_003	31 Aug 2023
Proposed Sketch Images	PL_004	31 Aug 2023

Fylingdales Parish Council
Mrs Wakefield
c/o Beacholme
Covet Hill
Robin Hoods Bay
YO22 4SN
Via Email: clerk@fylingdalespc.org.uk

Your ref:
Our ref: NYM/2023/0569
Date: 11 September 2023

This matter is being dealt with by: Mrs Jill Bastow
Direct Dial 01439 772700

Dear Sir/Madam

Application for alterations, construction of two storey rear extension together with demolition of conservatory and construction of replacement sun room and relocation of oil tank at Quarry Cottage, Raw

I have received the above application.

The application documents are available under the application reference number on the Planning Explorer section of the Authority's website which can be accessed at: <http://planning.northyorkmoors.org.uk/Northgate/PlanningExplorer/ApplicationSearch.aspx>. Should you wish to view the electronic file at the Authority's offices, please call to make an appointment between the hours of 9am and 5pm Monday to Friday. You are advised to inspect the documents carefully as the description will only cover the main parts of the development.

I would be grateful for any comments you may have on this application **within 21 days** of the date of this correspondence. Where the consultation period extends over a Bank Holiday an additional day is given for each Bank Holiday that falls within this period. You may reply by using the Authority's online consultation response form, email (planning@northyorkmoors.org.uk), letter or fax.

Many straightforward and non-controversial applications are determined under a [Scheme of Delegation](https://www.northyorkmoors.org.uk/about-us/how-the-authority-works) (<https://www.northyorkmoors.org.uk/about-us/how-the-authority-works>) agreed by the National Park Authority.

The statutory determination date for the application is 26/10/2023. You will not be formally notified of the decision; however a copy of the decision notice will be made available under the application reference number on the Planning Explorer section of the Authority's website once the application has been determined.

Should you have any further questions, please do not hesitate to contact the Authority.

Yours faithfully

Working together to sustain the landscape and life of the
North York Moors for both present and future generations to enjoy

The Old Vicarage, Bondgate, Helmsley, York YO62 5BP
01439 772700 general@northyorkmoors.org.uk
planning@northyorkmoors.org.uk northyorkmoors.org.uk



Our Ref: NYM/2023/0569

2

Date: 11 September 2023

Mark Hill

Mr M Hill
Head of Development Management

1. Fylingdales Parish Council

Mrs Wakefield

c/o Beacholme

Covet Hill

Robin Hoods Bay

YO22 4SN

Via Email: clerk@fylingdalespc.org.uk

2. EHO (Sca) 1

Commercial Regulation Team

via email: CRT.sca@northyorks.gov.uk

3. EHO (Sca) 2

Residential Regulation Team

via email:

residentialregulationteam@northyorks.gov.uk

4. Area Traffic Manager (Sca)

NYCC - Area 3 Whitby

Discovery Way

Whitby

North Yorkshire

YO22 4PZ

via email: area3.whitby@northyorks.gov.uk

5. Internal - Conservation

The Old Vicarage

Bondgate

Helmsley

York

YO62 5BP

via email: conservation@northyorkmoors.org.uk

6. Owner/Occupier

Bank Cottage

Raw

YO22 4PP

NORTH YORKSHIRE COUNCIL

LOCAL HIGHWAY AUTHORITY CONSIDERATIONS and RECOMMENDATION



Application No:

NYM23/0569

Proposed Development: alterations, construction of two storey rear extension together with demolition of conservatory and construction of replacement sun room and relocation of oil tank

Location: Quarry Cottage, Raw

Applicant: Mr & Mrs Metters

CH Ref:

Case

Officer:

Ged Lyth

Area Ref:

4/29/35C

Tel:

County Road No:

E-mail:

To:

North York Moors National Park
Authority

Date:

26 September 2023

FAO:

Jill Bastow

Copies to:

Note to the Planning Officer:

In assessing the submitted proposals and reaching its recommendation the Local Highway Authority (LHA) has taken into account the following matters:

The application to increase the size of the property including constructing an additional bedroom, has the potential to slightly increase the amount of traffic going to and from the property. The LHA would expect that any additional parking can be accommodated off the highway and the existing access across the verge is adequate other than the gate opening outwards.

Consequently the Local Highway Authority recommends that the following **Condition** is attached to any permission granted:

MHC-03 Altered Private Access or Verge Crossing at Quarry Cottage, Raw

The development must not be brought into use until the access to the site from the public highway has been set out and constructed in accordance with the 'Specification for Housing and Industrial Estate Roads and Private Street Works' published by the Local Highway Authority and the following requirements:

The crossing of the highway verge must be constructed in accordance with the following requirements.

- Any gates or barriers must not be able to swing over the existing highway.

OFFICIAL

**LOCAL HIGHWAY AUTHORITY
CONSIDERATIONS and RECOMMENDATION**



Continuation
sheet:

Application No:

NYM23/0569

All works must accord with the approved details.

Reason for Condition

To ensure a satisfactory means of access to the site from the public highway in the interests of highway safety and the convenience of all highway users.

<p>Signed:</p> <p style="text-align: center;"><i>Ged Lyth</i></p> <p><i>for Corporate Director of Environment</i></p>	<p>Issued by:</p> <p style="text-align: center;"><i>Whitby Highways Office Discovery Way Whitby North Yorkshire YO22 4PZ</i></p> <p>e-mail:</p>
--------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

From:
To: [Planning](#)
Subject: Comments on NYM/2023/0569 - Case Officer Mrs Jill Bastow - Received from Mrs Jude Wakefield at Fylingdales Parish Council, 38 Hinderwell Lane, Runswick Bay, TS13 5HR
Date: 21 September 2023 14:28:27

Fylingdales Parish Council met last night and would like to object to this planning application as they do not feel the type of materials which are to be used are compatible with other properties in the area.

Comments made by Mrs Jude Wakefield of Fylingdales Parish Council, 38 Hinderwell Lane, Runswick Bay, TS13 5HR

Preferred Method of Contact is Email

Comment Type is Object with comments

From:
To: [Planning](#)
Subject: Quarry Cottage, Raw
Date: 15 September 2023 14:53:55

Your ref: NYM/2023/0569
Proposal: Application for alterations, construction of two storey rear extension together with demolition of conservatory and construction of replacement sun room and relocation of oil tank
Address: Quarry Cottage, Raw

With reference to the above planning application, I confirm that we have no objections to the granting of planning consent on housing grounds.

Regards,

Stephanie Baines MCIEH
Technical Officer (Residential Regulation Team)
Town Hall
St Nicholas Street
Scarborough
YO11 2HG

Web: www.northyorks.gov.uk

Fylingdales Parish Council
Mrs Wakefield
c/o 38 Hinderwell Lane
Runswick Bay
Saltburn by Sea
Cleveland
TS13 5HR
Via Email: clerk@fylingdalespc.org.uk

Your ref: NYM/2023/0569

Our ref:

Date: 08 March 2024

This matter is being dealt with by: Mrs Jill Bastow
Direct Dial 01439 772700

Dear Sir/Madam

Land at: Quarry Cottage, Raw

Proposed development: alterations, construction of two storey rear extension together with demolition of conservatory and construction of replacement sun room and relocation of oil tank

Appeal reference(s): APP/W9500/D/23/3336172

Appeal starting date: 07/03/2024

Appellant(s) name: Mr & Mrs Metters

An appeal has been made to the Secretary of State in respect of the above site. The appeal follows the refusal of planning permission by this Planning Authority. A copy of the appeal documentation can be obtained from or viewed by prior appointment at The Old Vicarage, Bondgate, Helmsley and is available to view on the [Planning Explorer](#) section of the Authority's website under the application reference number.

This appeal is to be dealt with on the basis of the fast track householder procedure as set out in Part 1 of the Town and Country Planning (Appeals) (Written Representations Procedure) (England) Regulations 2009. This procedure involves the submission of an appeal form by the appellant and the Director of Planning's Report on behalf of the Local Planning Authority. No further submissions are required. The Inspector will visit the site unaccompanied.

Any comments already made following the original application for planning permission (unless they are expressly confidential) will be forwarded to the Department and copied to the appellant and will be taken into account by the Inspector in deciding the appeal. There is no further opportunity for additional comments to be made by third parties, however, should you wish to withdraw any representations you have already made you should write direct to the Planning Inspectorate, 3D Eagle, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN.

Working together to sustain the landscape and life of the
North York Moors for both present and future generations to enjoy

The Old Vicarage, Bondgate, Helmsley, York YO62 5BP
01439 772700 general@northyorkmoors.org.uk
planning@northyorkmoors.org.uk northyorkmoors.org.uk



Our Ref:

2

Date: 08 March 2024

The Planning Inspectorate will not acknowledge your letter however; they will ensure that it is passed on to the Inspector dealing with the appeal. Once decided a copy of the appeal decision will be published on the [Planning Explorer](#) section of the Authority's website under the application reference number and on the [Gov.UK website](#). Guidance on the appeal process can also be found on the [Gov.UK website](#).

Should you have any further questions, please do not hesitate to contact the Authority.

Yours faithfully

Mark Hill

Mr M Hill
Head of Development Management

1. Fylingdales Parish Council

Mrs Wakefield

c/o Beacholme

Covet Hill

Robin Hoods Bay

YO22 4SN

Via Email: clerk@fylingdalespc.org.uk

2. EHO (Sca) 1

Commercial Regulation Team

via email: CRT.sca@northyorks.gov.uk

3. EHO (Sca) 2

Residential Regulation Team

via email:

residentialregulationteam@northyorks.gov.uk

4. Area Traffic Manager (Sca)

NYCC - Area 3 Whitby

Discovery Way

Whitby

North Yorkshire

YO22 4PZ

via email: area3.whitby@northyorks.gov.uk

5. Internal - Conservation

The Old Vicarage

Bondgate

Helmsley

York

YO62 5BP

via email: conservation@northyorkmoors.org.uk

6. Owner/Occupier

Bank Cottage

Raw

YO22 4PP

DESIGN & ACCESS STATEMENT

Version 1.0 Issued: 30 August 2023

Proposed extension to dwellinghouse Quarry Cottage, Raw, Whitby YO22 4PP



PCA_0047_D&S_v1.0

Town Farm House
9 High Market Place
Kirkbymoorside
York YO62 6AT
01751 269312
www.pcarchitect.co.uk

RIBA  **pca**

DESIGN & ACCESS STATEMENT

LOCATION

Quarry Cottage, Raw, Whitby YO22 4PP

DESCRIPTION

Construction of two storey extension (partially underground) along with the alteration of openings to the north west elevation, removal of a uPVC framed conservatory and replacement with timber framed conservatory to the south east elevation of existing dwelling

CLIENT/APPLICANTS

Mr & Mrs Metters
Quarry Cottage, Raw, Whitby YO22 4PP

AGENT

Patrick Cuddy Architect
Town Farm House, 9 High Market Place, Kirkbymoorside, York YO62 6AT
01751 269312
www.pcarchitect.co.uk

LOCAL PLANNING AUTHORITY

North York Moors National Park Authority
The Old Vicarage, Bondgate, Helmsley YO62 5BP
01439 772700
www.northyorkmoors.org.uk

PLANNING PORTAL REFERENCE

PP-12116845

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

1.0 Introduction

1.1 This Design & Access Statement is prepared to accompany a householder planning application to the North York Moors National Park Authority under the Town and Country Planning Act 1990 for an extension, replacement conservatory and replacement windows to Quarry Cottage on behalf of the applicants, Mr & Mrs Metters, upon the land outlined in red on the site location plan (drawing EX_001).

1.2 The statement is prepared by Patrick Cuddy who is a chartered architect and registered with the Architect's Registration Board to practice as an architect under the Architects Act 1997. The drawings accompanying the application have also been prepared entirely by Patrick Cuddy (PCA).

1.3 The list of documents forming the application is as follows:

Ref	Name/Description	Prepared by
-	The completed application form and ownership certificates	PCA
EX_001	Existing Plans	PCA
EX_002	Existing Elevations & Section	PCA
PL_001	Proposed Plans	PCA
PL_002	Proposed Elevations & Sections: Sheet 1	PCA
PL_003	Proposed Elevations & Sections: Sheet 2	PCA
PL_004	Proposed Sketch Images	PCA
PCA_0047_D&A_v1-	Design & Access Statement	PCA

1.4 Unless stated otherwise, all the photographs or illustrations contained in this Design & Access Statement were taken or produced by Patrick Cuddy.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings

2.0 Site

2.1 Quarry Cottage is a dwelling located off the unclassified road (U2349/1/30) known as Shop Hill in the hamlet of Raw within the North York Moors National Park. The Cottage is situated in the northern portion of the site. Also on the site is a detached residential annex, a store/shelter and a livestock building, located to the west and south west of the dwelling respectively. Refer to Figs. 1 and 2.

2.2 Raw is a hamlet that stretches along the U2349 as it climbs to meet the A171 Scarborough to Whitby road. The Shop Hill winds around the north eastern corner of the Applicants' land climbing to a vehicular access serving both Quarry Cottage and its neighbour Bank Cottage. Although a hamlet, the settlement is sometimes described as a village due to the proximity of St Stephen's Church which is the former parish church of Fylingdales.

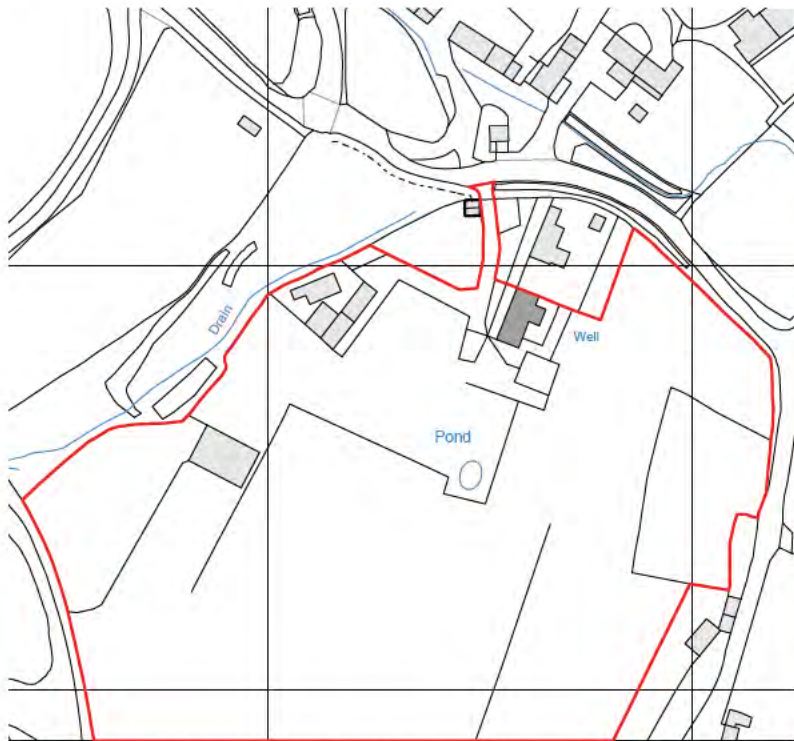


Fig. 1: Site Location (not to scale). Extract from the Site Location Plan. Crown Copyright and database rights Ordnance Survey licence number 100041041.



Fig. 2: Satellite image showing site location. A = Quarry Cottage, B = Annex & lean-to shelter, C = Field shelter, D=Livestock shelter. Image credit: Google Maps.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.3 The site, comprising a smallholding extending to some 2.049 hectares (measured using Ordnance Survey data), including the cottage, barns and a residential annex along with other small ancillary structures, was purchased by the Applicants in 2020 for £585,000. Refer to Fig. 3 for the extent of land in addition to Quarry Cottage and its domestic garden.

2.4 The land has been used in the past to produce haylage and graze livestock and the Applicants currently keep animals for recreation purposes, resulting in some produce for their own use - refer to Section 5.

2.5 The overall site broadly slopes from the west and north-west down to the east with the Cottage built into the slope where the gradient is steeper. Viewed from the north west within the site only the upper floor and roof of the Cottage is visible, whereas from Shop Hill to the south east the view of the Cottage is limited - refer to Figs 5, 6 and 18.

2.6 The wider site is enclosed by a combination of mixed native hedges, timber fences of various types, as well as stone walls. The majority of trees are to the eastern portion of the site, with the majority of land used as pasture for domesticated animals as mentioned previously.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings



Fig. 3: Extract from one of the Deeds Plans showing the extent of ownership to the south west, Quarry Cottage indicated by red dot. Not to scale. Image credit: Applicant.

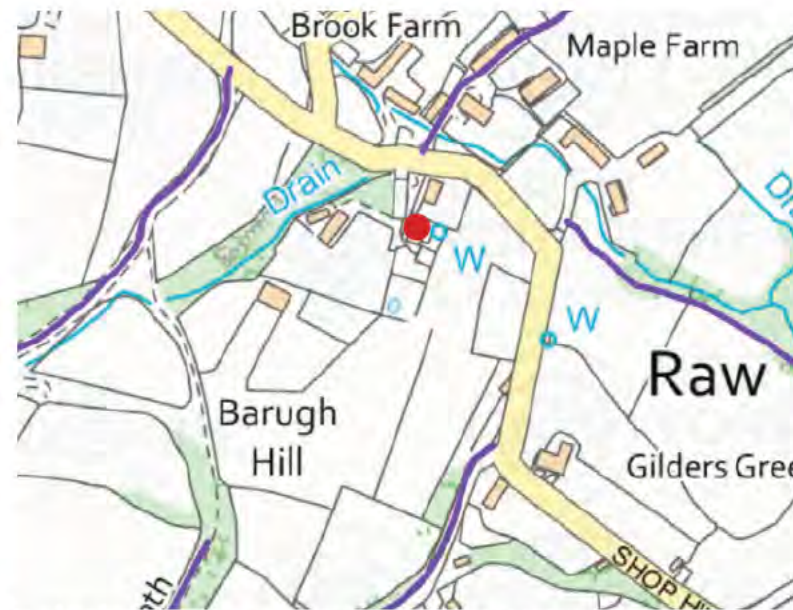


Fig. 4: Extract from the online map of Public Rights of Way. PROWs indicated by purple lines, Quarry Cottage indicated by red dot. Image credit: North Yorkshire Council.



Fig. 5: View looking north-west from Shop Hill towards Quarry Cottage. The land in the foreground belongs to Quarry Cottage. Image credit: Google Streetview.



Fig. 6: View looking west from Shop Hill up towards Quarry Cottage on the left and Bank Cottage on the right. Image credit: Google Streetview.



Fig. 7: Drone view from the south looking north with the slate roof of Quarry Cottage staning out against its neighbours. Image credit: Richardson & Smith Estate Agent.



Fig. 8: Drone view from the south looking north east showing Quarry Cottage front right with the residential annex beyond. Image credit: Richardson & Smith Estate Agent.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.7 The nearby redundant sandstone quarry to the west of the site may have had a connection to the Cottage (the estate agent's sales particulars described it as a redundant quarryman's cottage) other than just the name, but the quarry ceased operation sometime after the 1853 version of the Ordnance Survey Six Inch Scale map and prior to the publication of the next issue. It is possible, if not highly likely, that the stone for the Cottage as well as other buildings in the vicinity came from this local quarry.

2.8 There are no Public Rights of Way on or across the site, although there are two footpaths that skirt the land and a third that approaches it but stops short. Due to the nature of the topography however, there are a few, in any, opportunities to view Quarry Cottage itself. Refer to Fig. 4.

2.9 There are mid to long distance views to the south-east towards Robin Hood's Bay from most points on the site although the views are more expansive from the higher ground beyond the cottage. Refer to Fig. 9.

2.10 The site lies entirely within Flood Zone 1 according to the Government's online Flood map for planning service, which is an area with a low probability of flooding from rivers or the sea. Refer to Fig. 10.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings



Fig. 9: View looking east towards the Annex with Quarry Cottage beyond to the right. Image credit: Richardson & Smith Estate Agent.



Fig. 10: Flood map for planning showing the site is in Flood Zone 1 - an area with a low probability of flooding from rivers or the sea. Image credit: www.gov.uk.



Fig. 11: Extract from Ordnance Survey Six Inch Series 1853 Edition (not to scale), surveyed 1848-1849, published 1853. Image credit: National Library of Scotland.



Fig. 12: Extract from Ordnance Survey Six Inch Series 1895 Edition (not to scale), surveyed 1892, published 1895. Image credit: National Library of Scotland.



Fig. 13: Extract from Ordnance Survey Six Inch Series 1914 Edition (not to scale), revised 1910, published 1914. Image credit: National Library of Scotland.



Fig. 14: Extract from Ordnance Survey Six Inch Series 1952 Edition (not to scale), revised 1950, published 1952. Image credit: National Library of Scotland.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.11 From a study of historic Ordnance Survey maps, a building has stood on the site since before 1850. Refer to Figs. 11-14 on the previous page for extracts from the Six Inch Series maps spanning the period from 1853 to 1952.

2.12 The first edition of the Six Inch maps (Fig. 11) indicates a single structure extending across the area now covered by both Quarry Cottage and Bank Cottage along with the land in between. It is not clear whether this was the case or an error in surveying, as the next edition published in 1895 (Fig. 12) indicates two separate buildings and this remains the situation up until the present day.

2.13 The twenty-five Inch Series maps offer more detail, refer to Figs. 15 and 16, indicating that there are structures attached to the south west of Quarry Cottage. These structures are subsequently indicated on the drawings accompanying planning applications in 1974, approved in 1975, and also in 2003 - refer to Section 3 for further information.

2.14 The wider site attached to Quarry Cottage is substantially larger than when the house was built. The 1893 version of the Ordnance Survey Twenty-Five Inch series map - refer to Fig. 17 on the following page for a larger scale image - indicates access from Shop Hill via a path along the back of Bank Cottage and Quarry Cottage with only a small parcel of land attached to Quarry Cottage to the south east. All of the land surrounding Quarry Cottage appears to be attached to Bank Cottage including the barn that is now annex accommodation attached to Quarry Cottage, therefore Quarry Cottage may have been subservient to Bank Cottage, which was the larger of the two dwellings.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings



Fig. 15: Extract from Ordnance Survey Twenty-five Inch Series 1893 Edition (not to scale), surveyed 1892, published 1893. Image credit: National Library of Scotland.

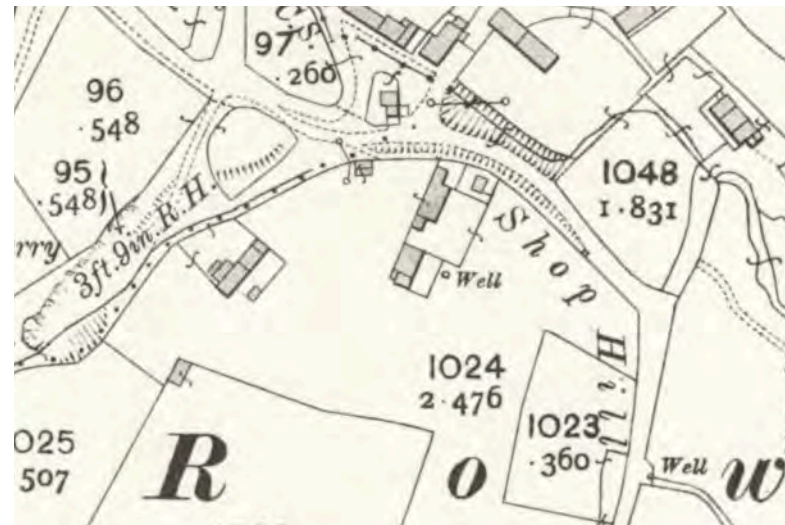


Fig. 16: Extract from Ordnance Survey Twenty-five Inch Series 1913 Edition (not to scale), revised 1910, published 1913. Image credit: National Library of Scotland.

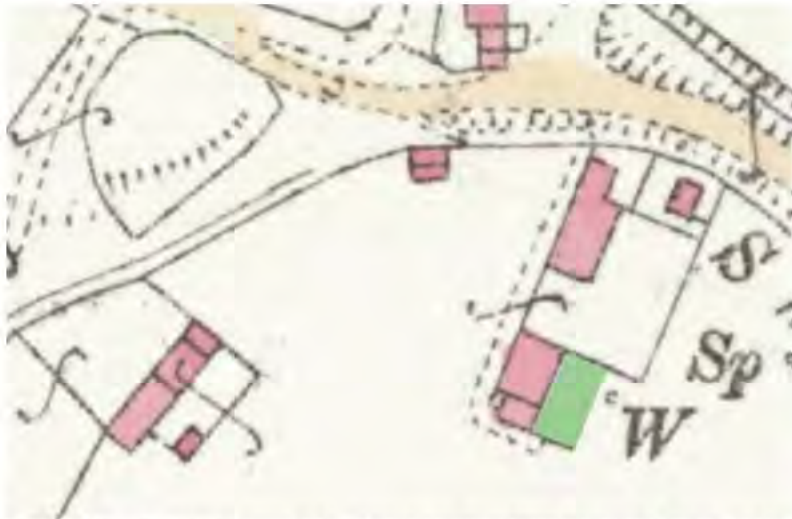


Fig. 17: With reference to item 2.14, extract from the 1893 25 Inch O.S. map (not to scale), with land attached the Quarry Cottage tinted green. Image credit: N.L.S.



Fig. 18: View of the north-west elevation (rear) of Quarry Cottage from the drive. Image credit: Mr & Mrs Metters.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.15 A search carried out on the Government's online Magic mapping tool reveals that the land bounding the Applicants' land to the west is registered common land under the control of Fyling Court Leet, part of which is designated as a Site of Special Scientific Interest (SSSI). At its closest point, the SSSI is approximately 270m from the north-west corner Quarry Cottage. Refer to Figs. 20 and 21 on the following page.

2.16 Quarry Cottage is a two storey dwelling of squared coursed local sandstone under a slate roof, rather than a pantiles of most buildings in the area. There is an early 21st century extension to the south west of the original building replacing lean-to structures that probably housed ancillary accommodation such as a wash house. The stone to both the original building and the extension has herringbone tooling and the original gables have stone water tabling and kneelers, a detail replicated on the extension. The white uPVC conservatory to the south east (front) elevation is more prominent than the larger conservatory attached to the front of the neighbouring Bank Cottage, which has timber effect brown uPVC framing. The exact date of construction of the conservatory is not known, with the possible date range being between 1975 and early 2003. The windows and doors are all white uPVC framed casement windows in a combination of fixed lights with top hung hoppers or side hung casements with top hung hoppers. Rainwater goods and external waste water pipework are black plastic with the exception of those to the conservatory which are white plastic. The single remaining chimney stack is rendered with a tall single buff clay pot, while its partner to the north east gable was removed following approval of the planning application in 1975. The domestic garden area is terraced and lies to the front (south-east) of the Cottage.



Fig. 19: View looking north east along the south east elevation (front) with uPVC framed conservatory. Contrast with the image in Fig. 33.

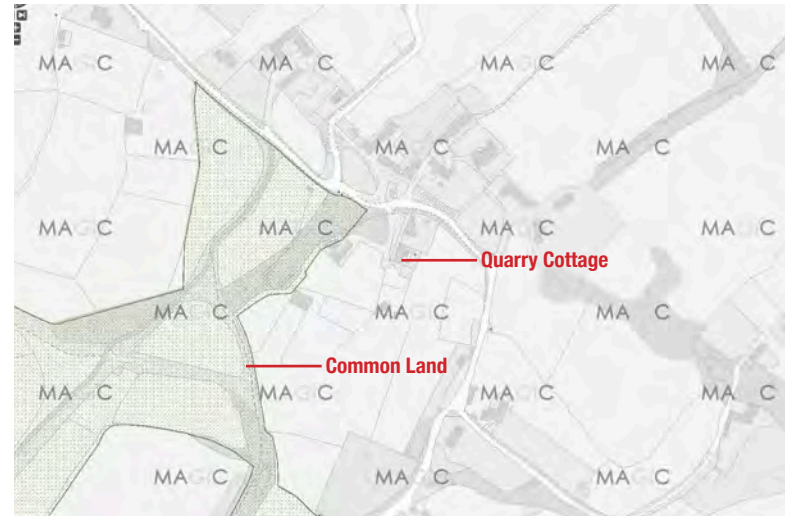


Fig. 20: Extract from the DeFRA Magic map showing the Registered Common Land (green shading) adjacent to the Applicant's land. Image credit: magic.defra.gov.uk.

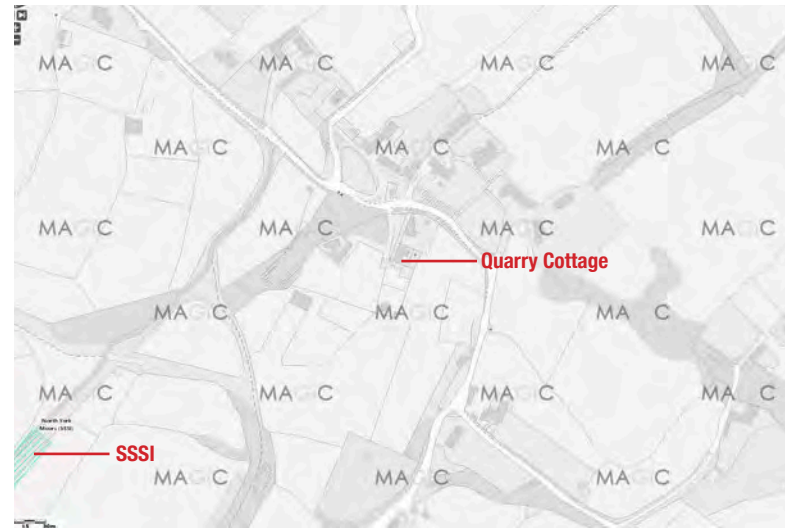


Fig. 21: Extract from the DeFRA Magic map showing the SSSI (green hatching) near, but not adjacent to, the Applicant's land. Image credit: magic.defra.gov.uk.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

2.17 The level difference between the parking area and the entrance level is 2.625m and is initially negotiated by a sloping path, then through a gate and down slightly uneven sloping steps followed by a turn left and a flight of more regular steps. In very wet or icy conditions these can be difficult to negotiate and even more so if carrying items such as shopping or other bulky or unwieldy items. Refer to Figs. 22 and 23.

2.18 After negotiating the route described above, the dwelling entrance is via the conservatory on the south east elevation, with a secondary access to the rear of the extension built in 2003. Neither access point is satisfactory and the access situation is inconvenient to say the least and borders on dangerous at times. The planning application approved in 1975 addressed this issue to some extent by introducing an entrance at a higher level to the rear, but this was not implemented - refer to Section 3.



Fig. 22: View looking south to the bottom section of the access route from the parking area to the dwelling.



Fig. 23: View looking north-west to the access route from the parking area to the dwelling. Image credit: Richardson & Smith Estate Agent.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings



Fig. 24: View looking to the south-west corner of Quarry Cottage.



Fig. 25: View looking east to the rear of Quarry Cottage from the parking area, highlighting the significant level change.



Fig. 26: View looking along the rear elevation showing the retaining wall to the left and the extension approved in 2003 immediately to the right.

Project Details

- 1 Introduction
- 2 Site**
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

3.0 Planning Background

Project Details

3.1 Planning History

1 Introduction

3.1.1 A search of NYMNPA's online planning records has established that the following planning applications are associated with the site:

2 Site

40290035	Extension and general improvements	Approved 1975	*Not implemented
40290035A	Erection of a two storey side extension	Approved 2003	Implemented
40290490	Restoration of barn and erection of timber field shelter	Approved 1998	Implemented
40290490A	Erection of a 2-bay timber storage/shelter, the re-siting of a previously approved timber field shelter and the siting of an LPG tank	Approved 1998	Implemented
40290490B	Erection of a livestock building	Approved 2001	Implemented
NYM/2012/0458/FL	Conversion of barn to form ancillary residential accommodation	Approved 2012	Implemented

3 Planning Background

4 Planning Policy

5 Proposals

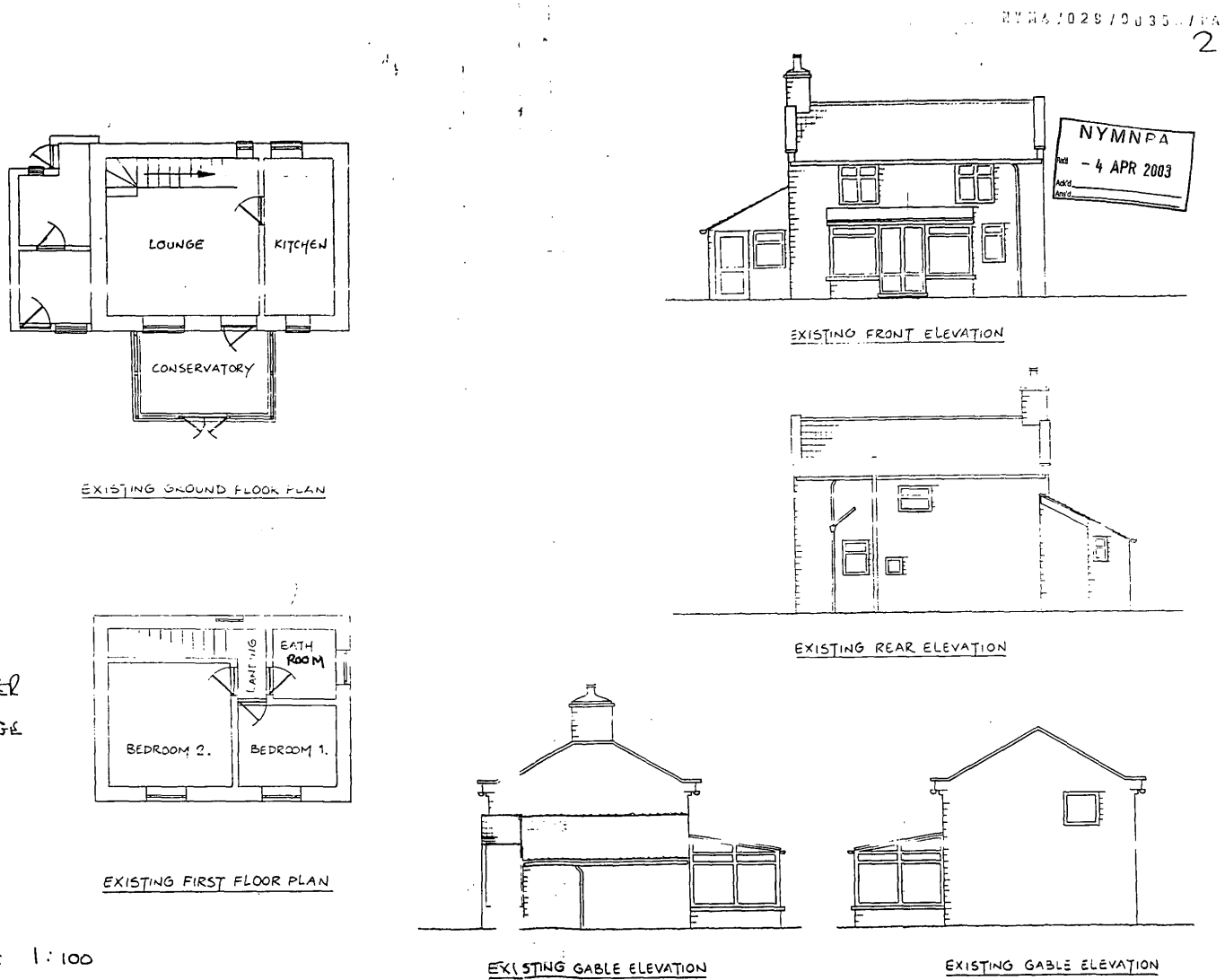
6 Drawings

3.1.2 The drawings contained within the Authority's planning files for 40290035 and 40290035A are shown in Figs. 27-29 on the following pages.

3.1.3 *Application 40290035 approved in 1975 - refer to Fig. 27 on the next page - appears not have been implemented with the exception of the removal of the chimney stack to the north east elevation and the later enlargement of the kitchen window. Removal of the stack occurred prior to the submission of the 2003 application and the window appears to have been enlarged after the approval of the 2003 application - refer to Figs. 22-24 on the following pages.

3.1.4 The 1975 approval allowed for extensions to the south-west and south-east elevations, along with extensive alterations of the building including raising the roof, removal of the gable water tabling and formation of dormer windows to the south-east elevation. The proposal addressed the issue of the poor access from the higher ground by introducing an entrance mid-way between ground and first floor levels as part of the extension to the south-west elevation.

3.1.5 A drawing of the existing situation could not be found in the planning file for 40290035, but the proposed plans highlight the removal of existing structures to the south-west elevation along with a greenhouse to the south-east. The presence of such structures would tally with the Twenty-five Inch Scale Ordnance Survey Maps of 1893 and 1913 - refer to Figs. 15 and 16.



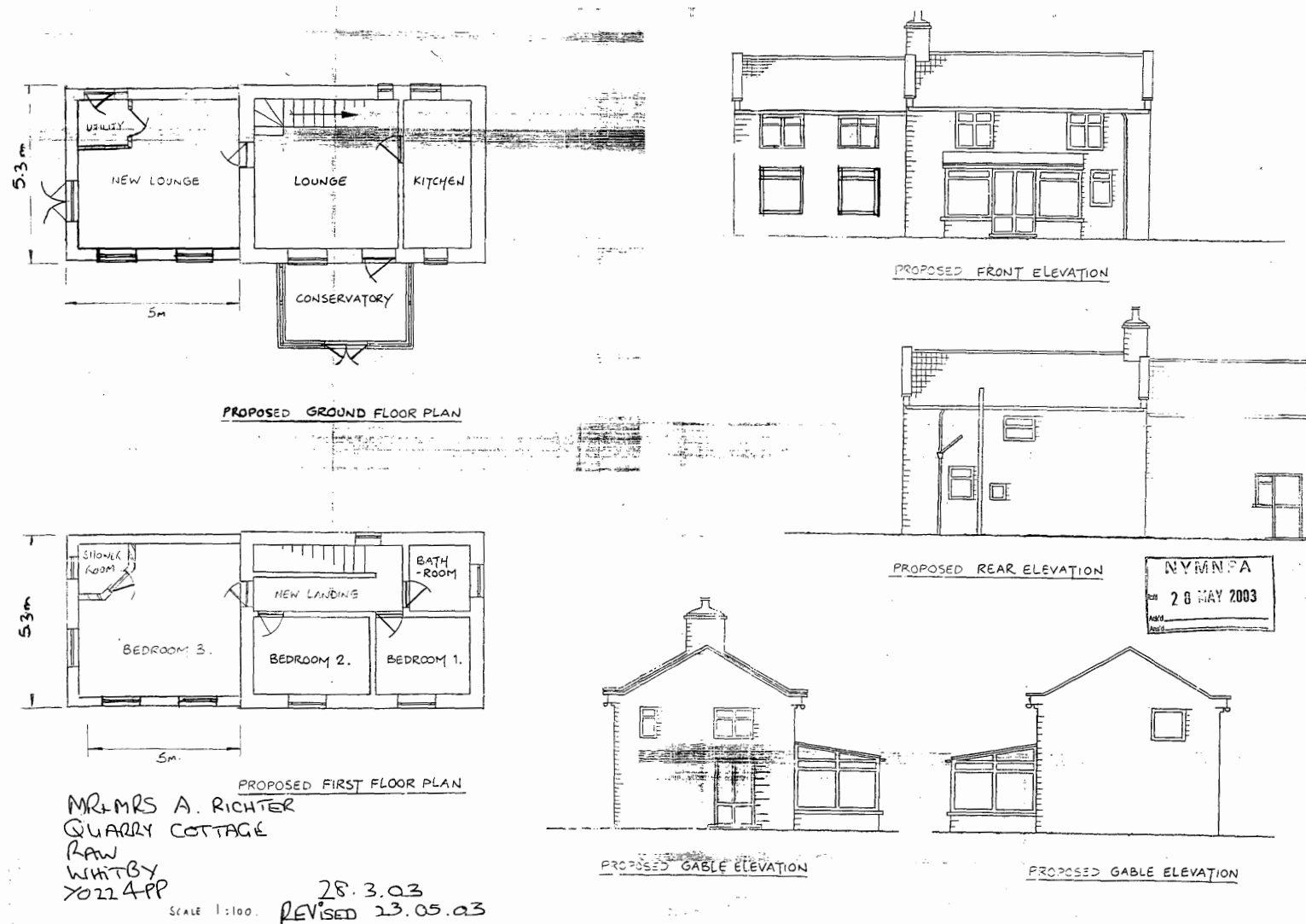
MR & MRS A RICHTER
QUARRY COTTAGE
RAW
WHITBY
YO 22 4PP
28.3.03

SCALE 1:100

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background**
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

Fig. 28: Application 40290035A. Existing plans and elevations submitted for application 40290035A. With reference to the earlier approval, note that according to this drawing the chimney stack to the north east elevation has been removed but the kitchen window has not been enlarged.



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background**
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

Fig. 29: Application 40290035A. Scheme approved in 2003, however the as-built scheme incorporated some minor amendments to fenestration and internal layout.

3.1.6 The existing plans and elevations submitted with application 40290035A, refer to Fig. 28, corroborate the earlier application drawings and the Ordnance Survey Maps, although it does not specify a use for the spaces to the south west elevation. The drawings indicate an external access to the structures on the south west elevation.

3.1.7 The sketch - Fig. 31 - on the following page shows the development phases of Quarry Cottage based on Ordnance Survey maps and the drawings submitted with planning applications 40290035 and 40290035A, along with the current Permitted Development Rights and the proposals submitted in this application.

3.1.8 As mentioned previously, it is not known when the conservatory was constructed and the potential timescale for its construction spans almost twenty years. There is no record of a planning application and it may be that it was considered to be Permitted Development at the time. This is perhaps backed up by a note in the Authority's file for planning application 40290035, that referred to the Cottage as not having a frontage with the road.

3.2 Pre-application engagement

3.2.1 In line with the advice of paragraphs 39 to 41 of the NPPF 2021, early engagement with the LPA took place in the form of a pre-planning application enquiry (NYM/2020/ENQ/17140) submitted by the Applicants. A response was issued by the LPA on 26 November 2020 with additional advice being provided shortly afterwards on 4 December 2020. As such the Applicants have engaged with the LPA and taken a pro-active approach to the development process.

3.2.2 The pre-application response highlighted policy CO17 that would preclude a further extension but stated that Permitted Development Rights would allow an extension to the rear of the dwelling. The response confirms that the south east-elevation is considered to be the principal elevation.

3.2.3 The response also encourages the removal of the existing conservatory and replacement with a smaller porch structure, however the conservatory has been present in excess of twenty years without a known objection and, although it is unheated it is important as to how the Applicants currently use the house, furthermore it is integral as to the current proposals.

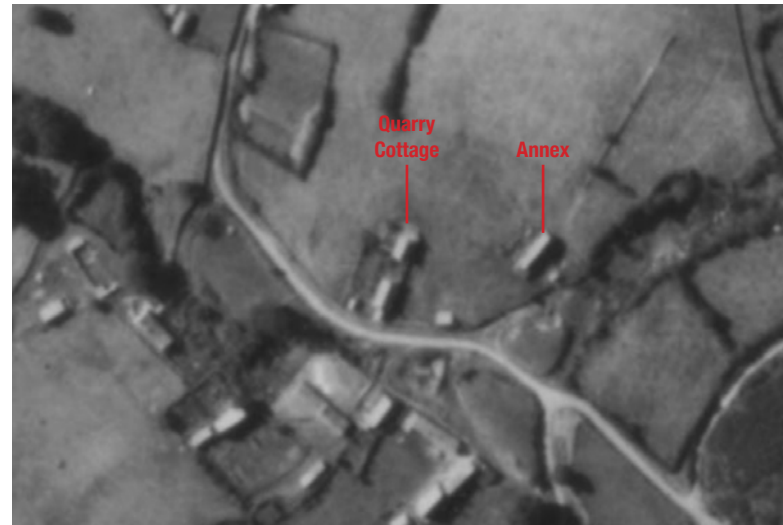
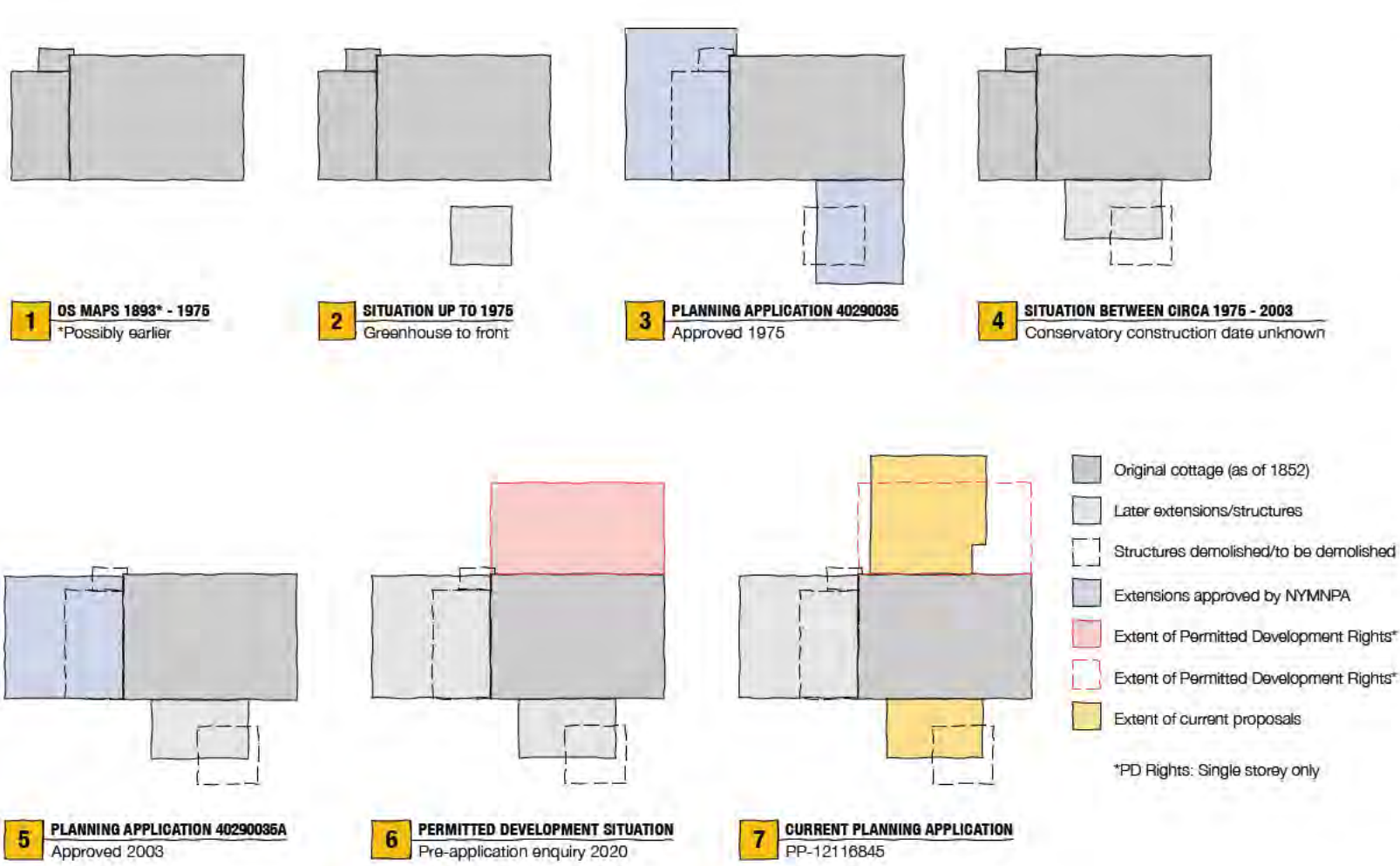


Fig. 30: Extract from an aerial photograph taken by the R.A.F. on 27 August 1946. Image credit: historicengland.org.uk.

	Project Details
1	Introduction
2	Site
3	Planning Background
4	Planning Policy
5	Proposals
6	Drawings



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background**
- 4 Planning Policy
- 5 Proposals
- 6 Drawings

Fig. 31: Sketch showing development phases including approved planning applications, current permitted development rights and the proposals under consideration including the replacement conservatory.

4.0 Planning Policy

Project Details

4.1 Planning Policy Context

1 Introduction

4.1.1 The Planning and Compulsory Purchase Act 2004 and the Town and Country Planning Act 1990.

2 Site

4.1.2 The National Planning Policy Framework (2021).

3 Planning Background

4.1.3 The Local Plan of the North York Moors National Park was adopted in July 2020.

4 Planning Policy

4.2 Planning and Compulsory Purchase Act 2004 and the Town and Country Planning Act 1990

5 Proposals

4.2.1 The Planning and Compulsory Purchase Act 2004 carries forward the provisions of the Town and Country Planning Act 1990, giving statutory force to a plan-led system of development control.

6 Drawings

4.2.2 Under Section 70 of the 1990 Act and section 38 (6) of the 2004 Act, the determination of planning applications must be in accordance with the approved Development Plan unless material considerations indicate otherwise

4.3 National Planning Policy Framework 2021 (NPPF)

4.3.1 The NPPF sets the policy framework against which LPAs in England must formulate their local plans and places the responsibility on the LPA for making planning decisions against that criteria “*unless material considerations indicate otherwise*”, as stated in paragraph 47. The current version of the NPPF took effect in 2021.

4.3.2 The NYMNPA Local Plan was adopted in 2020 and was drawn up in line with an earlier version of the NPPF, but the central thrust of of the NPPF is “**a presumption in favour of sustainable development**” [NPPF emphasis], which remains from earlier versions. It is against this theme that the Local Plan was drawn up.

4.3.3 Paragraph 11 of the NPPF includes the following with regards to decision-making on applications: “*approving development proposals that accord with an up-to-date development plan without delay*”.

4.3.4 Paragraph 78 provides advice on rural housing. It states that “*in rural areas, planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs*”.

4.4 North York Moors National Park Authority: Local Plan adopted 2020

4.4.1 Within the adopted Local Plan the Strategic Policies set out framework as to how the long term goals of the Plan are to be achieved. Of the thirteen policies it is C and M that are most pertinent to this application, whilst A, B, F, G and H are also touched upon to some extent.

4.4.2 Strategic Policy A - Achieving National Park Purposes, highlights the two statutory purposes of the National Park planning policy with the need “to conserve and enhance the natural beauty, wildlife and cultural heritage of the National Park” taking precedence. Within the policy it is stated that “a positive approach to new development will be taken” with reference to the NPPF and the definition of sustainable development in seven points.

4.4.3 Strategic Policy B - The Spatial Hierarchy, sets out a settlement hierarchy that guides development within the Park. Within that hierarchy Raw sits within the Open Countryside, whereby development is to be allowed only where it meets specific criteria, however householder development is not included in the list as it is dealt with by Strategic Policy M.

4.4.4 Strategic Policy C - Quality and Design of Development in the adopted Local Plan sets out the basic requirements of all development proposals and the points are expanded upon within specific policies and also with the Authority’s Design Guide, which is Supplementary Planning Guidance. The primary policy to control alterations and extensions to existing dwellings within the Park is Policy CO17 contained within Strategic Policy M.

4.4.5 Strategic Policy F - Climate Change Mitigation and Adaptation, the policy aims to require new development to be “resilient to and mitigate the effects of climate change” and although not strictly applicable to this application the proposals put forward here will reduce the amount of energy required through upgraded building fabric and making use of solar gain. These will also assist in moving towards the use of renewable energy for the dwelling.

4.4.6 Strategic Policy G - Landscape. The site is within an area designated under the 2021 Landscape Character Assessment as the Whitby - Cloughton Coastal Hinterland. The proposals to the rear of the Cottage will have a very low impact on the surrounding landscape with only intermittent views along the PROW (30.36/654/1) to the north west and a partial view from Shop Hill looking south west along the drive. The proposed extension does not encroach onto the wider site utilising an underused sloping strip of land to the rear of the existing house. The proposed replacement conservatory to the front of the Cottage is to be constructed of timber utilising the existing stone plinth and the materials will provide a much less jarring colour contrast to that of the existing uPVC, thus reducing the impact on the landscape.

4.4.7 Strategic Policy M - Housing. This sets out the criteria against which new housing of all types, replacement housing and provision for Gypsy, Roma and Travelling communities will be required to meet and also includes provisions for work to extend or alter existing dwellings.

Project Details

1 Introduction

2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings

4.4.7.1 Policy CO17 - Householder Development. This is the key policy in controlling extensions and alterations of existing dwellings and the Policy carries over much of the text from the 2008 Development Policy 19 on householder development, but with the significant addition of a limit on new floor area unless *“there are compelling planning reasons in favour of larger extension”*.

4.4.7.2 CO17 1. - Character & Form. The form the dwelling and 2003 extension to the south west are traditional with the extension carrying through the aesthetic and detailing of the original building. The proposed extension takes on a gabled form but simplifies and separates it from the main building with a contrasting linking structure.

4.4.7.3 CO17 2. - Residential amenity. The neighbouring property is orientated in the same way as Quarry Cottage thus minimising the impact on that dwelling and its amenity space and there are no proposed windows overlooking it. The size of the Applicants’ overall site results in a negligible loss of amenity space to Quarry Cottage. Furthermore, the siting of the extension does not impact on the parking and turning arrangements for vehicles.

4.4.7.4 CO17 3. - NYMNPA Design Guide. The principles outlined in the Authority’s Design Guide should be followed. The need to provide a usable access prompted a design approach that allowed the problem of extremely low eaves heights to be overcome by replicating the simple form of the gable, extruding it, pulling it away from the host building and then linking it with a simple flat roof structure. To denote a new chapter in the building’s story a stripped back aesthetic with complimentary and contrasting materials has been utilised. Section 3.2 of the Authority’s Design Guide Part 2 suggests that a linking structure may be appropriate where the design of the extension is contemporary in nature.

4.4.7.5 CO17 a) introduces the 30% limit, with the requirement that any extension be clearly subservient to the main part of the building. The issues with levels and low eaves heights make this tricky to achieve whilst maintaining usable space inside. The north-west elevation presents a single storey building to the viewer that very much has the characteristics of a back elevation, without symmetry or significant architectural details (water tabling and kneelers aside). The proposed extension is subservient and the approach outlined in the previous item allows this to be emphasised by the differing architectural language, detailing and materials. This approach responds positively to the criteria set out in the subsequent item within the Local Plan: CO17 b) whereby *“the design and detailing should compliment the architectural form and character of the original dwelling and any new roofline should respect the form and symmetry of the original dwelling”*.

4.4.7.6 The 30% limit on increased floor area set by Policy CO17 was surpassed on Quarry Cottage with the construction of the 2003 extension, although at that time there was no explicit limit on the size of extensions. However, as confirmed in the Pre-planning application enquiry response, extant Permitted Development Rights would allow construction of an extension - a potential increase in floor area of 26.53m², resulting in an overall increase of 103.2% over the original floor area, although this is restricted to a single storey. Most importantly, despite the additional space, it would not resolve the issue of safe access to the dwelling avoiding the external sloping path and steps. The proposal submitted here would add a further 39.42m² to the current floor area an overall increase of 121.4% over the original floor area.

Project Details

1 Introduction

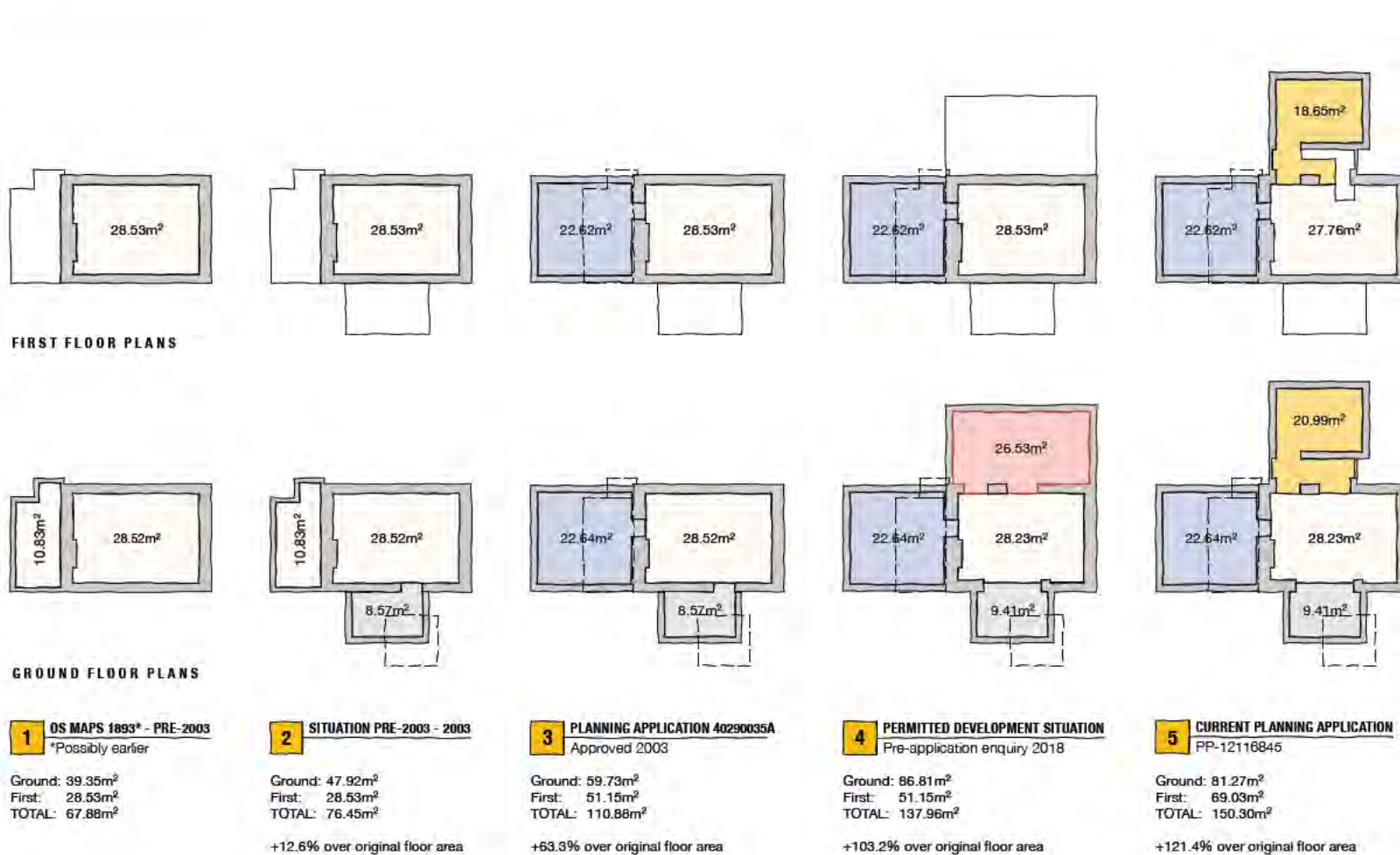
2 Site

3 Planning Background

4 Planning Policy

5 Proposals

6 Drawings



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings

Fig. 32: Sketch showing the incremental increases in floor area culminating with this application and including the area that would be allowed under extant Permitted Development Rights. The extension under Permitted Development Rights would have a flat roof in order for it to come under the height restriction within 2m of a boundary.

4.4.7.7 On the previous page, Fig. 34 shows a sketch demonstrating the increase of floor area over time. Although not illustrated in Fig. 34, the extensions approved under 40290035 in 1975 would have added approximately 57.2m² (84.2%) to the original floor area and allowed alterations that would have changed the character of the building considerably.

4.4.7.8 Explanatory paragraph 7.87 gives the reasoning behind limiting the size of extensions and states “*Limiting the size of new extensions can avoid the loss of smaller more affordable dwellings.....*”. The Local Plan provides a definition (Appendix 4 - Glossary) of what constitutes affordable housing which corresponds with the NPPF, but the Local Plan does not include a definition of what constitutes an open market “*affordable dwelling*”. Quarry Cottage is an open market dwelling.

4.4.7.9 As at June 2023 the Office for National Statistics (ONS) published on its web site that the average house price in England was £304,000, with the UK average being £288,000 and the Yorkshire and the Humber average being £209,000 (source: ons.gov.uk). In all probability these will have fallen in recent months but not by a significant amount. In item 2.3 of this Statement, it was highlighted that the purchase price of Quarry Cottage was £585,000 in 2020 - in June 2020 the average house price in the Yorkshire and Humberside region was £168,000 (UK: £235,000; England: £251,000).

4.4.7.10 In its bulletin entitled Employee Earnings in the UK: 2022 published in October 2022, the ONS states that the median weekly income in the UK is £640 per week, or £33,280 per annum (gross), for full time employees. Using the mortgage calculator provided on the web site of the Halifax Bank (calculator.halifax.co.uk), a joint application with both applicants earning the median annual income and with no other outstanding debts, a mortgage of £316,160 could be obtained by a first time buyer. To purchase Quarry Cottage at its 2020 price the buyer would require a deposit of £268,840. Using the increase in property prices outlined in the previous item the price as of June 2023 would be around £708,000. Should the proposals be approved and implemented the value of the house may increase to some extent, but given the current price, an affordable dwelling would not be lost to the housing mix within the Park, avoiding a conflict with the reasoning behind Policy CO17.

4.4.7.11 With reference to item 2.15, the land attached to Quarry Cottage has increased significantly since that time, whilst the Cottage has remained relatively modest in its size and accommodation in comparison to the land it serves. The 2003 application added a third bedroom and a living room along with small ancillary spaces, but in doing so reduced the size of the larger of the remaining bedrooms.



Fig 33: Computer generated image looking along the south-east elevation (front) with replacement timber framed conservatory. Contrast with the image in Fig. 19.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings

4.4.7.12 This application does not seek to increase the number of bedrooms as the smaller of the two bedrooms, which can only accommodate a single bed, is to be converted to a home office. A significant portion of the new accommodation is below ground and not visible from almost any vantage point. These themes are expanded upon in Section 5.

4.4.7.13 Again with reference to explanatory paragraph 7.87, the Local Plan does not include a definition of what constitutes a “smaller” dwelling by way of a stated floor area or by the number of bedrooms. Assuming that the intention is that a smaller dwelling has no more than 3 bedrooms, then such a dwelling would not be lost to the housing mix within the Park by the proposals, despite the increase in floor area, so again there is no conflict with the reasoning behind Policy CO17.

4.4.7.14 To conclude this section it is accepted that there is a pressure for change within the Park and that incremental extensions can harm the character of an area leading to a loss in the mix of dwellings needed to sustain balanced communities, but the specific factors of this application - topography, siting of the dwelling, poor access to the existing dwelling and scale of land attached to the dwelling - would not significantly harm the objectives of the Park, nor undermine the aim to maintain smaller more affordable dwellings within the Park.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy**
- 5 Proposals
- 6 Drawings



Fig. 34: Computer generated image looking south-east from within the site towards the extension.

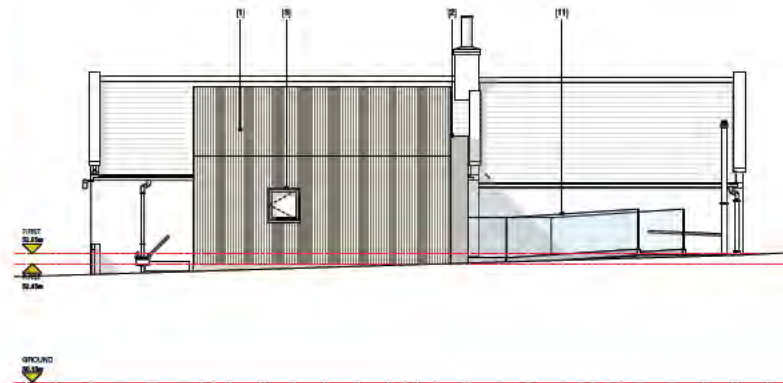


Fig. 35: Extract from PL_003 Proposed Elevations and Sections: Sheet 2 showing the north-west elevation

5.0 Proposals

5.1 Introduction

5.1.1 The application is seeking planning permission for a replacement structure to the front elevation (on the same footprint and using the existing walls) and a two storey extension to the rear that will provide a new access to the dwelling. In addition replacement side hung flush casement windows are proposed, which are more in tune with the original dwelling than the current uPVC stormproof casement windows.

5.2 Context & Background

5.2.1 Among the attractions of the site to the Applicants were the rural location, the amount of land attached to dwelling and the divisions it offered for their animals, e.g. pond, barns, fenced pasture land, along with direct access to the moors.

5.2.2 The Applicants have rural backgrounds, with one having a career that started in animal sciences, teaching at an agricultural college for a number of years and who is now the principal of a local further and higher education college; while the other is from a farming family and is a senior veterinary nurse at a local veterinary practice.

5.2.3 The Applicants have a large number of animals namely, three horses, three alpacas, two goats, six cats, five dogs and a number of ducks, chickens, peacocks and turkeys. Some of the animals have health conditions including “a rescue duck with a bad leg, a cat with very specialised and life dependent care needs along with all of the dogs and cats have been rescued from euthanasia, RSPCA cruelty cases, abandonment etc”. This collection may soon be expanded by the addition of sheep that would assist with management of the pasture land.



Fig. 36: Computer generated isometric view of the proposal put forward in this application.



Fig. 37: Computer generated view of the front of Quarry Cottage showing the replacement conservatory and windows. Compare with Fig. 24.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

5.3 Brief

5.3.1 There are a number of issues that the Applicants' require to be addressed by the design:

- Poor access and lack of a front door
- External and internal levels (linked to access)
- Small kitchen
- Extremely small utility
- Lack of storage for general items and also groceries/food
- Compromised living space due to the location of the WC and Utility
- Small second and third bedrooms, the former only just being able to accommodate a double bed and the latter just accommodating a single bed - both exacerbated by the low eaves heights resulting in a lack of usable storage space
- Lack of a contained space for working from home
- The need to be able to separate the cats and dogs within the dwelling
- Lack of thermal insulation
- Little connection to the landscape beyond

5.3.2 In addition to the above requirements the existing structure provides additional complicating factors:

- Very low eaves height of the existing building in relation to the first floor level
- An existing roof truss located close to the head of the existing staircase. A design that involved removing or altering the truss would probably require the removal and replacement of the whole roof over the original dwelling.

5.3.3 As mentioned previously, the location of the existing access into the dwelling poses problems at all times, but especially during inclement weather and makes handling of large or unwieldy items brought or delivered to the dwelling particularly difficult. The Applicants' parents have all fallen at some point whilst negotiating the steps, therefore any design needs to address this issue.



Fig. 38: Computer generated view of the rear showing the proposed bridge access to the first floor level.



Fig. 39: Computer generated view of the south west elevation of Quarry Cottage showing the bridge and extension to the rear.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

5.4 Design

5.4.1 Taking the front elevation first. The unsympathetic uPVC framed conservatory is to be replaced with a purpose designed timber framed glazed structure, with a flat roof and flat roof lantern. This will act as the secondary entrance and will allow the Applicants' dogs and cats to be separated. By enlarging the openings in the existing wall it will also allow the flexibility to increase the space of the open plan kitchen and dining space and provide a connection to the landscape beyond. Furthermore, by retaining a glazed structure, enlarging the openings between the conservatory and Dining/Kitchen space and the installation of a glazed sliding door it offers the opportunity to make use of the potential for passive solar gain on that side of the dwelling, thus reducing the reliance on fossil fuels (with reference to Strategic Policy F). As such the replacement conservatory is integral to the design and not an afterthought.

5.4.2 Various configurations were sketched to address the circulation issues and a solution was arrived at that wraps new staircase around part of the existing rear wall of the dwelling and allows the internal spaces to opened up. It allows height to be introduced at the rear and thus light to be brought into an area that is currently quite gloomy. The new entrance is at the head of the staircase shortening the circulation route enormously and bringing it inside where it is dry and safe in stark comparison to the existing route. This also avoids wasting space on internal circulation routes such as corridors.

5.4.3 At the moment the distance from the car parking area to the main bedroom door and back again is a circuitous 88m or so. With the entrance this distance is reduced to a much more direct 20m without the need to negotiate a slope, steps and a flight stairs. This immediately makes the dwelling more sustainable in the long term: that is as the occupants age there is less pressure to find alternative accommodation due to the unsuitable access.

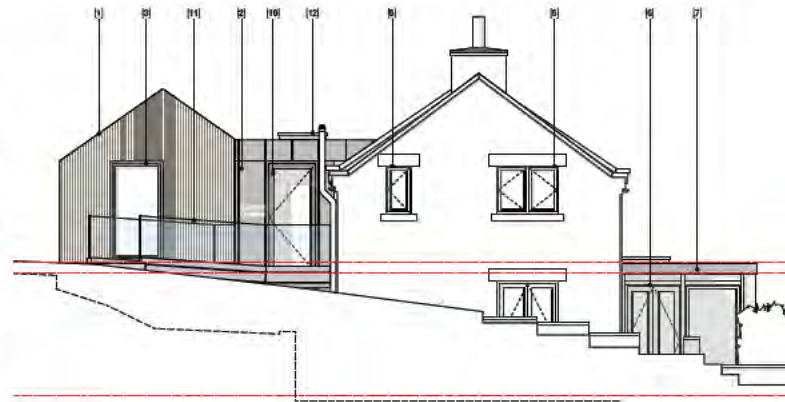


Fig. 40: Extract from PL_003 Proposed Elevations and Sections: Sheet 2 showing the south-west elevation.



Fig. 41: Computer generated view of the rear of the dwelling from the drive adjacent Bank Cottage showing the simple form of the main part of the proposed extension.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

5.4.4 The most practical and elegant way of accessing the new entrance point from the parking area is via a bridge which allows ground levels to be largely returned to their existing state with some adjustments to allow windows to provide light into the Utility and WC.

5.4.5 The form of the main part of the rear extension is inspired by a simple gabled structure pared of any adornment and clad in timber over a plinth fashioned from local stone to match the existing. The gable is orientated in on a south-west/north-east alignment in the same manner as the main house and the linking structure is kept as low as physically possible.

5.4.6 Materials have been chosen to both complement and contrast with the existing: A stone plinth for the rear extension references the older structures already on the site, a lightweight timber-clad structure over it references the agricultural buildings, a link structure clad in pre-patinated zinc to compliments the colour of the slate roof but at the same time provides a contrast. A timber framed replacement conservatory provides a modern counterpoint to the original building, and is a more considered response than the off-the shelf nature of the existing uPVC structure, using materials that are more sympathetic to those of the host building.

5.4.7 A large portion of the rear extension is lost below ground whilst views of the extension as a whole are largely limited to viewpoints within the site, as such the impact on the surrounding landscape is minimised.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings



Fig. 42: Computer generated overhead view from the north-west showing the ground floor



Fig. 43: Computer generated overhead view from the north-west showing the first floor

5.3 Access

5.3.1 The guidance contained in The Building Regulations 2010 Access to and use of buildings: Approved Document M, Volume 1: Dwellings applies to existing dwellings in so far as the current situation should not be made worse by any new works.

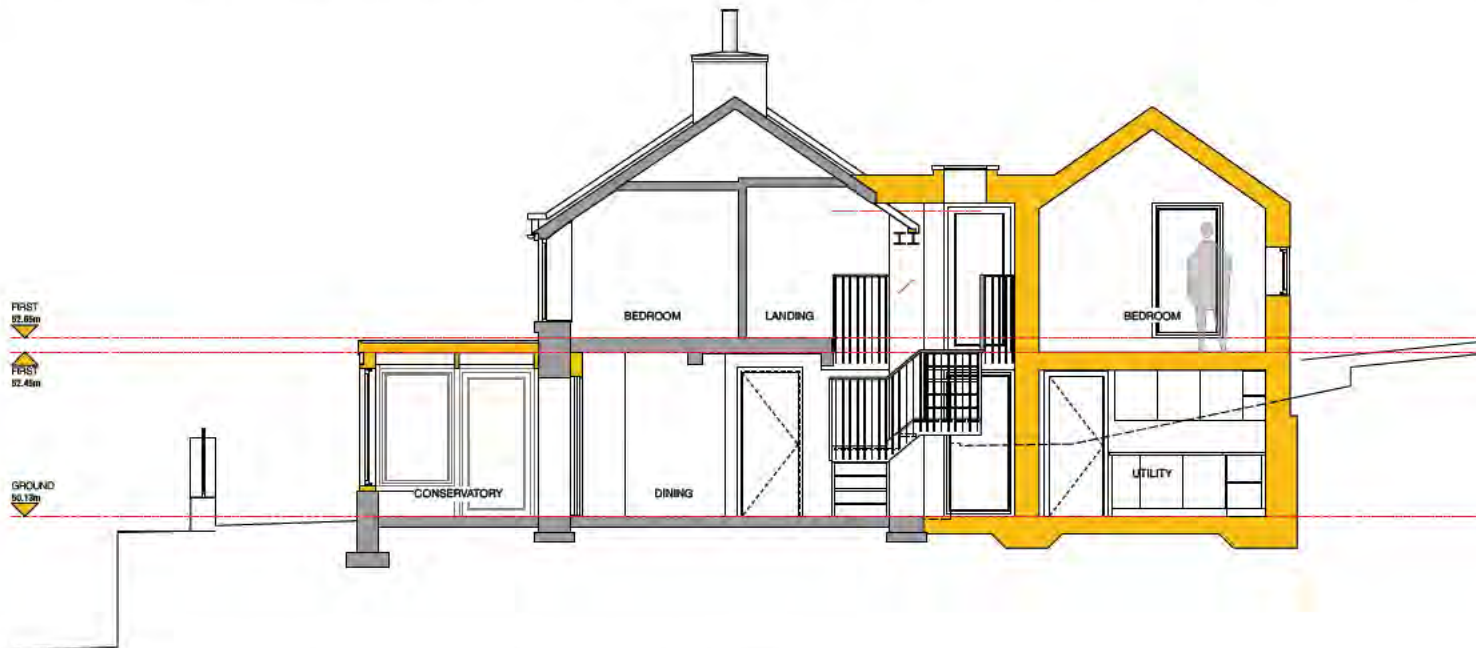
5.3.2 Approved Document M states that the requirements of M4(1) - Visitable Dwellings are mandatory in new dwellings as a basic standard however these measures do not apply to existing dwellings. At present the access comes nowhere near providing a level of provision that would be acceptable in a new dwelling and restricts the use of the dwelling by older or disabled occupants or visitors.

5.3.3 By introducing a bridge and placing the new access at the upper level the dwelling immediately becomes more sustainable for occupants in the long term.

5.3.4 The access bridge is designed to have a maximum gradient of 1 in 20 with a generous flat landing outside the new entrance door.

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings



Figs. 44: Extract from drawing PL_003 Proposed Elevations and Sections: Sheet 2 showing Section A-A

FORM & JUXTAPOSITION
Simple gable of the Annex and the outbuildings
Image credit: Richardson Smith Design Agency

MATERIALS
Timber cladding of the shelter building
Image credit: Richardson Smith Design Agency

TIMBER CLADDING
Rainscreen over waterproof layer

STAIRWELL
Light & bright

REPLACEMENT WINDOWS
Timber framed flush casements

TIMBER CLADDING
Continuous rainscreen over walls & roof providing crisp building outline
Image credit: M&P van Raaij/Veren Oudest-Arch Day

ZINC STANDING SEAM CLADDING
Pre-weathered anthracite finish, e.g. VM Zinc Anthra-zinc
Image credit: Paul Kocurek/M&P Architecture/M&P Zinc

CONSERVATORY
Light and bright with exposed timber
Image credit: Richard Owsen/Studio Corner Design

CONSERVATORY
Light and bright with exposed timber
Image credit: Richard Owsen/Studio Corner Design

TIMBER CLADDING
Continuous over walls & roof
Image credit: Richard Owsen/Studio Corner Design

TIMBER CLADDING
Continuous over walls & roof

MATERIALS COMBINATION
Timber cladding & stone
Image credit: M&P van Raaij/Veren Oudest-Arch Day

MATERIALS COMBINATION
Timber cladding & zinc cladding
Image credit: Guiseppe Andreotti/ArchitectoDesign

STAIRCASE
Timber & painted steel
Image credit: Studio V&A/Veren

TIMBER CLADDING
Planed untreated larch (option)

TIMBER CLADDING
Planed larch with accelerated weathering treatment (option)

references

pca

Revisions
A 17/06/23 PC Revised

Drawing
References/Mood Board

Client
Mr & Mrs Metters

Project
Proposed Extension & Alterations
Quarry Cottage, Raw YO22 4PP

Patience Cuddy Architects

Chartered Architect
01751 269512
paddy@pcarchitect.co.uk
www.pcarchitect.co.uk

Patience Cuddy Architects
Please do not use or from this drawing.
If in doubt please ask.

Job No.
0047

Date
12/2022

Scale
NDY 1/0 SCALE

Sheet size
A3

Drawing No.
SK_005

Rev.
A

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

Fig. 45: Drawing SK_005_A References (not to scale), showing the references for form, materials and detailing.

5.4 Conclusion

5.4.1 This application seeks to gain permission for a householder extension to an existing dwelling.

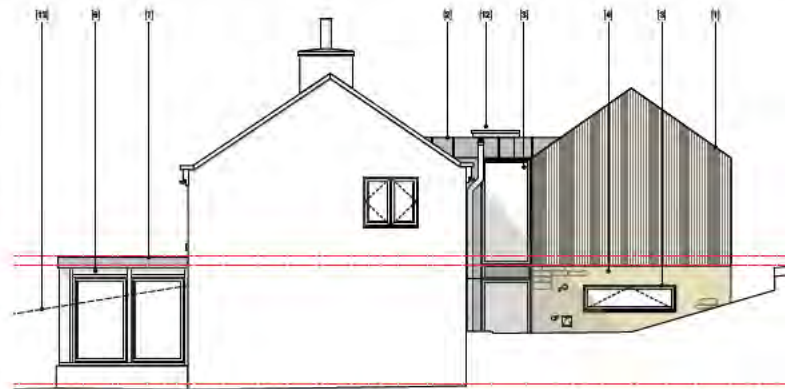
5.4.2 The Applicants have engaged in the development process through early discussions with the LPA.

5.4.3 There is no dispute that the proposals are in excess of the limit of a 30% increase in floor area set put in Local Plan Policy CO17, however the particular circumstances of the dwelling and the nature of the property as a whole do not conflict mean that the increase does not conflict with the aims behind the Policy and therefore accords with the Policy as there are compelling planning considerations.

5.4.4 The proposal will improve the sustainability of the dwelling allowing the current and future occupants to stay in the dwelling for longer.

5.4.5 The Applicants have invested heavily in the location, the locality and the property and are committed to occupying it for a long time with hopes to begin a family, alongside caring for a range of animals. The proposals would allow them to do so whilst In addition the significant improving the experience of all those who occupy or visit the dwelling.

5.4.6 In conclusion, the development respects the site, its setting and surrounding locality. In view of the above assessment the Authority is urged to support it.



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Planning Policy
- 5 Proposals**
- 6 Drawings

Fig. 46: Extract from PL_002 Proposed Elevations and Sections: Sheet 1 showing the north-east elevation.



Fig. 47: Computer generated view from the garden area of Bank Cottage of the proposed replacement conservatory and extension to the rear of the Quarry Cottage.



Fig. 48: EX_001_A Existing Plans (not to scale)

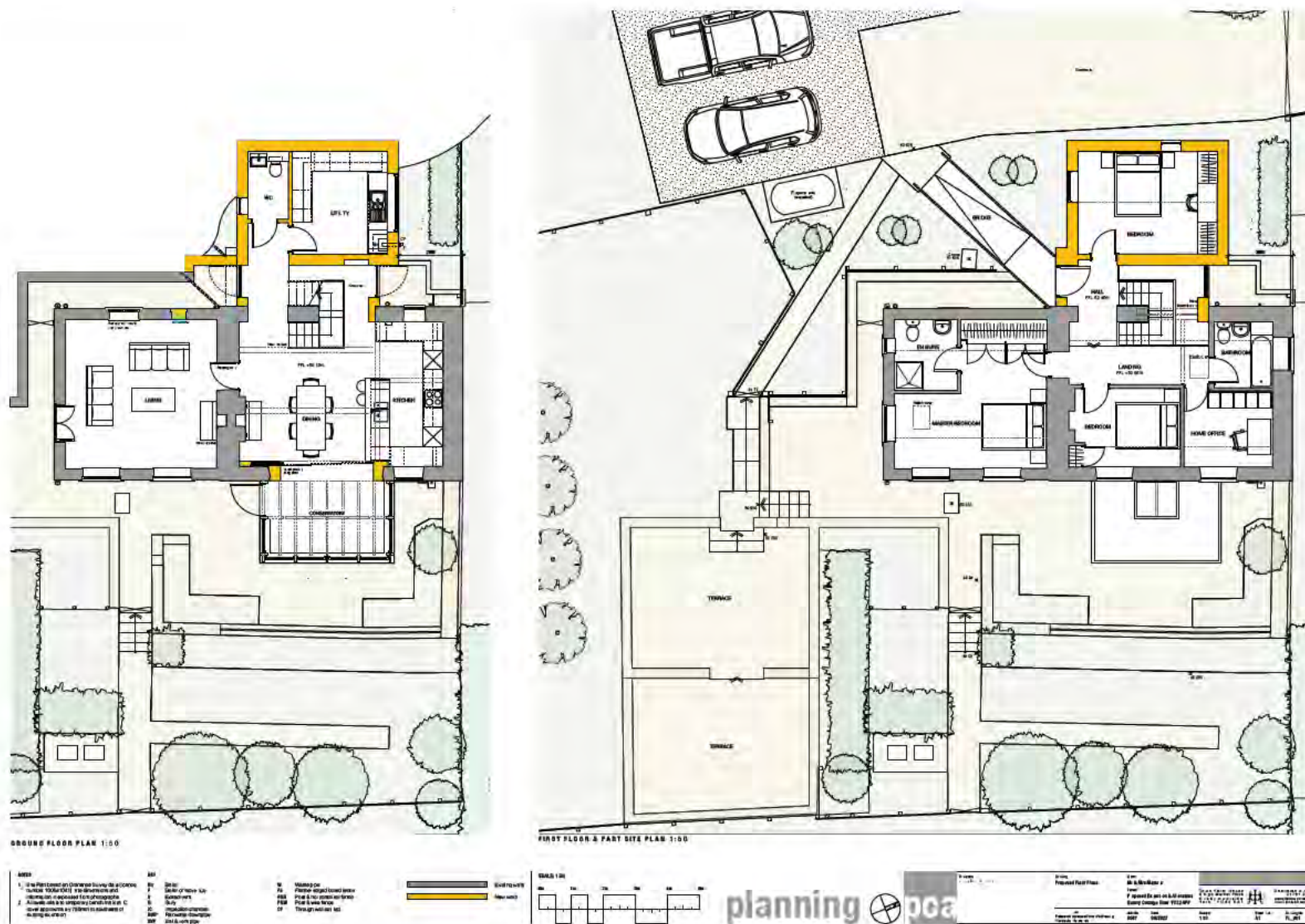
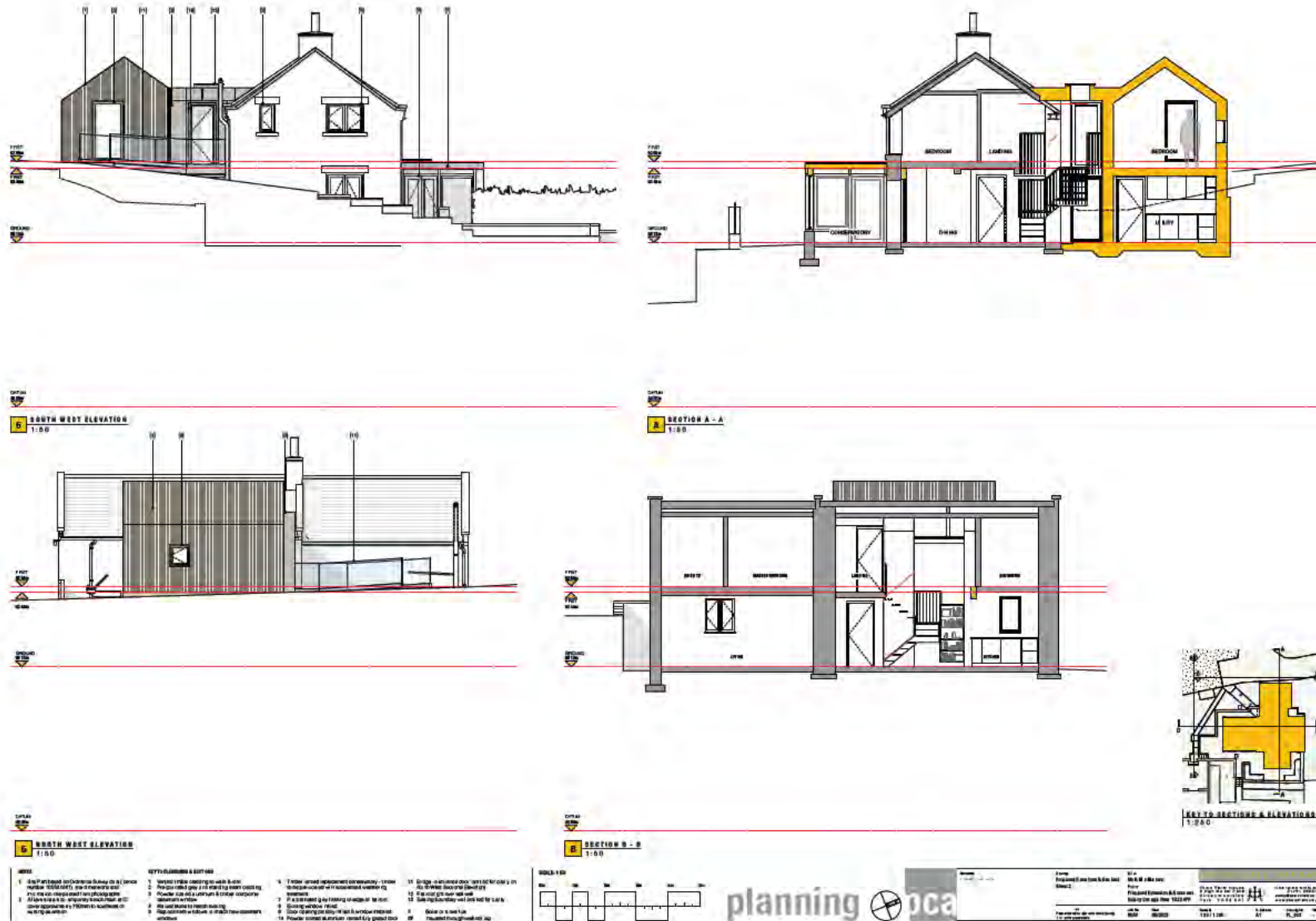


Fig. 50: PL_001 Proposed Plans (not to scale)

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**



Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

Fig. 52: PL_003 Proposed Elevations and Sections: Sheet 2 (not to scale)



Fig. 53: PL_004 Proposed Sketch Images (not to scale)

Project Details

- 1 Introduction
- 2 Site
- 3 Planning Background
- 4 Proposals
- 5 Planning Policy
- 6 Drawings**

North York Moors National Park Authority

Delegated decision report

Application reference number: NYM/2023/0569

Development description: alterations, construction of two storey rear extension together with demolition of conservatory and construction of replacement sun room and relocation of oil tank

Site address: Quarry Cottage, Raw

Parish: Fylingdales

Case officer: Mrs Jill Bastow

Applicant: Mr & Mrs Metters, Quarry Cottage, Raw, Whitby, YO22 4PP

Agent: Patrick Cuddy Architect, fao: Mr Patrick Cuddy, Town Farm House, 9 High Market Place, Kirkbymoorside, York, YO62 6AT

Director of Planning's Recommendation

Refusal for the following reason(s):

Reason(s) for refusal

Refusal reason code	Refusal reason text
1	The proposed rear extension to the dwelling, when taken with the existing side extension, would cumulatively result in a significant increase in the habitable floor space of the original dwelling, in excess of the 30% threshold set out under Policy CO17 of the North York Moors Local Plan. The proposal would further extend what is a modestly sized three bedroom cottage significantly beyond its original size and would consequently have a detrimental impact on the mix of dwelling types needed to sustain balanced communities within the National Park and result in the loss of a smaller more affordable dwelling.
2	It is considered that the proposed rear extension would by virtue of its scale, height, form, position and design detract from the very linear form of the host property and dominate the rear elevation of the property, which acts as the principal entrance. Furthermore, the choice of materials takes no reference from those of the host property such that the extension would appear very much as a separate, unrelated structure, exacerbating its prominence on and dominance of the rear elevation. As such it is considered that it would have a detrimental impact on the character and form of the original dwelling and its setting in the landscape contrary to Strategic Policy C and Policy CO17 of the North York Moors Local Plan.

Consultation responses

Parish

Object to this planning application as they do not feel the type of materials which are to be used are compatible with other properties in the area.

Highways

No objection and recommends conditions regarding improvements to the existing access.

Environmental Health

No objection.

Third party responses

No comments received

Publicity expiry

Advertisement/site notice expiry date: 11 October 2023

Front elevation of Quarry Cottage showing the white uPVC conservatory to be replaced with a timber framed sunroom with a flat grey GRP roof



Rear elevation of Quarry Cottage viewed from within the domestic curtilage showing the position of the proposed timber clad extension (in place of the oil tank) to be linked to the main dwelling by a 2-storey glazed link under a grey zinc standing seam roof



Rear elevation of Quarry Cottage viewed from the entrance into the domestic curtilage showing the position of the proposed timber clad extension (in place of the oil tank) to be linked to the main dwelling by a 2-storey glazed link under a grey zinc standing seam roof



Rear elevation of Quarry Cottage viewed from the access across the neighbouring property showing how the proposed timber clad extension would dominate the host property



Background

Quarry Cottage, a detached dwelling constructed of coursed sandstone under a slate roof, is located in the hamlet of Raw lying to the west of Robin Hoods Bay. Access to the property is taken from the unclassified Shop Hill over the neighbouring property. The site, comprising a smallholding extending to some 2 hectares include the host property, a detached residential annex, and livestock shelters.

Planning permission is sought for the construction of two storey rear extension (partially below ground) and the removal of the uPVC framed conservatory to the front elevation and its replacement with timber framed conservatory.

Main issues

Local Plan

Of particular relevance to this application is Local Plan Policy CO17 (Householder Development) which aims to ensure that householder development is appropriate in terms of scale, height, form, position, and design so not to detract from the character and form of the original dwelling, or its setting in the landscape. It seeks to ensure that the design and detailing of any extension complements the architectural form and character of the original dwelling and that any new roofline respects the form and symmetry of the existing roof. In addition, it requires that any extension should be clearly subservient to the main part of the building and should not increase the total

habitable floorspace by more than 30% unless there are compelling planning considerations in favour of a larger extension.

In the supporting text to the policy, it advises that very large extensions can be overbearing and proposals which incrementally extend small dwellings beyond their original size can have a detrimental impact on the character of an area and the mix of dwelling types needed to sustain balanced communities. By limiting the size of new extensions, the loss of smaller more affordable dwellings in the National Park can be avoided.

Policy CO17 references the Authority's Design Guide. In Part 2 of the Design Guide, it is stated that the key to a successful extension lies in the respect shown to the original building so that it remains the dominant form. The Design Guide explains that irrespective of size, all buildings have a threshold point beyond which its further extension is not possible without jeopardising and possibly destroying the integrity of its original character. Relative to this case is the further acknowledgement that cumulative extensions and incremental growth of a property can lead to overdevelopment of the site. This can often be to the detriment to the character of the property and wider area.

Also relevant is Strategic Policy C which seeks to ensure that proposed development maintains and enhances the distinctive character of the National Park through appropriate siting, orientation, layout and density together with carefully considered scale, height, massing and form. Proposals should incorporate good quality construction materials and design details that reflect and complement the architectural character and form of the original building and/or that of the local vernacular.

Discussion

Quarry Cottage has previously been extended with a two-storey side extension which was granted planning permission in May 2003. The original habitable floorspace of the cottage amounts to approx. 57.05 sq.m and the existing two-storey side extension 45.26 sq.m which equates to a 79.3% increase in floorspace. As such the 30% threshold in referred to in Policy CO17 has already been significantly exceeded. The proposed two-storey rear extension would add a further 39.64 sq.m resulting in a cumulative increase in floorspace of 129.8%. As such the proposed two-storey rear extension cannot be supported in principle as it would result in the loss of a 3-bedroom family sized dwelling within the National Park. Furthermore, it is not considered that the reasons for the extension as cited by the agent (such as the poor external access which could be addressed through the relandscaping of the site or the small kitchen and utility room which could be addressed through a remodelling of the internal accommodation), are compelling planning reasons to outweigh the objection in principle under Policy CO17.

In support of the application the agent cites that a single storey rear extension of 26.53 sq.m could be constructed with the benefit of permitted development rights but that

this would not resolve the issue of safe access to the dwelling avoiding the external sloping path and steps. However as advised in the Authority's advice note on Implementing Policy CO17, the calculation will be applied to existing habitable floorspace and will exclude any floorspace that could be built in the future under permitted development rights.

With regard to the design of the proposal, it is appreciated that the rear extension makes good use of the sloping topography and will provide a level access into the property. Unfortunately, however Quarry Cottage is a very linear stone and pantile property, and it is considered that the rear extension would detract from that traditional form and character. Furthermore, with an eaves height higher than the host property and a similar ridge height, it is considered that the extension would dominate, rather than be subservient to the rear elevation of the property which acts as the principal entrance and would have a detrimental impact on the character of the area.

Furthermore, whilst the Authority is not averse to modern design, it is felt that the timber boarding and zinc standing seam cladding to the walls and roof would not complement the traditional materials of the original cottage. As the agent has identified there are examples of timber clad extensions and properties in the locality however in these cases the timber boarding forms part of an integrated design scheme; in some cases, the entire property has been clad in timber or timber boarding has been used successfully alongside more traditional stone to add interest or relief. In this case the timber and zinc cladding would be used wholly on the extension with no reference to the materials of the host cottage such that it would appear very much as a separate, unrelated structure, exacerbating its prominence on and dominance of the rear elevation.

With regard to the replacement of the conservatory to the front elevation, the floorspace of the conservatory has been excluded from the habitable floorspace calculations referred to above in accordance with the Authority's advice note "Implementing Policy CO17". The proposed replacement structure is a more substantial extension with a solid rather than a glazed roof and it is proposed to remove the exterior wall to allow the conservatory to be used as part of the dining kitchen although it is noted that sliding glazed doors are proposed to separate the rooms if necessary. Normally a more substantial extension such as this would be included within the habitable floorspace calculation and therefore would be unacceptable to the Authority given the extent of previous development. However, in this case the proposed replacement conservatory would be more sympathetic to the form and character of the host building and would occupy a similar footprint to the existing conservatory. As such there is no objection to this element of the proposals.

The agent has been asked to omit the rear two-storey extension so that approval can be recommended for the replacement conservatory but has requested the application to be determined as submitted which in view of the above is a recommendation of refusal.

Public Sector Equality Duty imposed by section 149 of the Equality Act 2010

The proposal is not considered to unduly affect any people with protected characteristics.

Explanation of how the Authority has worked positively with the applicant/agent

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern with the proposal and discussing those with the Applicant. Unfortunately, it has not been possible to resolve those matters within the timescale allocated for the determination of this planning application.

However, the Local Planning Authority has clearly set out, within its report, the steps necessary to remedy the harm identified within the reasons for refusal – which may lead to the submission of a more acceptable proposal in the future.

Appendix 1

List of applications determined by the Director of Planning in accordance with the scheme of delegation for the period of 26 September 2023 to 6 November 2023

Please note that the decision notice for each of the Authority's applications listed in this report can be found by clicking on the application reference number.

North Yorkshire Council (Ham)

Application reference: NYM/2023/0264

Rebuilding of barn with increased roof height, replacement roof covering and cladding of both barns together with creation of access track and siting of poultry houses and associated fencing (part retrospective) at Field no. 271, south of Boltby for Mark Badminton.

Approved on 12/10/2023

Application reference: NYM/2023/0384

Alterations to existing garage comprising raising of roof height, installation of dormer windows, doors, and Juliette balcony to facilitate use as annexe accommodation and replacement of outbuilding with double garage at Hazel Grove, Whorl Hill, Faceby for Mr and Mrs Hutchinson.

Refused on 11/10/2023

Application reference: NYM/2023/0418

Alterations and extensions to and conversion of former bottling plant and stores to additional living accommodation and construction of sunroom extension to dwelling at Acre House, Carr Lane, Kilburn for Mr R Wainwright.

Approved on 19/10/2023

Application reference: NYM/2023/0473

Construction of replacement single storey rear extension at The Coach House, Boltby Village, Boltby for Messers J & I Ashby

Approved on 27/09/2023

Application reference: NYM/2023/0505

Construction of stable block at Thwaites House, Chop Gate for Miss Sophie Knox.

Approved on 06/10/2023

Application reference: NYM/2023/0532

Alterations to fenestration and doors and construction of pitched tiled roof to conservatory at The Old Surgery, Mount Pleasant South, Robin Hood's Bay for Mrs J Copley.

Approved on 09/10/2023

Application reference: NYM/2023/0533

Installation of 42 solar panels across the south and west roof slopes, four air to air heat exchangers and two electric vehicle charging points together with new servery access door and gated entry (revised scheme to planning approval NYM/2023/0069) at Danby Village Hall, Dale End, Danby for Danby Village Hall Trustees.

Approved on 09/10/2023

Application reference: NYM/2023/0569

Alterations, construction of two storey rear extension together with demolition of conservatory and construction of replacement sunroom and relocation of oil tank at Quarry Cottage, Raw for Mr & Mrs Metters.

Refused on 26/10/2023

Application reference: NYM/2023/0571

Insertion of two new windows and construction of porch at Hollins Farm House, Eskdaleside, Grosmont for Mr Marcus Burnside.

Approved on 25/10/2023

Application reference: NYM/2023/0573

Proposed dropped kerb and widening of access at access off A169 to 161 Coach Road, Sleights for Mrs Julie Cownden.

Approved on 06/11/2023

Application reference: NYM/2023/0575

Installation of five replacement timber vertical sliding sash windows at York House, King Street, Robin Hoods Bay for Mrs Terry Ann Whiteley.

Approved on 02/11/2023

North York Moors National Park Authority

LOCAL PLAN

July 2020



North York Moors
National Park

North York Moors National Park Authority

LOCAL PLAN

July 2020

Strategic Policy C - Quality and Design of Development

To maintain and enhance the distinctive character of the National Park, development will be supported where:

1. The proposal is of a high quality design that will make a positive contribution to the local environment in accordance with the principles set out in the North York Moors National Park Authority Design Guide;
2. The proposal incorporates good quality construction materials and design details that reflect and complement the architectural character and form of the original building and/or that of the local vernacular;
3. The siting, orientation, layout and density of the proposal complement existing buildings and the form of the settlement, preserving or enhancing views into and out of the site and creating spaces around and between buildings which contribute to the character and quality of the locality;
4. The scale, height, massing and form of the proposal are compatible with surrounding buildings and will not have an adverse impact upon the amenities of adjoining occupiers;
5. Sustainable design and construction techniques are incorporated in the proposal including measures to minimise waste and energy use and where appropriate use energy from renewable sources;
6. A good quality landscaping and planting scheme which reinforces local landscape character, increases habitat connectivity and makes use of appropriate native species forms an integral part of the proposal;
7. Proposals enhance local wildlife and biodiversity, for example through the inclusion of nesting boxes and bat roosts;
8. Provision is made for adequate storage including storage for domestic items kept outdoors and waste management facilities;
9. Where appropriate, cycling facilities and car parking are provided provision and without compromising local highway safety, traffic flow or Public Rights of Way; and
10. The proposal ensures the creation of an accessible, safe and secure environment for all potential users, including the elderly, children and those with a health condition or impairment.

Explanation

- 3.19 New development today represents the cultural heritage of future generations and the design of new development should aim to contribute to this ongoing legacy. Not only does a high standard of design make a positive contribution to the locality it helps maintain traditional local building skills and practices. All proposals should use good quality construction materials.

- 3.20 The Authority does not however wish to replicate the past or stifle innovation or originality. More contemporary, modern designs will be supported where they are sympathetic to their surroundings, reinforce local distinctiveness and add variety to the National Park's built heritage. All designs, whether traditional or modern, should have visual interest and applications should demonstrate how the proposal has been informed by the Authority's Design Guide (Parts 1 to 5). Window treatments in particular make a significant difference to the overall appearance and character of a building and should be selected with care.
- 3.21 New buildings should be long-lasting and adaptable, and be able to take account of people's changing needs over time. They should be designed to give good accessibility for all potential users including the elderly, wheelchair users and those with children and they should not be vulnerable to crime. Principles of sustainable design should be incorporated including measures to reduce energy use and manage and recycle waste. Development should also facilitate the efficient use of natural resources in construction and use recycled materials wherever possible.
- 3.22 Opportunities to provide green infrastructure should be taken and a landscaping and/or planting scheme should be provided with most applications. The aim should be to link the proposed new development with its surroundings, enhance biodiversity and create high quality private and public space. Good design should avoid the need for screening planting.
- 3.23 Some areas of undeveloped space are of visual, historical, archaeological, cultural or biodiversity value. Their loss could adversely affect the character and/or appearance of settlements and the qualities of the National Park. Its dispersed pattern of small rural settlements is an important quality which requires early recognition when developing proposals, particularly those located within or on the edge of settlements. The geology and landform of the North York Moors is such that the wider landscape frequently makes a significant contribution to the rural character of its settlements where open and undeveloped spaces provide important views out towards the moorland, hills and dales. They can also provide an important setting for buildings, particularly where a building is set back or its gable fronts the highway and the open space provides an attractive view of the buildings principal elevation. Paddocks, orchards, common land, gardens, lanes and tracks are all examples of such spaces. It is therefore important to recognise the potential amenity value of certain open and undeveloped spaces and as a result, not all open and undeveloped spaces will be considered appropriate for development but it may be that proposals can be designed so as to minimise its impact.
- 3.24 The Design Guide 'General Principles' provides applicants with information to help assess how open spaces can contribute to the character of a settlement particularly in relation to the settlement form, landscape setting, built form and other statutory considerations. Areas of undeveloped space which are considered to be of visual, historical, archaeological, and cultural or biodiversity value will be protected and development which would adversely affect the character or appearance or value of a particular site or that of the wider settlement will be discouraged.
- 3.25 Proposals within villages should reflect traditional plot sizes, boundary lines and green spaces including verges which give many villages within the National Park

an open form. Schemes should be designed around existing features that add to the character of the area, for example, trees, traditional boundary features or historic outbuildings so that they can be retained rather than demolished. Local natural stone is the most commonly used traditional construction material and will often be appropriate for new developments. It is important that the stone is of the same geological type as that which is prevalent in the locality and is coursed and jointed in a traditional manner with suitable mortar joints and mix.

- 3.26 Excessive or inappropriate use of kerbing, road marking, fencing, lighting and signage can introduce a suburban appearance which detracts from the rural character of the National Park. Care should also be taken with the detailing of new accesses and highway infrastructure to avoid introducing suburban features into traditional village street scenes. Traditional features including hedges, fences and stone walls should be kept where possible. The style of any new fencing should be chosen with care; especially in locations at the edge of villages which feature in views into the settlement - two metre close boarded fencing will look out of place in many National Park locations.
- 3.27 All new development should include adequate storage for domestic items kept outdoors and facilities to manage waste efficiently in a way that does not detract from the external appearance of the building and the streetscene.
- 3.28 In the case of conversions, the proposal should be of a high quality design and construction, reflecting the character of the original building and the surrounding area. Applicants should have regard to the Authority's Design Guide. The Authority will not support proposals that would lead to the loss or erosion of the distinctive character of a building of historic or architectural interest nor those where changes in the building's curtilage or the creation of new accesses or parking areas would adversely affect the character and appearance of the building or its surroundings. Conversion proposals in Open Countryside will only be permitted where they also meet the requirements of Policy CO12, Conversion of Existing Buildings in Open Countryside.
- 3.29 Supporting information accompanying planning applications should be proportionate to the location and what is being proposed. However, even for small scale developments, the Authority expects a high standard of drawing and all applicants are encouraged to employ consultants with design expertise when formulating proposals. Applications for larger developments, proposals within Conservation Areas and those which require listed building consent will need to be accompanied by a Design and Access Statement. This should demonstrate how the principles of good design, including those set out in this policy, have been incorporated and how the development will be accessed by all users. In some instances a design review process may be appropriate for larger schemes or for those in particularly sensitive locations and may be required by the Authority, in which case the applicant would be expected to cover the costs of the review. In such cases applicants are also encouraged to seek the views of the local community.
- 3.30 A number of settlements in the National Park are covered by Conservation Area Appraisals and Management Plans and Village Design Statements some of which have been adopted by the Authority as Supplementary Planning Documents. The guidance in these documents will be taken into account when considering planning applications in these settlements and the Authority

will work with other communities that may wish to develop a Village Design Statement.

Policy CO17 - Householder Development

Development within the domestic curtilage of dwellings should take full account of the character of the local area, the special qualities of the National Park and will only be permitted where:

1. The scale, height, form, position and design of the new development do not detract from the character and form of the original dwelling or its setting in the landscape;

2. The development does not adversely affect the residential amenity of neighbouring occupiers or result in inadequate levels of amenity for the existing dwelling; and
3. The development reflects the principles outlined in the Authority's Design Guide.

In the case of extensions and alterations to the existing dwelling, the following criteria must also be met:

- a) Any extension should be clearly subservient to the main part of the building and should not increase the total habitable floorspace by more than 30% unless there are compelling planning considerations in favour of a larger extension; and
- b) The design and detailing should complement the architectural form and character of the original dwelling and any new roofline should respect the form and symmetry of the original dwelling.

Where permission is granted, future extensions may be controlled by the removal of permitted development rights.

In the case of existing outbuildings and the development of new outbuildings, the following criteria must also be met:

- i. The outbuilding should be required for purposes incidental to the residential use of the main dwelling;
- ii. Any new or extended outbuilding should be proportionate in size and clearly subservient to the main dwelling;
- iii. New outbuildings should be located in close proximity to existing buildings;
- iv. If the proposal involves works to improve or extend an existing outbuilding, the original structure must be worthy of retention and capable of improvement; and
- v. It should be demonstrated that any change of use of existing outbuildings is not likely to lead to future proposals for additional outbuildings to replace the existing use.

All proposals for residential annexes should also meet the requirements of Policy CO18 Residential Annexes.

Explanation

- 7.85 The Authority receives many applications for development within the domestic curtilage of dwellings. Extensions are often put forward as a convenient way to provide additional accommodation to meet changing family needs. Sheds, garages and other works may be proposed for additional domestic facilities and storage. However, unsympathetic works within the domestic curtilage

can harm both the host property and surrounding environment and it is important that householder development should integrate effectively with the surroundings, reinforcing local distinctiveness and avoiding harm to the character of the settlement and wider landscape. Applicants are encouraged to incorporate sustainable design and construction techniques in all new householder development where feasible and regard should be had to Strategic Policy F. Further detailed advice on sustainable design can be found in Part 1 of the Design Guide. Where appropriate, applicants should also refer to the Government's Flood Risk Standing Advice for minor development³⁸.

- 7.86 Certain works within the domestic curtilage are covered by permitted development rights and householders should refer to the Town and Country Planning (General Permitted Development) (England) Order 2015 Schedule 2 Part 1. Where proposals require planning permission the Authority will permit schemes which are sympathetic to existing buildings in terms of scale, massing, form, materials and colour and which do not cause an unacceptable reduction in amenity either for the existing dwelling, or garden, or for neighbouring properties. All applications for planning permission should demonstrate that the principles in the Authority's Design Guide have been taken into account.
- 7.87 Very large extensions can be overbearing and proposals which incrementally extend small dwellings beyond their original size can have a detrimental impact on the character of an area and the mix of dwelling types needed to sustain balanced communities. Limiting the size of new extensions can avoid the loss of smaller more affordable dwellings in the National Park.
- 7.88 The Authority will therefore expect proposals for extensions to be clearly subservient to the main dwelling. Scale and design go hand in hand but in practice this means that schemes which increase the total habitable floor space by more than 30% will not be supported unless there are compelling reasons for a larger extension. Total habitable floor space should be calculated excluding existing extensions (unless built before 1 July 1948), garages, conservatories and outbuildings. Understanding the form and character of the existing dwelling is key to a successful extension and a high standard of design is essential in all cases; a poorly conceived small extension which harms the character of a building will not be acceptable simply because of its size.
- 7.89 All applications should be supported by drawings of a professional standard showing the existing and proposed elevations. Where relevant, Design and Access Statements should include an assessment of the dwelling's particular characteristics and how the local vernacular has been taken into account in designing the proposed extension. Designs which adversely affect the appearance of a dwelling, its curtilage or immediate surroundings will not be supported, even if the extension would not be generally visible from public viewpoints.
- 7.90 Extensions to traditional buildings in particular should respect and sustain the historic significance, character and appearance of the original building through sensitive design. The Authority will support contemporary as well as traditional design solutions provided the proposal complements and enhances the existing architectural form of the building. Schemes which require the roof of a traditional building to be raised are not encouraged and care is also needed in the design of two storey extensions and in proposals which affect one of a row or group of

³⁸Flood Risk Assessment: Standing Advice, Department for Agriculture, Food and Rural Affairs and Environment Agency, <https://www.gov.uk/guidance/flood-risk-assessment-standing-advice>

similar properties. Extensions which would detract from the harmony and visual appearance of the group as a whole will not be supported.

- 7.91 Proposals for new outbuildings should ensure that the number, scale and design of buildings within the domestic curtilage do not detract from the character or appearance of the dwelling and its surrounding area. Outbuildings should be required for purposes ancillary to the main dwelling and should be commensurate with the needs of the household. In the case of a 'workshop', information about the proposed use should be provided so that the Authority can consider any potential impacts on neighbours, highway safety or local amenity.
- 7.92 When considering proposals for works to existing outbuildings, the Authority will take into account the condition and quality of the existing structure and whether it is worthy of retention and improvement. Where existing outbuildings would be lost to other uses, permitted development rights may be removed to enable the Authority to assess any subsequent proposals which may result in overdevelopment of the site.
- 7.93 Where works are proposed to a building which is listed, is of architectural or historic significance or is located in a Conservation Area, regard should be had to Strategic Policy I, The Historic Environment and Policy ENV11, Historic Settlements and Built Heritage. Where works involve the conversion of an existing outbuilding, Policy CO12 Conversion of Existing Buildings in Open Countryside also applies. Proposals to extend or alter dwellings previously permitted as a conversion from a different use in the Open Countryside will be considered under Policy CO12.



North York Moors
National Park Authority
Local Development Framework

Design Guide

**Part 2: Extensions and
Alterations to Dwellings**
Supplementary Planning Document



North York Moors
National Park Authority

Design Guide
Part 2: Extensions and
Alterations to Dwellings
Supplementary Planning Document

Adopted June 2008

Contents	Page
Section 1: Introduction	3
1.1 Background	3
1.2 Design Guide Supplementary Planning Documents	4
1.3 Historical Context	5
1.4 Planning Matters	6
Section 2: Achieving Quality Design	7
Section 3: Extensions to Dwellings	10
3.1 Side Extensions	10
3.2 Rear Extensions	11
3.3 Front Extensions	13
3.4 Porches	14
3.5 Conservatories	15
3.6 Dormer Windows and Rooflights	16
3.7 Garages and Other Outbuildings	17
3.8 Extensions to Domestic Curtilages	19
Section 4: Altering Existing Features	20
4.1 External Finishes and Materials	21
4.2 Windows	24
4.3 Doors	29
4.4 Roof Detailing	31
4.5 Eaves and Verges	34
4.6 Gutters/Rainwater Goods	36
4.7 Chimneys	37
4.8 Boundary Treatment	39
4.9 Hard Surfacing	41
Appendix A: Development Policy 20 – Extensions to Residential Curtilages	43
Appendix B: Glossary	44

- This document can be made available in Braille, large print, audio and can be translated. Please contact the Planning Policy team on 01439 770657, email policy@northyorkmoors-npa.gov.uk or call in at The Old Vicarage, Bondgate, Helmsley YO62 5BP if you require copies in another format.

1 Introduction

1.1 Background

'Extensions and Alterations to Dwellings', is the second of a series of Supplementary Planning Documents that collectively, form the North York Moors National Park Authority's Design Guide.

Part 2 of the Guide offers advice and guidance on the basic design considerations that should inform any proposed extension or alteration to a dwelling. For additional information you should also look at other parts of the Guide that might be relevant to your scheme.

As the Design Guide expands, it will cover the most common types of new development occurring in the National Park and include more detailed advice on the following topics:

- Part 1:** General Principles
- Part 3:** Trees and Landscape
- Part 4:** The Re-use of Rural Buildings
- Part 5:** New Agricultural Buildings

Part 2 – *'Extensions and Alterations to Dwellings'* should be read in conjunction with other relevant parts of the Design Guide.

The Design Guide has been developed to provide sound practical advice for designers, house builders and all those who promote new development and apply for planning permission within the National Park. It will also be relevant to officers and Members of the Authority who guide and control development. More widely, it will be of interest to anyone who wants to see greater care taken in the design of new development within the National Park.

The Guide will be referenced when making decisions on planning applications and in providing general planning advice to prospective applicants.

Each planning application submitted to the Authority will be judged on its own particular merits and against the policies of the *Core Strategy and Development Policies* document (2008) and having regard to the design principles in Parts 1 and 3 of the Design Guide (and in due course Parts 4 & 5).

The advice contained in the Design Guide is not intended to be exhaustive nor prescriptive. Similarly, it is not intended to stifle innovative design that is both sympathetic and sensitive to its surroundings. Design in the built environment is an evolving process. Good design bridges the gap between traditional and contemporary design in a way which respects and interprets the historical character.

1.2 Design Guide Supplementary Planning Documents

Purpose

This Supplementary Planning Document (SPD) provides further detail to the design-related policies contained within the North York Moors *Core Strategy and Development Policies* document (2008) and in particular Development Policy 19.

DEVELOPMENT POLICY 19

Householder Development

Proposals for development within the domestic curtilage of dwellings will need to take full account of the special qualities of the Park's nine landscape character areas and architectural character of settlements and will only be supported where:

- 1 The scale, height, form, position and design of new development does not detract from the character and form of the original dwelling or its setting in the landscape.
- 2 The development does not adversely affect the residential amenity of neighbouring occupiers or result in inadequate levels of amenity for the existing dwelling.
- 3 The development does not harm the amenities of adjoining occupiers by reason of noise and disturbance, smell or other adverse impact.
- 4 In the case of annexe accommodation, the development is ancillary to the main dwelling in terms of its scale and specification, in the case of new build it is physically attached to the main dwelling and in all cases the annexe will remain under the control of the occupier of the main dwelling.

The purpose of the Design Guide is:

- To ensure fulfilment of the statutory purposes of the National Park.
- To encourage high quality design that conserves and enhances the character and special qualities of the area, and respects the local distinctiveness and the built and natural heritage of the National Park.
- To protect the residential amenity of neighbouring properties.
- To encourage sustainable building practices which minimise use of resources and waste production.
- To promote design that reduces both the causes and effects of climate change.
- To ensure that conditions for wildlife and natural habitats are maintained or enhanced.

Development of the Document

Organisations and individuals with a particular interest in design were initially consulted on a Discussion Paper which outlined the aims of the Supplementary Planning Document and the types of issues that could be covered. The Discussion Paper also included a number of questions seeking feedback from consultees on what information the document should contain. The Discussion Paper was also discussed at Planning Committee in April 2007. The feedback from this consultation formed the basis of the draft Supplementary Planning Document. Public consultation, including an Exhibition, was carried out on the draft Supplementary Planning Document in March and April 2008. The comments received have informed the final document.

Status

The Design Guide Supplementary Planning Document forms part of the Local Development Framework and therefore has statutory weight and is a **material consideration** in the determination of planning applications.

The adopted SPD is accompanied by:

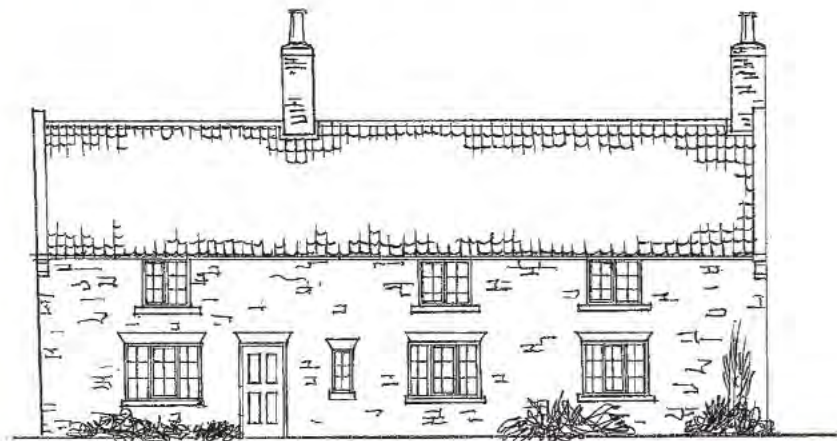
- **A Sustainability Statement:** setting out how sustainability considerations have informed the SPD;
- **Statement of Consultation:** detailing the consultation undertaken in producing the SPD.

In some instances, Village Design Statement Supplementary Planning Documents and Conservation Area Assessment and Management Plan Supplementary Planning Documents may contain more detailed, local guidance on design matters and these should be referred to alongside the Design Guide Supplementary Planning Document.

13 Historical Context

There is a long tradition of altering and extending houses in the National Park. Many farmhouses originated as single storey longhouses of cruck frame construction, with living spaces shared with livestock. Over time, such properties were subdivided into smaller rooms, first floors added and byres converted into domestic use in a response to changing ideas and social and economic conditions. Such alteration tended to be a gradual adaptation of the building in similar natural materials and using local craftsmen and techniques.

Traditional longhouse



More recently a number of factors have broken the link between sites and local materials and techniques including 'industrialised' methods of construction and access to a range of cheaper building materials imported from other regions and countries. The price advantage of extending compared with moving house and the demand for higher specification accommodation is creating pressure for larger extensions. Although these factors have had less influence within the National Park compared with other parts of the country, they can still result in alterations which are out of keeping with the simple and modest traditional buildings for which the National Park is valued.

By using the criteria set out in this Design Guide the Authority seeks to encourage more careful consideration of and respect for, the existing buildings within the National Park.

1.4 Planning Matters

Not all alterations or extensions require planning permission: this depends on a number of factors including the size of the proposed extension, its siting, whether there have been any previous extensions and so forth. Many porches, conservatories and small extensions are classed as '*permitted development*', although in some cases your permitted development rights may have been restricted or removed. This might be the result of a condition of an earlier planning consent, by virtue of its location within a Conservation Area¹ or by the imposition of an 'Article 4' direction. **If your proposal does require planning permission you are strongly encouraged to enter into discussions with the relevant area planning officer at an early stage.**

Even if your proposal does not require planning permission, you are encouraged to follow the principles set out in this Guide when planning any alterations or extensions to your property to help reduce the impact of the development on the surrounding environment.

Footnotes:

¹ In due course, the Authority plans to publish Conservation Area Assessment and Management Plans for each Conservation Area, which will assess their history and development, local architecture and individual qualities and include proposals for improvement and enhancement, having regard to this Design Guide.

2 Achieving Quality Design

It is important that any extension is designed to be in keeping with the appearance of the property and the character of the area. Acceptable forms of extension and alteration are varied and many, but should all follow the basic components of good design: siting, form, scale, and external appearance.

Extension replicates the features of the existing building



The key to a successful extension lies in the respect shown to the original building so that it remains the dominant form. Generally this will mean ensuring that the extension is subservient to the original building in terms of its volume, scale, height, width and depth. An extension should reflect local distinctiveness in terms of scale, proportions, height, materials, position and detailing. This is particularly important if the parent building is of traditional design and construction – but does not preclude more recently constructed buildings.

Irrespective of size, all buildings have a threshold point beyond which its further extension is not possible without jeopardising and possibly destroying the integrity of its original character.

The position of an extension on the property is also important and respect should be given to existing building lines, the pattern of buildings and the spacing between them. Rear extensions are generally preferable to side extensions whilst the majority of properties cannot easily accommodate extensions to their main front elevation (with the occasional exception of small porches), without significantly affecting their appearance.

Extensions should complement the style, details and materials of the existing house, whether they are traditional or contemporary in design and should not detract from the original building. The roof style, pitch and detailing (overhangs, gable treatments and chimneys) should follow those of the existing house; flat roofed extensions are normally unacceptable and hipped roof extensions should only be used on properties with an existing hipped roof. Likewise, materials should match the existing in type, colour and detail. Windows and doors should be well proportioned and well related within the elevation, reflecting the proportions and style of the existing dwelling.



Extension remains subservient to the main house and complements the style, details and quality materials of the original dwelling

Whilst the Authority acknowledges the desire to extend existing dwellings, it is concerned that cumulative extensions and incremental growth of a property can lead to an overdevelopment of the site. This can often be to the detriment of the character and appearance of the existing house and the wider area. Rarely will it be acceptable to extend onto an existing extension or link existing extensions so that the form and scale of the original building are 'swamped'.



Extension is contemporary in design but sympathetic and sensitive to the original building

In the interest of 'good neighbour' relations, care should be taken to ensure that extensions do not harm the levels of amenity that neighbours might reasonably expect to enjoy. Good design should avoid unacceptable levels of overlooking or overshadowing of the private areas of neighbouring houses and gardens and should avoid an unacceptable loss of outlook. The Authority encourages early discussions between neighbours prior to the submission of a planning application. On all planning applications, consultations will be undertaken with neighbours likely to be affected by the proposal.

The conversion of outbuildings or farm buildings can often be an alternative option to extending where the scale, form and appearance of the conversion in relation to the main dwelling are acceptable. Further advice will be contained in Part 4 of the Design Guide, which will set out the Authority's general approach to the re-use of rural buildings.

In terms of good practice, reference should also be made to Part 1 of the Design Guide '*General Principles*', as many of the sustainability principles will be as equally applicable to extensions and alterations as they are to new developments. However the following considerations are of particular relevance to extensions and alterations.

Ask yourself:

- Is the extension really needed? Could the existing space be better organised instead?
- What form should the new extension take?
- What are the characteristics of the area or settlement?
- What are the building characteristics and detail of neighbouring properties?
- What are the potential impacts of an extension on my neighbours?
- Could existing energy efficiency or other sustainability principles be improved as part of the extension or alteration?

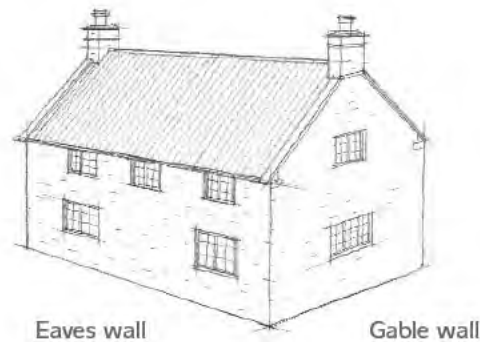
If you do wish to extend:

- Keep the extension subservient to the main building.
- Keep the extent of new external walls to a minimum so as to reduce the energy requirements of the extension.
- Avoid overshadowing of windows in the existing and neighbouring buildings.
- Keep areas of hard standing to a minimum and avoid the use of non-porous surfaces such as concrete and continuous paving. Instead use gravel, reinforced grass or paving blocks to allow water to drain away.
- Use re-used or recycled, locally sourced materials where possible.

3 Extensions to Dwellings

3.1 Side Extensions

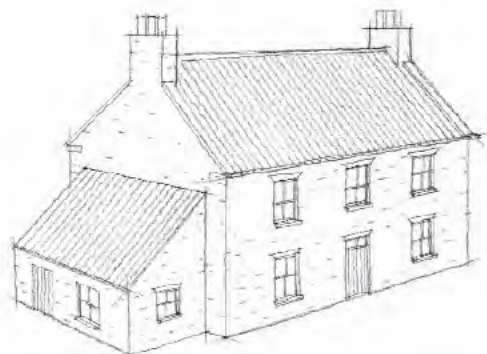
On dwellings of traditional proportions the eaves wall is typically longer than the gable wall and the frontage width is greater than the height. It is important therefore that side extensions are narrower in gable width than the main building enabling them to be set back from the front of the house with a lower roof height. This not only retains the architectural integrity of the original building but also ensures that the extension is subservient to the main house and can help to simplify construction. For similar reasons, side extensions should not be as wide as the main building frontage (which will also help to break-up what could otherwise be a long frontage). Side extensions which project forward of the main building are unlikely to be acceptable.



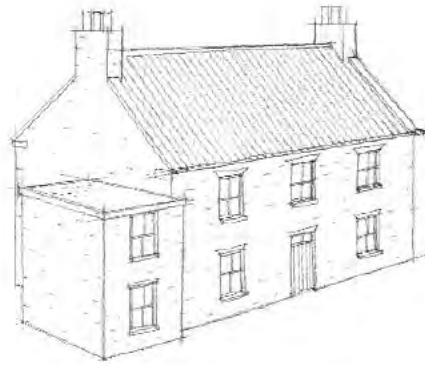
When assessing proposals for two-storey side extensions, the Authority will seek to safeguard the spacing between buildings, particularly where this is an important characteristic of the street scene.



A side extension with a narrower end gable than the existing dwelling enables it to be set back from the front of the house with a lower ridge height.



Simple single-storey, lean-to extensions to the side of the main house are characteristic of the National Park and can produce a successful addition.



A flat roofed extension is normally unsatisfactory and should be avoided, as should extensions which project forward of the house.



A 'wrap-around' extension masks the form and character of the existing house.

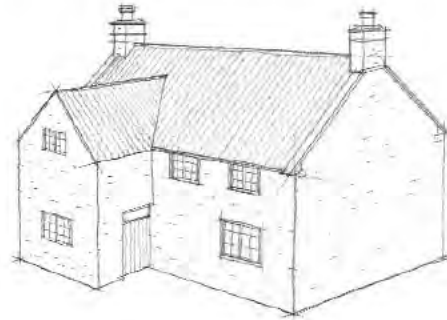
3.2 Rear Extensions

Although a rear extension may have less immediate impact on the street scene, the same subservient approach is required and care should be exercised to ensure that the mass of the extension does not adversely impact on the space about the dwelling or the neighbouring properties.

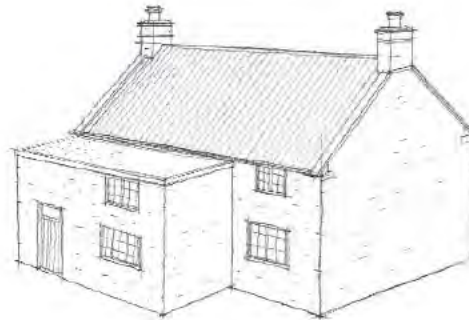


A simple lean-to extension ensures the rear aspect of the building remains the dominant form and is a traditional way of extending.

As with side extensions, the gable width of a two-storey extension should be narrower than that of the main building enabling a lower roof height, and the side wall should be set in from the gable. For single storey lean-to extensions, the eaves wall should be greater than the depth of the extension to achieve the right proportions.



A two-storey extension maintains the eaves line of the original building but being narrower, its ridge is below the original roof ridge line.



Large flat-roofed extensions can dominate the original building resulting in a loss to its form and character.

Careful consideration should be given to the impact on neighbouring properties in terms of overshadowing, loss of privacy and loss of outlook, particularly where the dwelling is semi-detached or forms part of a terrace. First floor windows and balconies should be sensitively sited so as to avoid overlooking of a neighbour's property and garden.



The positioning of first floor windows facing a common boundary can result in a loss of amenity – particularly a loss of privacy through overlooking.

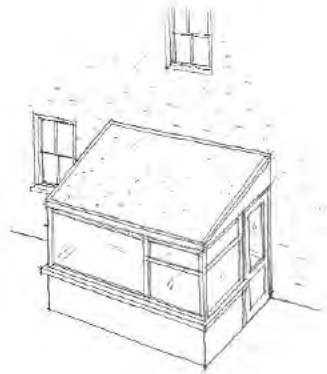
In some cases, it may be better to separate a rear extension from the main building by some form of linking structure; for instance where the extension is of a contemporary design but the house is of traditional or distinctive appearance or in cases where it is not appropriate to add to the massing of the original building.



Linking a separate extension with a traditional property.

3.3 Front Extensions

The front elevation of a property is normally the most important in terms of its contribution to the street scene and therefore front extensions are **generally not encouraged**, particularly where the street has a uniform building line and a front extension may look unduly prominent and intrusive. In locations where there is more variation in the position of buildings or a property is well set back from the road, there may be more scope to accommodate a front extension providing it is sensitively located and of a high standard of design.



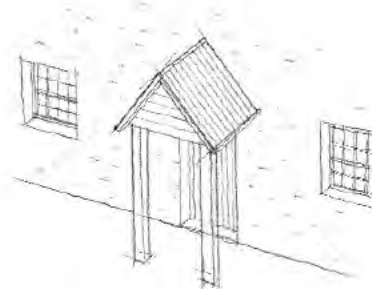
Large conservatory-style front extensions can appear particularly intrusive.

3.4 Porches

There are a wide variety of porch styles and detailing across the National Park, from simple timber canopies to more robust stone enclosures. However, porches are not a feature of the traditional vernacular architecture of the National Park and are more commonly a later addition to a property. Therefore, one of the difficulties in designing a porch extension is getting the scale right. The size and shape of a porch should respect the height and proportions of the original dwelling and yet should not conflict with existing features such as bay windows. The position of first floor windows can also constrain the design of the porch.



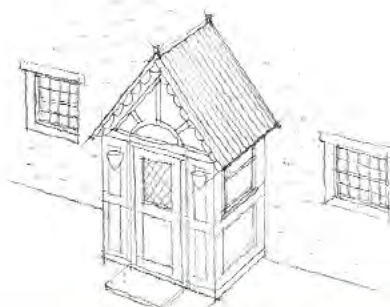
A narrow, gabled roofed stone porch with a recessed entrance door is less likely to compromise the appearance of the original building.



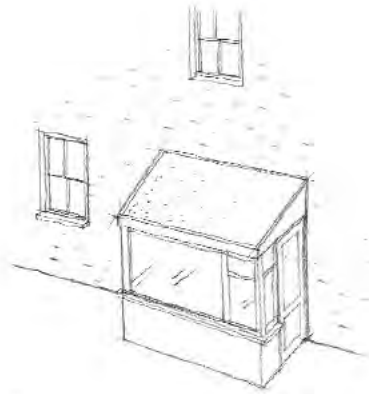
A simple timber-framed canopy.

There are many examples where the porch is oversized, overly ornate or projects excessively from the front elevation of the property making it appear very prominent in relation to the rest of the house. There is a growing trend, particularly on modern properties, for porches to become sun rooms or lobby extensions and to incorporate other accommodation in the structure such as cloakrooms.

The most successful examples are those offering shelter over the main door of the house, simple in form and well proportioned in relation to the main house and commonly with a lean-to or gabled roof. An open porch is often more in keeping than an enclosed porch, particularly on smaller properties.



Avoid over-sized, overly ornate porches.



Conservatory-style porches on smaller vernacular properties can detract from the overall appearance of the house.

3.5 Conservatories

Historically, conservatories tended to be used on more substantial Victorian or Edwardian properties and their use on the smaller and simpler vernacular buildings of the National Park can have a detrimental effect upon their character, particularly where an elaborate style or inappropriate materials are proposed. Whilst a conservatory is easier to accommodate on a modern property, the design considerations applicable to extensions equally apply to conservatories and include their position, height, scale, materials and design detailing.

Generally, a modest, simple conservatory of timber and glass construction with a dwarf wall built in the same materials as the main house is likely to be more acceptable in the National Park than an 'off the peg', prefabricated conservatory of uPVC construction with elaborate detailing. The preferred siting is on the rear elevation with a lean-to or ridge construction rather than a flat or hipped roof. In some cases a garden room, with a tiled roof rather than a glass or polycarbonate roof may be more in keeping with the smaller and simpler vernacular buildings.



A simple ridge and gable conservatory on the rear elevation in matching materials.



An elaborately detailed conservatory on the side elevation detracts from the character of the original building.

3.6 Dormer Windows and Rooflights

Extensions into the roof space are a convenient way of creating more accommodation but great care is required if dormer windows, rooflights and glass tiles are to be sympathetic to the character of both the original house and the locality.

Dormers are a traditional feature in several parts of the National Park but the detailing varies within and between settlements and local characteristics should be used as a reference in the design of new dormers. There are many examples of poorly designed and unsympathetic modern dormers, often large in scale, which harm the character and appearance of the house and the wider street scene. However, more traditional small scale dormers, which are well related to the size, position and glazing pattern of the existing windows beneath may be acceptable.

Generally the main roofing material is continued over the dormer, often with leaded cheeks and valleys. At the same time, the roof of the dormer is lower than the main ridge and tends to follow the style of the main roof. They should also be considerably smaller in scale than the main roof and windows immediately below. Smaller separate dormers look better than a single large, wide one. Dormers should not dominate the elevation. Barge boards and stop ends should generally be avoided as these are modern details that can create a top-heavy effect.

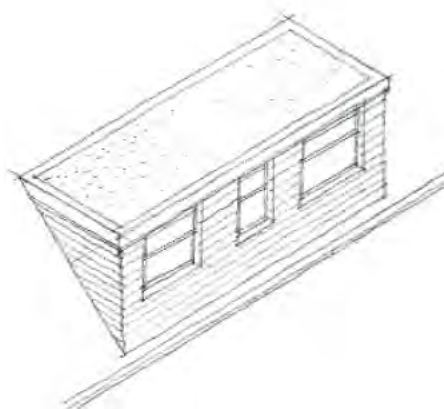
The use of dormers on the front elevation will generally be inappropriate unless the street or local area is characterised by existing dormers on the front elevation.



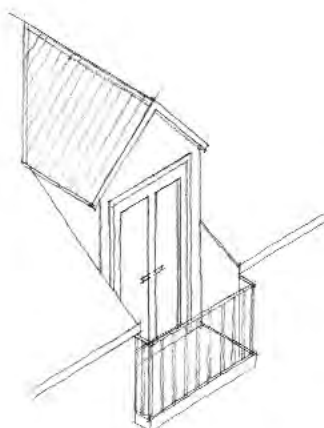
Traditional pitched dormer, continuous with the façade, usually built with the original development rather than as a later addition.



A dormer positioned entirely within the roof slope (e.g. catslide/swept roof/or double-pitched set back (as shown)) is the least obtrusive.



Large flat-roof box dormers give a horizontal emphasis and are inappropriate - particularly on front elevations.



Dormers incorporating balconies can cause a loss of amenity - particularly a loss of privacy through overlooking and can result in an overly-dominant feature.

As an alternative to well designed dormers, rooflights can be a less intrusive way of lighting new rooms and often do not require planning permission². However their position, size and number should be considered carefully so as to respect the appearance of the dwelling and avoid breaking up the main roof plane.

Rooflights should ideally be set within the middle third of the roof slope, away from gables, chimneys and dormers. If there is more than one rooflight, their relative positions should be carefully considered. Care should also be taken to ensure that they are fitted correctly with the appropriate flashings so that they sit flush with the roof plane rather than proud of it. They should be restricted to the least visible roof slope wherever possible.

Reproduction cast iron (conservation-style) rooflights are the Authority's preferred style as these replicate traditional materials, are visually more authentic and are found on many of the vernacular properties within the Park.

Where old cast iron rooflights exist, they should be retained and refurbished as required.

Footnotes:

² It is strongly recommended that you seek the advice of a planning officer as to whether or not permission is required to incorporate a rooflight into your roof.

3.7 Garages and Other Outbuildings

Whilst traditionally there would often be a range of small outbuildings with older properties, garages are a relatively recent innovation and therefore require careful consideration in terms of their siting and design so as not to spoil the character or setting of the main dwelling.

Garages should be located unobtrusively, preferably attached or sited in close proximity to the side or rear of the main dwelling rather than to the front so as not to become the focal point of the approach to the house. In some instances, it may be more appropriate to consider constructing a free-standing garage elsewhere in the garden so as not to prejudice the setting of the house. With careful siting garages and outbuildings can be used to create attractive and usable outdoor spaces especially when grouped with traditional walls and hedges.



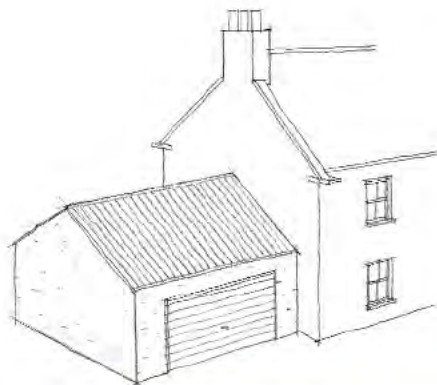
A simple lean-to garage attached to the side gable of the house in matching materials.



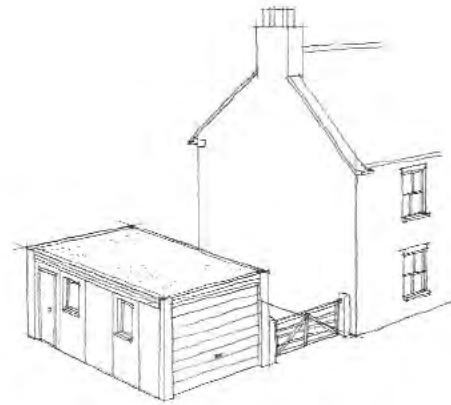
An open fronted car port or a combined garage, workshop and wood store which reflects the design and proportions of a traditional cart shed.

Like extensions, garages should be subservient to the main building and might take the form of a simple lean-to at the gable end. They should complement the form, design and materials of the main property, although traditionally outbuildings were often roofed in pantiles, irrespective of the materials of the main roof.

Double-width garage doors, particularly up-and-over metal doors, can appear out of scale with the other openings in the house, giving a horizontal emphasis and should be avoided. Single width, side hung vertically boarded timber doors, set back in reveals, are visually much more appropriate to the vernacular of the National Park.



Avoid bulky forms with excessively shallow roof pitches, which appear out of scale with the dwelling. This is often a problem with double or larger garages.



Avoid the use of 'off-the-peg' prefabricated concrete garages which can detract from the setting of the original building.

The siting and design of other structures such as sheds and greenhouses also need careful consideration. These should be smaller in scale and clearly ancillary to the main dwelling and should be located in unobtrusive positions not only in relation to the main dwelling but also to the neighbouring properties and in the context of the surrounding countryside.

3.8 Extensions to Domestic Curtilages

Proposals for extensions to domestic curtilages³ can arise if adjacent land, which is not in residential use, becomes available. The change of use of land can result in an erosion of the quality of the landscape. In the open countryside this can have significant effects on the appearance and character of the landscape particularly when domestic paraphernalia, landscaping and fencing are added. Similarly, extensions to domestic curtilages within settlements also have the potential to adversely affect the traditional and historic layout and character of some villages.

In considering whether a garden extension is appropriate or not, account should be given to:

- the aspect and location of the site, including its relationship with the existing dwelling, existing curtilage and surrounding landscape;
- the existing garden pattern of neighbouring properties and the broader character of the overall settlement pattern and form;
- the presence of any landscape features – such as a break of slope, hedgerows, watercourse or woodland which could form a logical new boundary to the residential curtilage; and
- the extent to which agricultural land would be taken out of productive use.

It is unlikely that extensions to domestic curtilages will be acceptable in those instances where:

- it would adversely affect the appearance or character of the open countryside – particularly the existing field pattern;
- the land forms or is part of an important amenity or open space;
- it would adversely affect land of significant nature conservation interest; or
- an extension to the garden has previously been permitted.

Where planning permission is granted, conditions will normally be imposed which require the implementation of a suitable landscaping scheme/boundary treatment and the removal of permitted development rights. The purpose of these conditions is to mitigate the visual impact of extensions on the landscape.



Extensions to gardens can be intrusive in an open countryside setting

Footnotes:

³ Refer to Appendix A: Development Policy 20 – Extensions to Residential Curtilages Core Strategy and Development Policies Document (2008)

4 Altering Existing Features

Traditional buildings are vital components of the character of the National Park, particularly those properties which are either Listed or situated within a Conservation Area. Seemingly small but inappropriate alterations to these buildings can easily damage the appearance of the building itself or the wider context in which it sits.

Whilst many alterations to traditional properties do not require planning permission, the replacement of windows, doors, rainwater goods and other original features by modern mass-produced substitutes can, cumulatively, be very harmful to the appearance of the dwelling and neighbouring properties. They may even require planning permission if the property is situated within a Conservation Area. The Authority encourages the retention of original features on traditional properties that contribute to the built heritage of the National Park. To this extent, the advice contained in this Guide should be carefully considered – even where planning consent is not required.

Inappropriate or ill-considered alterations can turn:



this ... into ... this!

In terms of Listed Buildings, any internal and/or external alterations which affect its character or architectural merit as a Listed Building will require consent. This may include major alterations such as extensions but also covers minor works such as altering fireplaces, partitioning a room or re-pointing.

Some minor repairs using traditional materials and building techniques on a 'like for like' basis will not usually require consent but you are advised to check with the planning section before starting work. You should also bear in mind that **it is a criminal offence to alter, extend or demolish a Listed Building without the necessary consent or to carry out work not in accordance with a consent already granted. If you own a Listed Building you are urged to seek advice prior to the commencement of any work.**

4.1 External Finishes and Materials

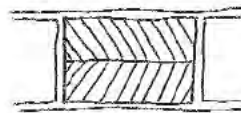
The materials used in the construction of the older traditional buildings within the National Park consist of natural stone (either rubble limestone or dressed sandstone) and red clay pantiles (later with black/blue slate). The materials used generally reflected the underlying geology of the area which accounts for the prevalence of sandstone in the north and east and limestone in the south of the Park. Notwithstanding this, the occasional use of brick (usually incorporated into chimney replacements) is also evident across the Park, particularly in settlements associated with the development of the railways.

Stone

Local sandstone and limestone are the basic materials for most of the traditional buildings within the National Park. Stone can be laid either in continuous layers (courses) to provide a uniform appearance, or used randomly to give a more natural and less uniform visual appearance. Particular care should be given to the treatment of joints and the choice of pointing, which should be in a style traditional to the locality in which it is being used.

Sandstone: Generally found in the north and east of the Park, sandstone is recognisable by its grainy texture and light yellowish/brown tones. As a softer (and less durable) stone, sandstone can be worked to give a variety of surface finishes using a method known as 'tooling'. The process by which a particular finish is achieved is determined by the tools employed by the craftsman. Whilst 'herringbone' is one of the more common examples of tooling, others found within the National Park include 'punched', 'picked' and 'pitched'. Some buildings built of random stone can contain a mixture of surface finishes.

Herringbone



Punched



Pick-faced



Pitched (or Rock Face)



The more intricate and labour intensive finishes, such as 'herringbone', are generally found on buildings of higher status whilst finishes such as 'pitched' tend to be found on the more modest and humble structures. 'Pitched' (or rock faced) stone is achieved by a simple splitting of the stone to provide a rough surface finish and began to be used in the late 19th century on more utilitarian structures such as bridges or railway station buildings and is rarely found in many villages which are characterised by earlier development.

Limestone: Generally found in the more southern areas of the Park (which reflects the underlying geology), limestone can be identified by its grey/white colour tones and fossil rich composition. It is more random-sized and less workable than sandstone, which is reflected in its use in walls as rubble stone.

Pointing

In its simplest terms, pointing is the filling of the horizontal and vertical joints between masonry (stone or brick) with a mortar mix.



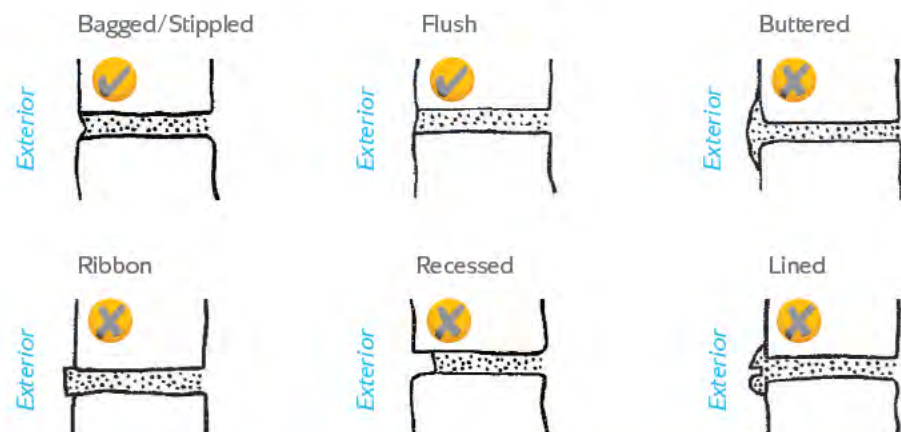
Erosion of the weaker stone

Before the use of cement became almost universal during the last century, lime was the basis for almost all building mortars used. The mortar that shows between the joints of the stone is of both structural and visual importance, however, its function is also to prevent the erosion of the surrounding stonework for as long as possible by acting as a 'sacrificial' material. The mortar should be softer (and weaker) than the surrounding stone, to allow moisture to permeate from the stonework and evaporate away – taking the brunt of the effects of the weathering process whilst the stone remains in reasonably sound condition.

Compared to cement rich mortars – which are hard, brittle, impervious and visually less attractive, the benefits of using soft lime mortar in construction is its flexibility to accommodate minor structural movements and its permeability to allow water to evaporate from joints and to minimise erosion to the surrounding stone – not to mention its visually more attractive appearance. It also has the ability to 'heal' itself when hairline cracking occurs allowing the building to settle without serious cracking. The picture above illustrates the damage that the use of cement can cause – remaining intact as the stone erodes.

As a general rule, joints should be filled to sit flush (or slightly recessed back) from the wall face – particularly if the stone is eroded, pressing the mortar firmly into the joints and finished with a bagged/stippled surface to expose the aggregates. Table 1 illustrates the different techniques that can be employed and those to be avoided.

Table 1:
Pointing
techniques



General design guidelines

- Original stone or brickwork should not be rendered, clad or painted as these change the character of the existing building.
- A lime-mortar mix should be used where stone is the chosen material of construction.
- Preferred methods of pointing include the 'flush' and 'bagged' techniques.
- In all cases, the mortar mix should be weaker than the stone with which it is binding.
- Re-point selectively - remove as little of the original mortar as is necessary, but preferably none at all.

Appropriate pointing techniques include:



Bagged/
stippled
pointing



Ashlar
stonework
with fine
lime-putty
pointing

Inappropriate pointing techniques include:



Buttered
pointing



Ribbon/
Strap
pointing

Tooling techniques:



Bordered
herringbone



Pick-faced



Punched
with a
border

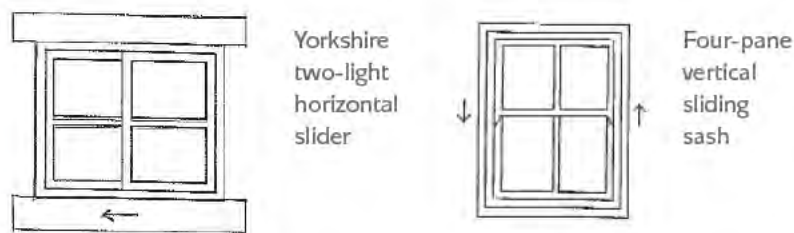


Pitched/
Rock face

4.2 Windows

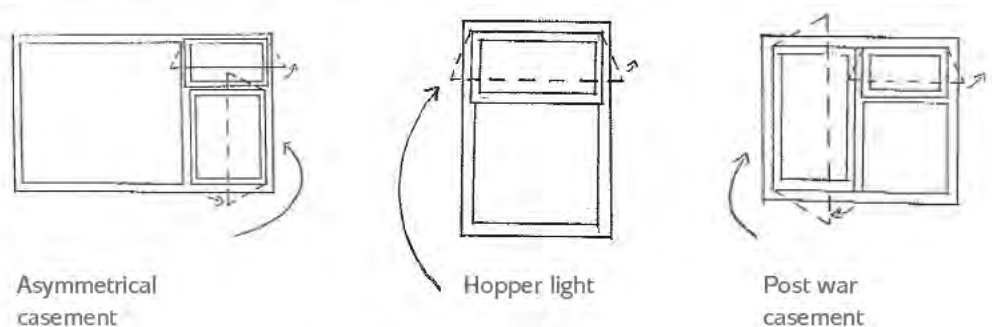
The insertion and replacement of windows into new or existing properties is something that requires careful consideration. Windows are essentially the 'eyes' of the building and can be a main element in its attractiveness. Similarly, choosing the wrong type of window can disfigure the aesthetic appeal of a building and can easily alter the design balance of the frontage.

Most windows in properties within the National Park were traditionally constructed from timber. The most common types of traditional windows are Yorkshire horizontal sliding sash or vertical double hung sash box construction although some casements were used in properties of a lower status or on less public frontages.



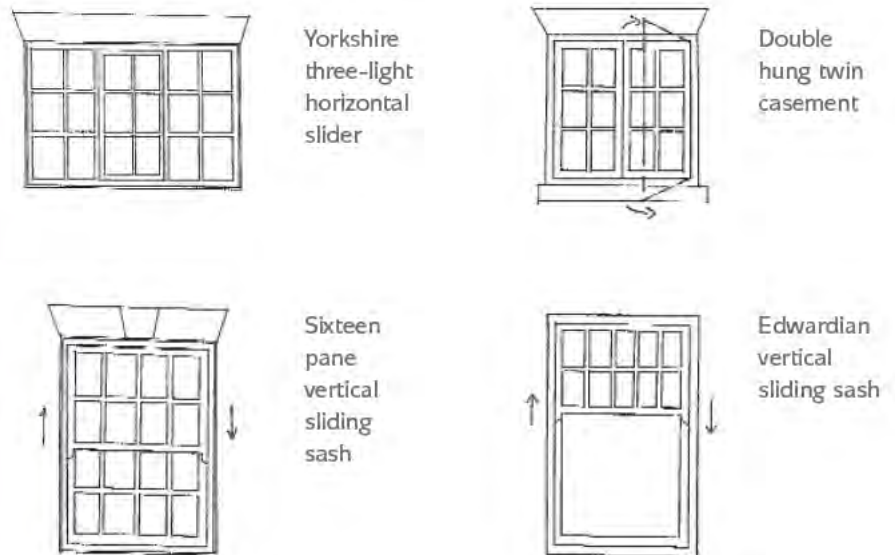
Larger houses which presented a public elevation (i.e. within a village street frontage) or were of a higher status usually had vertical sash windows, with the emphasis on the vertical proportions of the building. Smaller properties, such as cottages and upland farm houses incorporated the more vernacular, horizontal sliding sash windows or casements.

The introduction of mass-produced windows and doors and the standardisation of building materials led to the availability of blander types of designs. Used extensively in post war housing, the window types shown below are rarely suitable for historic/traditional buildings.



Where openings exist and windows which are not original have been inserted at a later date, the appearance of a property can be greatly enhanced by the re-introduction of windows of a more traditional style.

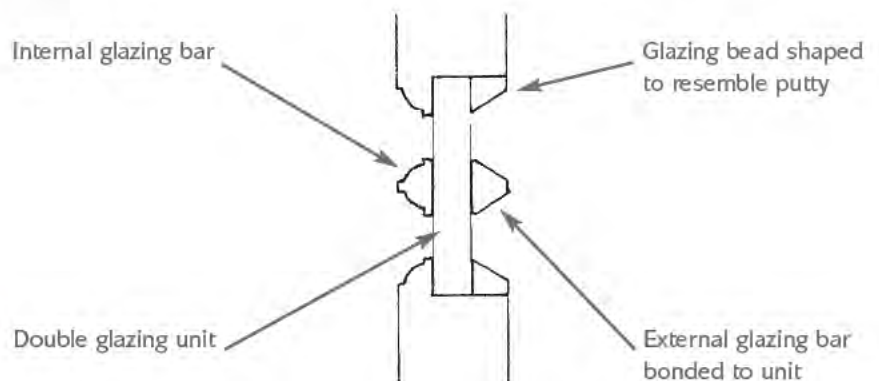
The illustrations below give some idea of the styles which may be suitable and could be used to replace inappropriate windows and generally improve the appearance of a property.



Fine detailing, such as the reveal of a window, can have a significant visual impact on the overall appearance and local distinctiveness of a building. The reveal is the depth that a window is set back from the face of the external wall. The depth of a reveal can vary, according to the predominant walling material used and the differing need for protection from the weather. Where natural coursed stone is used, the reveal depth is usually significantly greater than, for example, buildings constructed of brick and provide a 'third dimension' to its appearance.

Generally, window frames should be set into reveals of at least 50mm behind the face of the stonework leaving the stone reveals clean of mortar, but the depth may be increased to 200mm or greater, for example on barn conversions.

Diagram 1



In multi-paned windows, to achieve the narrow dimensions of traditional glazing bars (16-20mm) in double glazing, applied glazing bars should be bonded to the inside and outside of a large sealed double glazed unit. The use of structural glazing bars to glaze individual double glazed units will result in glazing bars of 30-40mm which are significantly wider than historic glazing bars and will look clumsy by comparison.

Glazing beads and glazing bars should be chamfered to resemble traditional putty (wedge shaped) and not left square (see Diagram 1).

Another important aspect of window design is the relationship between the number of openings (including windows and doors) in an elevation compared to the amount of 'blank' wall. This is known as the "solid-to-void ratio". Early construction techniques resulted in buildings with relatively simple, small and symmetrical window openings surrounded by large areas of masonry - which gives traditional buildings their sense of strength. This is due to the high 'solid' to low 'void' ratio created. Rear elevations were traditionally less formal than the front and as a result tended to have fewer openings.

Today's modern techniques allow the incorporation (particularly in front elevations) of much larger windows the positioning of which, if not carefully considered, can significantly detract from the appearance of a building. Incorporating windows beyond what is required to adequately light and ventilate a room can also lead to heat loss and a loss of privacy. More importantly, reversing the solid-to-void ratio can visually weaken an elevation and deny it the strength often found in traditional buildings.

General design guidelines

- The number of windows and choice of materials should be carefully considered.
- Choose a design appropriate to the original period of the house.
- Windows should reflect the overall scale, proportions and design of the building and have regard to the solid-to-void ratio.
- The dimensions of existing windows should be retained as their enlargement can harm the proportions of traditional properties and upset the solid-to-void ratio.
- Traditional sliding sash windows should be retained and restored where possible.
- If double glazing is needed, internal secondary glazing is preferable to replacing original windows. Replacement units often have thicker glazing bars and fail to replicate the fine detail and appearance of historic windows.
- Where trickle vents have to be incorporated they should be painted to match the window to minimise their visual impact.
- Avoid the use of uPVC and anodised aluminium replacement windows; timber is a more sustainable and traditional material.
- Avoid using hardwoods from forests which are not managed sustainably.
- Choose window sizes and glazing patterns with a strong vertical emphasis and avoid designs which are horizontal in emphasis unless this was the historical pattern.
- Traditionally, ground floor windows are larger than those at first floor and above.
- Windows should be set back into reveals from the building face to give greater definition and liveliness to the façade.
- Retain handmade glass wherever possible (as this is attractive and a finite resource). It is of value not just for its age, but because it has more richness and sparkle than today's flat sheets with their uniform reflections.

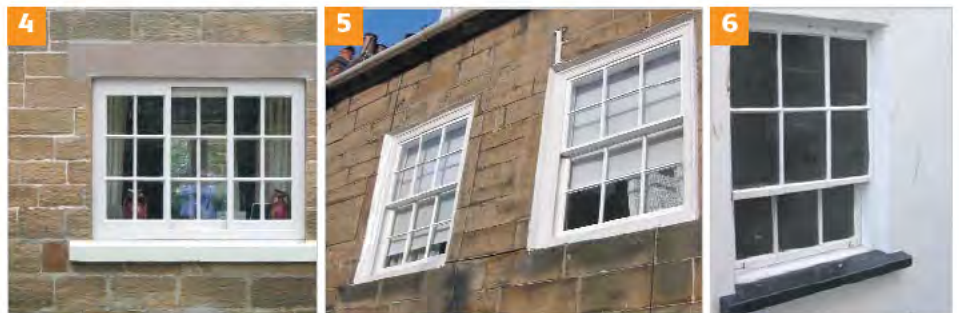


Modern uPVC

Traditional timber

Traditional styles of timber windows found within the National Park include:

- 1 Whitby composite window (in a small opening)
- 2 Whitby composite window (in a large opening)
- 3 Two light Yorkshire horizontal sliding sash
- 4 Three light Yorkshire horizontal sliding sash
- 5 Pair of box sash windows with moulding to the exterior box section
- 6 Single hung vertical sliding sash
- 7 Vertical sliding sash (four panes over four)
- 8 Edwardian style vertical sliding sash with moulding to the exterior box section
- 9 Georgian vertical sliding sash (eight panes over eight)
- 10 Victorian vertical sliding sash (with decorative horns)





Traditionally, ground floor windows are larger than those at first floor and above, reflecting the hierarchical importance of the room and its function. In this instance (picture left) the sliding sash windows have a strong vertical emphasis which reflects the size of the gable elevation within which they sit. The box section of the window (the surround) is also recessed behind the outer skin of stonework which provides a more refined and detailed finish and appearance.

Inappropriate window styles and materials include:



4.3 Doors

One of the greatest threats to the character of many of the National Parks traditional buildings has been the replacement of traditional timber panelled doors with partially glazed, 'off-the-peg' hardwood or plastic doors. Traditional panelled doors rarely contain glazing which, if present, is generally confined to fanlights. The incorporation of a fanlight within the door of many off-the-peg doors represents an attempt by the manufacturers to mimic the fanlights above the panelled doors of Georgian townhouses. It is, therefore, particularly inappropriate to use these mass-produced doors on humble, vernacular cottages and buildings.

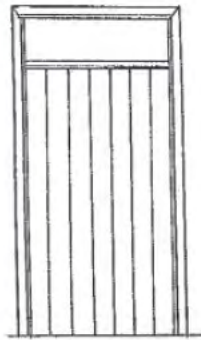


Modern uPVC (left) versus Traditional timber

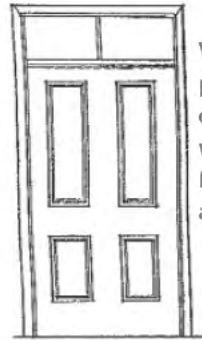
Painted doors (and windows) contribute to the variety and interest of many areas and are a way of expressing individuality. However, many replacement doors are stained or varnished, which is inappropriate in historic, architectural and vernacular terms as doors in the locality have always traditionally been painted

General design guidelines

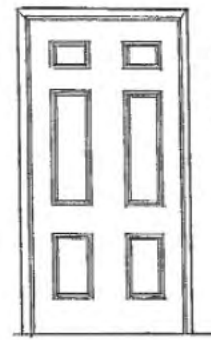
- Re-positioning door openings can have a detrimental effect on the rhythm or pattern of openings – particularly on the front elevation.
- Replacement doors should reflect the shape of the opening and respect the character of the original property.
- Use simple vertically boarded or panelled timber doors, with or without partial glazing and avoid the use of 'pastiche' over elaborate doors particularly in simple, smaller properties.
- White or brown uPVC, aluminium or varnished hardwood reproduction doors should be avoided if a traditional appearance is to be preserved.
- Avoid large glazed panels in and to the side of doors as these can look over-elaborate. Use simple fanlights above or a small window to the side instead.
- Careful consideration should be given to the use of traditional door furniture and ironmongery such as locks, hinges and door knobs.



Vertical timber boarded door with fanlight above



Victorian panel door with fanlight above



Georgian six-panel door

Traditional timber door styles:



Timber vertically boarded



Ledged and boarded door with glazed panel and strap hinges



Wide-boarded ledged door



Four-panel Victorian



Georgian six-panel with surround



Georgian six-panel with surround and fanlight



Less traditional door styles and materials:



4.4 Roof Detailing

Red clay pantiles are common to many buildings in the National Park and as such are a dominant form of roof covering. These can be laid using either a single roll or double roll tile – both of which are preferable to the use of inter-locking tiles. The use of Welsh slate is also widespread.



Roofscape unspoilt by dormers or rooflights

Less common, but nonetheless features in some parts of the National Park are stone slates (generally found in the south west areas of the Park e.g. Coxwold) and green Westmorland slates. A refined effect is achieved with all varieties of slate when they are laid in diminishing courses. Whilst there are examples of thatched roof coverings within the National Park, they are less common than pantiles or slate and remain exceptional in occurrence.

Other traditional roof detailing features include stone or tile ridge lines (to mark the junction of the roof pitches), stone water tabling (to throw-off water and protect the stone beneath) and kneelers (to provide a visual stop/restraint to the water tabling).



Tile clips

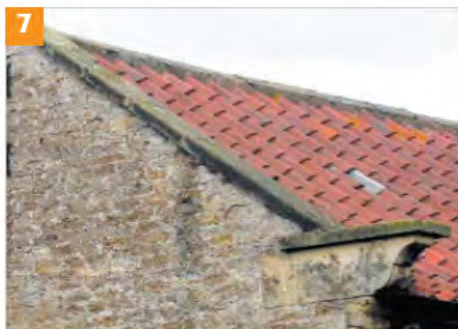
General design guidelines

- Replacement roof coverings should match the original where this is appropriate to the building and locality or otherwise changed to a more traditional material.
- Use non-interlocking natural clay pantiles rather than composite or concrete tiles, which can appear thick and heavy (handmade tiles have more character than machine made).
- Use natural slates rather than artificial or reconstituted products which can appear uncharacteristically uniform and are less responsive to the weathering process. Slates should be a geological match to that used locally, so slate obtained from some foreign sources may not be appropriate.
- Roof pitches are typically between 35° and 45° (to facilitate the use of pantiles) and 25° to 30° to facilitate slate.
- Roof pitches and detailing should relate to the material used. The choice of material is dependent on the character of the area.
- Water tabling, copings and kneelers are common features on traditional buildings in the National Park, but not always so on extensions, outbuildings or smaller vernacular buildings.
- Pitched roofs should be used in preference to flat roofs.
- The use of tile clips as part of the roof detailing on new buildings and extensions to traditional buildings should be avoided on the basis that they are not traditional vernacular features.



Flat roof extensions can significantly alter the form of the original building and should be avoided

- 1 Weathered hand-made clay pantiles
- 2 Westmoreland slate laid in diminishing courses
- 3 Long straw thatched roof
- 4 Artificial slate
- 5 Stone slate
- 6 Conservation style rooflights set flush into roof slope (also note the sensitively detailed small dormer)
- 7 Stone water table with ornate kneeler
- 8 Stone water table with no kneeler
- 9 Simple square kneeler
- 10 Pair of ornate kneelers



4.5 Eaves and Verges

The way in which the eaves and verges are detailed on a new building can have a significant impact on its appearance. Eaves and verges form the junction points between the elevation and gable (respectively) and the roof and must be handled very carefully.



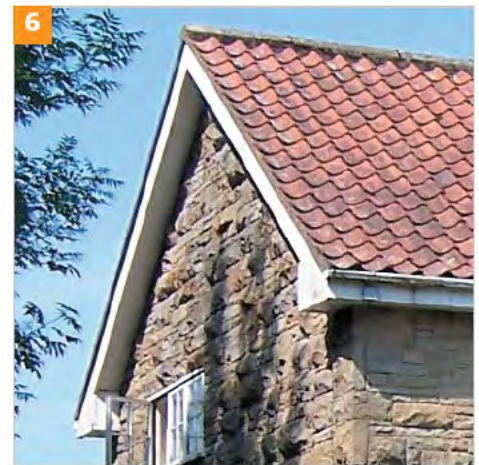
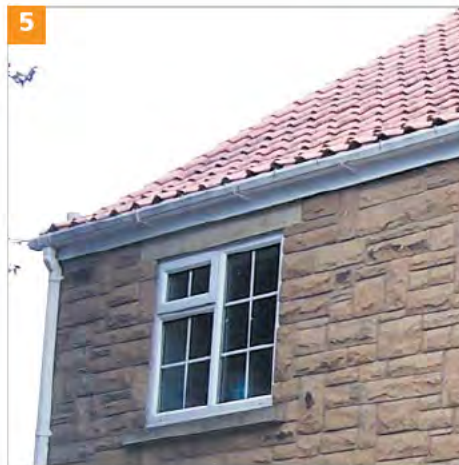
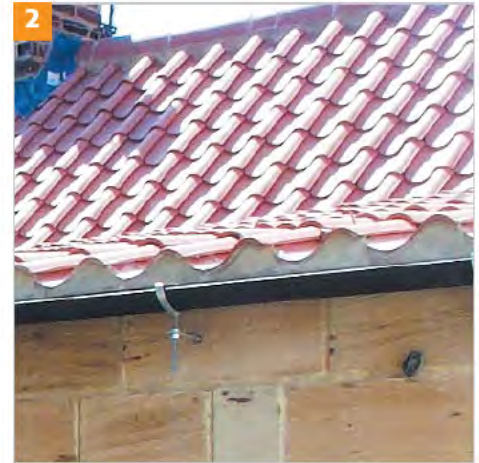
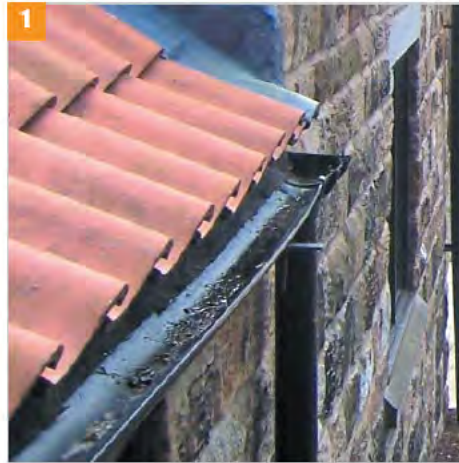
Inappropriate barge board

Traditionally, both eaves and verge detailing are simple vernacular features in the National Park. Traditional buildings tend to have a marginal overhang (approx 90mm) to the tiles and slates, without fascias, soffits or barge boards (see also Section 4.6). This reflects the fact that historically, more humble buildings were constructed without gutters and therefore relied on the overhanging eaves to shed rainwater away from the building. Where fascias do exist, on more recent buildings, they are usually narrow and discreet, unlike more modern boxed eaves and deep fascias/barge boards, which have an uncharacteristically heavy appearance. Notwithstanding this, some Victorian buildings do incorporate decorative gables and fascias which are 'of their time' and thus visually appropriate.

General design guidelines

- The use of fascia boards at the termination of roof eaves is not a traditional practice in this part of Yorkshire. More commonly, walls meet the eaves directly and guttering is fixed by means of gutter spikes.
- Eaves should generally be detailed to incorporate the marginal overhang of roofing material rather than being clipped tightly at the wall top.
- Use simple detailing such as plain close verges with no fascia or barge boards and gutters fixed directly to stonework by means of spikes.
- The use of barge boards should be avoided, as they usually give a 'suburban' style to dwellings in rural areas.
- Avoid modern detailing such as box verges and eaves which complicate the external appearance of a building.
- Where decorative barge boards are incorporated into a building they are usually contemporary to the design of the host building and 'of their time'.

- 1 Pantile roofs with a marginal overhang are traditional features
- 2 Eaves clipped back with no overhang are inappropriate as well as unattractive
- 3 Large barge boards can give a suburban look to a traditional building
- 4 Avoid box verges and eaves
- 5 Fascia boards are not a traditional feature
- 6 Box verges and eaves complicate the appearance
- 7 Decorative Victorian gable is contemporary with the original building
- 8 Overhanging eaves shed water away from this humble building

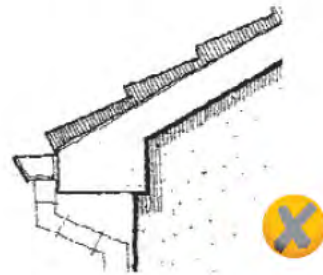


4.6 Gutters/Rainwater Goods

Often an overlooked building detail, most traditional rainwater disposal systems were made of half-round cast iron and supported by simple brackets driven directly into the wall thus negating the need for timber fascia boards. Cast iron became widely available with the establishment of many ironworks in the late 18th Century. Earlier gutters were of timber construction and should be retained where they survive. The style, type and materials of rainwater goods can therefore be a subtle indicator of the age and architectural style of a house. Guttering was traditionally painted black, which helps to emphasise the eaves line and is visually less obtrusive.



Traditionally, verges are clipped tight to the building and eaves have a marginal overhang



Avoid square section rainwater goods, modern box eaves and barge board detailing

General design guidelines

- Retain, refurbish or renew existing cast iron gutters and rainwater goods wherever possible otherwise use simple black round plastic which are reminiscent of cast iron.
- Avoid the use of square section or white rainwater goods.
- Where no fascia board exists on older buildings consider using rise and fall support brackets.
- Cast iron gutters, hoppers and downpipes are both traditional and add strength and interest to the streetscape.



Half-round cast iron gutter (no fascia)



Painted rise and fall bracket supporting cast iron gutter (no fascia)



Black half-round plastic guttering is reminiscent of cast iron



Gutter brackets



Cast iron hopper



Cast iron collar



Avoid square section and/or white rainwater goods

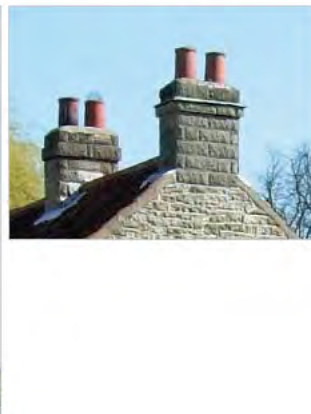
4.7 Chimneys

As well as being functional features, chimneys add strength and verticality to the roofscape as well adding visual interest. The relationship between the chimney and the roof is a major determinant in the external appearance of a building. Alterations to, and removal of chimneys or the construction of poorly designed new chimneys can undermine the character of an area. Historically speaking, many chimneys were originally constructed from stone, however, the use of brick has become the more common material of construction (particularly for the shaft/stack element) as constant use, wear and tear has necessitated (cheaper) repairs over time.

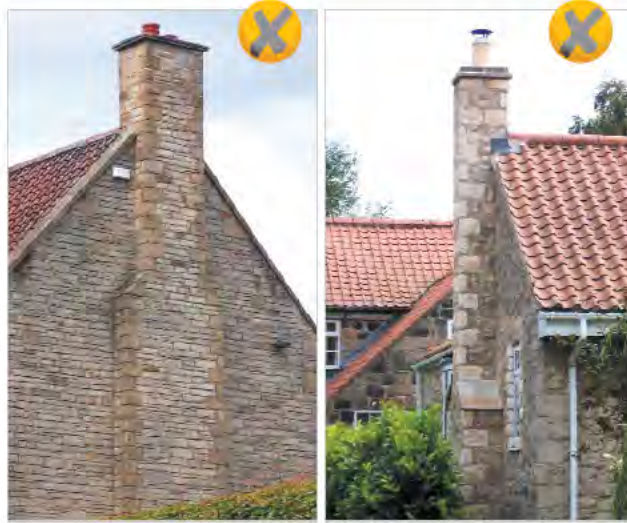
General design guidelines

- Retain original chimneys which add interest to a house, or where beyond repair, re-build in matching materials retaining the original pots or replacing with new identical ones.
- Chimney stacks should generally be positioned through and across the ridge or flush with the face of the wall if positioned at the gable.
- Avoid tall and spindly or 'meanly proportioned' chimneys which can detract from the character of the building.
- Where incorporated, chimney pots tend to be vertical in emphasis.
- External chimney stacks are not a traditional feature of the National Park and should not be used.
- Chimneys on residential properties often contribute to the overall massing and balance of a property, and removal of redundant chimneys or chimney pots should, nearly always, be avoided.
- On buildings which never had chimney stacks i.e. barn conversions, it is often more appropriate to install black or coated metal flue pipes as solid chimneys can domesticate a traditional utilitarian building.

Styles of chimney found within the National Park include:



External chimneys are not a traditional feature within the National Park



4.8 Boundary Treatment

Boundaries that are poorly designed and treated have the ability to detract from the overall qualities of any development scheme. It is therefore important to ensure that the same time and effort is applied to the design of the boundary as to the design of the remainder of the scheme.

Boundaries should be sensitively designed to help the new development 'fit in' with the surrounding landscape. Their function must also be considered. This can range from delineating land ownership and defining spaces to providing security and privacy.

Stone walls provide robust and long lasting boundaries that are relatively maintenance free and as such make a significant contribution to the character and uniqueness of many of the settlements within the National Park. Whilst stone walls are a very important and attractive feature, they also often have historic significance. Styles and materials vary across the National Park and often reflects the availability of a good underlying building stone, which has consequently lead to them being a common feature of the built form. Walls can be low, high or retaining (holding back earth behind the wall). Some low walls are backed by hedges, other low walls have, or had, railings along the top.

Fences and railings can also be appropriate alternatives to stone walls. Both should be used with care and in a manner that enhances the appearance of the new development in a subtle and attractive way. Fences require particular care and should not be erected to hide away the property – particularly through the use of large pre-fabricated fencing panels which can be both visually dominant and intrusive. The use of timber picket fencing, traditional iron railings, metal railings on top of traditional walls or continuous bar railings can all be very attractive when used in the correct context.

Further guidance on boundary treatment can be found in the 'Hard Landscaping' section of Part 3 of the Design Guide, 'Trees and Landscape'.

General design guidelines

- Time and care should be taken to look at the wider context and see what kinds of boundary treatments are common in the area.
- Original railings, boundary walls and hedges are important to the setting of traditional properties and should be retained where possible.
- Retain and repair dry stone walls which have fallen into disrepair.
- New boundary walls should be constructed of the same materials as the house or other local boundary walls and the detailed construction should reflect local traditional examples in order to maintain and enhance local distinctiveness.
- Avoid using pre-cast concrete copings or cement cappings.
- Artificial stone products, blocks, concrete screen walling, chain link fencing and interwoven fence panels should be avoided.
- The use of timber panelled fences is generally only appropriate in back gardens (usually on more modern housing estates).
- Hedges of native species (such as hawthorn) are more ecologically and visually appropriate to front boundaries than timber fencing.
- Think about future maintenance or management – if using plants, is there sufficient space for their growth and development? Will they grow too vigorously or cause overshadowing issues for neighbours?
- Consider what the boundary will look like from within and outside the plot and at different times of the year; also how it relates to the existing context.
- Dry stone walling is a feature of the National Park and should not be pointed-up.

- 1 Traditional stone boundary wall with even-sized triangular top stones
- 2 Iron railings on a stone wall
- 3 Simple timber gate
- 4 Ornate iron railings on top of a stone wall
- 5 Simple wooden picket fence on stone wall
- 6 Gate design allows a degree of 'transparency' and does not hide away the house
- 7 Simple traditional stone wall and hedge
- 8 Stone wall with tilted top stones incorporating a timber gate
- 9 Wrought iron gate between simple stone gate posts



Inappropriate boundary treatments:



4.9 Hard Surfacing

Hard surfaces form the foreground of almost every street scene. Quality in the design and construction of surfaces contributes to the overall character of an area and provides the context within which buildings are viewed.

Hard surfaces vary across the Park with sea cobbles being a particularly distinctive feature of coastal settlements whilst Yorkshire stone slabs are characteristic within the Park itself.

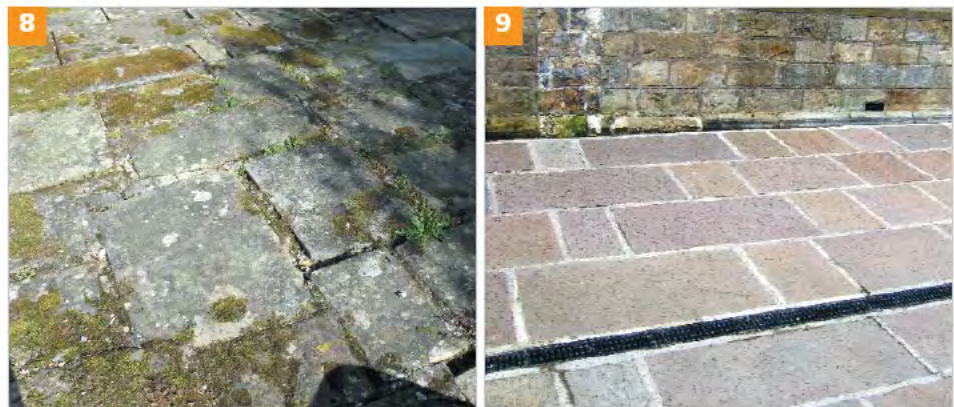
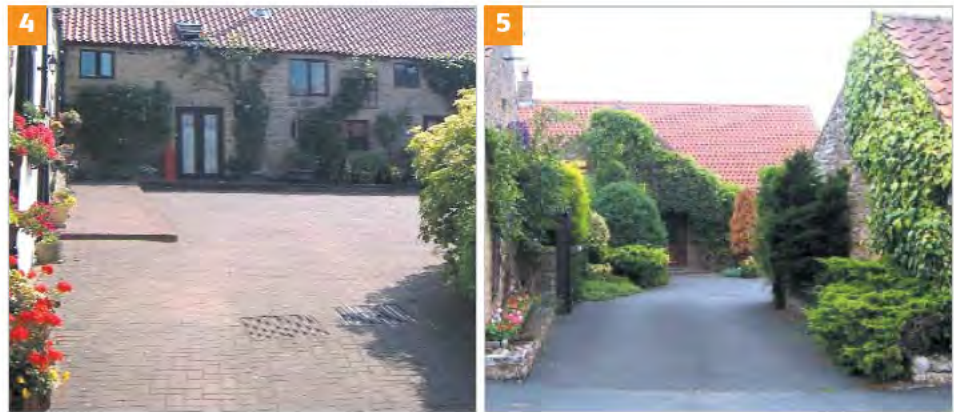
Where possible all development sites should minimise areas of hard surfacing to reduce the rate of water run-off and the consequent need for drainage systems, while maximising the area of permeable surfaces within the site for a more sustainable drainage solution.

Further guidance on hard surfacing can be found in the 'Hard Landscaping' section of Part 3 of the Design Guide, 'Trees and Landscape'.

General design guidelines

- Relate ground surfaces to the local context.
- Keep paving simple, to a minimum and avoid discordant colours.
- Avoid large areas of tarmac, concrete and concrete block paving all of which can increase the amount of surface water run-off. Tarmac with a top layer of gravel rolled in, stone slabs, bonded gravel, granite setts and cobbles are more appropriate surfacing materials and are more likely to complement local building materials.
- Avoid the use of imported flagstones which can appear alien in texture and colour in an historic or natural context.
- Where kerbs don't exist, especially in rural villages, their introduction will not always be appropriate.
- Maintain and restore historic paving and detailing such as kerbing.

- 1 An effective mix of materials guides the user along the pathway
- 2 Cobbles are a feature within the coastal settlements of the Park
- 3 Where kerbing is absent, its introduction can urbanise the rural character of a settlement
- 4 Avoid large areas of block paving which can visually appear harsh
- 5 Tarmac generates higher levels of surface water run-off
- 6 A bonded gravel surface provides an attractive finish and meets highway requirements
- 7 Gravel complements the buildings and reduces the amount of surface water run-off
- 8 Yorkshire stone slabs are a prominent surface material within the National Park
- 9 Imported flagstones can look out of character in the context of local stonework



Appendix A: Development Policy 20

(Core Strategy and Development Policies Document (2008))

Proposals for the extension of existing domestic curtilages will only be permitted where the land does not form an important amenity or open space and where the change of use to domestic curtilage will not have an adverse impact on the character of the landscape.

Appendix B: Glossary

Wherever possible this document has sought to avoid the use of specialist terminology and jargon. However, it is inevitable that certain phrases and terms are used whose meaning may not be immediately clear. This glossary seeks to define and clarify the meaning of a number of references in the Design Guide. Please contact the Planning Policy Team should any further guidance be required.

A

- Accessibility** The ability of people to move round an area and to reach places and facilities, including elderly and disabled people, those with young children and those encumbered with luggage or shopping.
- Amenity** A positive element or elements that contribute to the overall character or enjoyment of an area. For example, open land, trees, historic buildings and the inter-relationship between them, or less tangible factors such as tranquillity.
- Article 4 Direction** Direction removing some or all permitted development rights, for example within a Conservation Area or curtilage of a Listed Building. Article 4 directions are issued by local planning authorities.
- Ashlar** Ashlar blocks are large rectangular blocks of masonry with square edges and smooth or finely tooled faces and are used in the construction of many (higher status) old buildings.

B

- Barge Board** Wide board (on older properties often carved) fitted below tiles of overhanging verge to gable. Sometimes known as a verge board.
- Building Control & Regulation** Control exercised through local authorities over the details and means of construction to secure health, safety, energy conservation and access.
- Building Form** The layout (structure and urban grain), density, scale (height and massing), appearance (materials and details) and landscaping of development.
- Building Line** The line formed by frontages of buildings along a street.
- Bulk** The combined effect of the arrangement, volume and shape of a building or group of buildings. Also referred to as the massing of a building.

C

Character Assessment	An area appraisal emphasising historical and cultural associations.
Cill	Sloping area below a window or door opening to facilitate rainwater run-off.
Conservation Area	An area designated by a local authority under the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 as possessing special architectural or historical interest. The Authority will seek to preserve or enhance the character and appearance of such areas.
Context	The setting of a site or area, including factors such as land use, landscape and built form.
Coping	A covering course to throw-off water and protect the wall beneath.
Corbell	Projection of stone, brick, timber or metal jutting out from a wall to support a weight – usually guttering.
Core Strategy and Development Policies Document	Key LDF document which takes forward the vision, objectives and spatial strategy for the National Park. It is accompanied by a set of Proposal Maps.
Course	Continuous layer of stone of a uniform height.

D

DCLG	Department for Communities and Local Government (<i>now CLG</i>).
DEFRA	Department for Environment, Food and Rural Affairs.
Design Guide	A document providing guidance on how development can be carried out in accordance with the design policies of a local authority often with a view to retaining local distinctiveness.
Design Policy	Relates to the form and appearance of development, rather than the land use.
Development	The legal definition of development is, “the carrying out of building, mining, engineering or other operations in, on, under or over land, and the making of any material change in the use of buildings or other land” (Section 55 of 1990 Act); this covers virtually all construction activities and changes of use.
Development Plan	Sets out a local planning authority’s policies and proposals for the development and use of land and buildings in local planning authority area. The Development Plan consists of the RSS and development plan documents prepared by district councils, unitary authorities, national park authorities and minerals and waste development plan documents prepared by city councils.

Development Plan Documents	Spatial planning documents that are subject to independent examination. Prepared by a local planning authority as part of the Local Development Framework. They include the Core Strategy, Adopted Proposals Map, Site, Area Action Plans, together with the Regional Spatial Strategy.
Downpipes	Round or square cast iron or plastic tubing to take water from the gutters to the drainage system.
E	
Eaves	Projecting edge of a roof.
Energy Efficiency	The result of minimising the use of energy through the way in which buildings are constructed and arranged on site.
F	
Fascia	Vertical board at eaves level to which guttering is often attached.
G	
Gable	Triangular upper part of the wall at the end of a pitched roof.
Georgian	Pertaining to the reign of George I, II & III (1714-1820) and sometimes George IV (1820-1830).
Glazing bar	Slender timber bars that form a grid-like framework that holds panes of glass within a timber window frame.
Grain	See <i>'Urban Grain'</i> .
Gutters	Open piping at lowest point of roof for the collection of rain water and formed in plastic or cast iron in older properties.
H	
Hip	External angle formed by roof instead of ending in a gable.
Horns	Small projecting spurs of timber on a sash window (usually hanging down from the top sash) introduced from the mid-19 th century to strengthen the joints.
Human Scale	The use within development of elements that relate well in size to an individual human being and their assembly in a way that makes people feel comfortable rather than overwhelmed.
K	
Kneeler	Stone at the base of a coping detail on a gable end.

L

Landscape	The appearance of land, including its shape, form, colours and elements, the way these (including those of streets) components combine in a way that is distinctive to particular localities, the way they are perceived, and an area's cultural and historical associations.
Lintel	Horizontal beam of timber, stone, etc. bridging an opening across the top of a door or window.
Listed Building	A building designated by the Secretary of State for Culture, Media and Sport under the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended, as being a building of special architectural or historic interest.
Local Development Document	These include Development Plan Documents (which form part of the statutory development plan) and Supplementary Planning Documents (which do not form part of the statutory development plan). LDDs collectively deliver the spatial planning strategy for the local planning authority's area.
Local Development Framework	The name for the collection or folder of documents prepared by the local planning authority. It consists of Development Plan Documents, Supplementary Planning Documents, the Statement of Community Involvement. The Local Development Scheme and the Annual Monitoring Report also form part of the local development framework.
Local Development Scheme	This is a project plan for the planning department, providing the programme for updating policy documents, creating new policy documents, and outlining the main stages in production, including the opportunities for public involvement.
Local Distinctiveness	The particular positive features of a locality that contributes to its special character and sense of place and distinguishes one local area from another.

M

Massing	The combined effect of the arrangement, volume and shape of a building or group of buildings. Also called bulk.
Material Consideration	A matter that should be taken into account in deciding a planning application or on an appeal against a planning decision.
Mortar	Mixture of sand, cement, lime and water, used to join stones or bricks.
Mullion	Vertical post or upright between a window sill and a window lintel. Usually of stone or pre-cast reinforced concrete.

N

National Park Designated under the 'National Parks' and 'Access to the Countryside' Acts to conserve and enhance their natural beauty, wildlife and cultural heritage; and to promote opportunities for public understanding and enjoyment of their special qualities.

P

Pantile Tile having a curved 'S' shaped profile.

Parapet Sections of wall protruding above the external wallheads, usually with internal parapet gutters behind. In older properties, these are commonly of lead in good quality work. Normally only found in Victorian or older properties.

Permitted Development Permission to carry out certain limited forms of development without the need to make an application to a local planning authority, as granted under the terms of the Town and Country Planning (General Permitted Development) Order.

Planning Policy Guidance (PPG) Issued by central government setting out its national land use policies for England on different areas of planning. These are gradually being replaced by Planning Policy Statements.

Planning Policy Statement (PPS) Issued by central government to replace the existing Planning Policy Guidance notes in order to provide greater clarity and to remove from national policy advice on practical implementation, which is better expressed as guidance rather than policy.

Pointing The mortar filling between stones and bricks in a wall, which has an adhesive and weatherproofing function.

Public Right of Way Routes over which, even where in private ownership, the public has a right of passage. They comprise byways, which are open to any user; restricted byways, open to any user other than mechanically propelled vehicles; bridleways, which can be used by those on foot, horse or bicycle; and footpaths which are open to those on foot only.

R

Regional Spatial Strategy The broad region-wide strategic part of the development plan.

Rendering Vertical covering of a wall with either plaster (internally) or cement/lime (externally).

Reveal The part of the side of a window or door opening that is between the outer surface of a wall and the window or door frame.

Rhythm	The line formed by the frontages of buildings along a street, which can be continuous, broken or interrupted.
Ridgeline	The apex of the roof continued along the length of the roof span.
Roof pitch	Angle at which rafters form an apex from the supporting walls.
Roofscape	A view resulting from a blend of roof pitches, sizes and heights within the built environment.
S	
Sash window	Window frames that slide one in front of the other, usually vertically, although horizontal sashes are a vernacular detail.
Scale	The impression of a building when seen in relation to its surroundings, or the size of parts of a building or its details, particularly as experienced in relation to the size of a person.
Setts	Stone paving blocks, usually granite.
Soffit	The projecting underside of the eaves of a roof.
Suburban	The area on the edge of a city or large town that falls between being truly part of the city, but is not countryside either.
Supplementary Planning Document	A Supplementary Planning Document is a Local Development Document that may cover a range of issues, thematic or site specific, and provides further detail of policies contained in the Core Strategy and Development Policies document.
Sustainable Development	A widely used definition drawn up by the World Commission on Environment and Development in 1987: Development that meets present needs without compromising the ability of future generations to achieve their own needs and aspirations.
T	
Tree Preservation Order (TPO)	A mechanism for securing the preservation of single or groups of trees of acknowledged amenity value. A tree subject to a tree preservation order may not normally be topped, lopped or felled without the consent of the local planning authority.
Topography	The physical shape of the land.

U

Urban Grain The pattern of the arrangement and size of buildings and their plots in a settlement and the size of street blocks and junctions. The layout.

V

Verge Edge of a roof which runs from eaves to ridge at a gable (usually cement pointed).

Verge Board See 'Barge Board'.

Vernacular Traditional local architectural style.

Victorian Pertaining to the reign of Victoria (1837-1901)

View What is visible from a particular point. (Compare to 'Vista').

Vista An enclosed view, usually a long and narrow one.

W

Water table A projecting ledge or moulding designed to throw-off rainwater.





Cover photo:
Mill Flats,
Egton Bridge



North York Moors National Park Authority
The Old Vicarage, Bondgate, Helmsley, York YO62 5BP
Tel: 01439 770657 Fax: 01439 770691
email: general@northyorkmoors-mpa.gov.uk

www.moors.uk.net

TOWN AND COUNTRY PLANNING ACT, 1990
NORTH YORK MOORS NATIONAL PARK AUTHORITY

NOTICE OF DECISION OF PLANNING AUTHORITY ON APPLICATION FOR
PERMISSION TO CARRY OUT DEVELOPMENT

To Mr and Mrs A Richter
Quarry Cottage
Raw
Whitby
YO22 4PP

The above named Authority being the Planning Authority for the purposes of your application dated 2 April 2003, in respect of proposed development for the purposes of **erection of a two storey side extension at Quarry Cottage, Raw** have considered your said application and have **granted** permission for the proposed development subject to the following condition(s):

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
2. The development hereby permitted shall not be carried out other than in accordance with the plans received at the National Park Office on 28 May 2003.
3. Details of the stone, including samples if so required by the local planning authority, to be used to the external walls of the development hereby permitted shall be submitted to and approved in writing by the local planning authority before the development is commenced and all the stone used in the development shall conform to the details/samples so approved.
4. The roof tiles utilised in carrying out the development hereby permitted shall match as closely as possible those of the existing building.
5. The external face of the frame to all new windows shall be set in reveals to match those of the existing windows.
6. The rainwater goods utilized in the development hereby permitted shall be coloured black and thereafter so maintained.
7. The guttering to the development hereby permitted shall be directly fixed to the stonework by means of gutter spikes with no fascia boarding being utilized in the development and shall thereafter be so maintained.

Reasons for Conditions

1. To ensure compliance with Sections 91 to 94 of the Town and Country Planning Act, 1990.
2. To avoid doubt.
- 3 to 7. The local planning authority is anxious to ensure that the materials used will be in character with the materials in general use in the area.

V A Dilcock .

Mrs V A Dilcock
Chief Planning Officer

Date

NOTE :-

No consent, permission or approval hereby given absolves the applicant from the necessity of obtaining the approval, under the Building Regulations, of the District Council in whose area the site of the proposed Development is situated; or of obtaining approval under any other Bye-Laws, local Acts, orders, regulations and statutory provisions in force; and no part of the proposed development should be commenced until such further approval has been obtained.

67/00

RIGHTS OF APPEAL

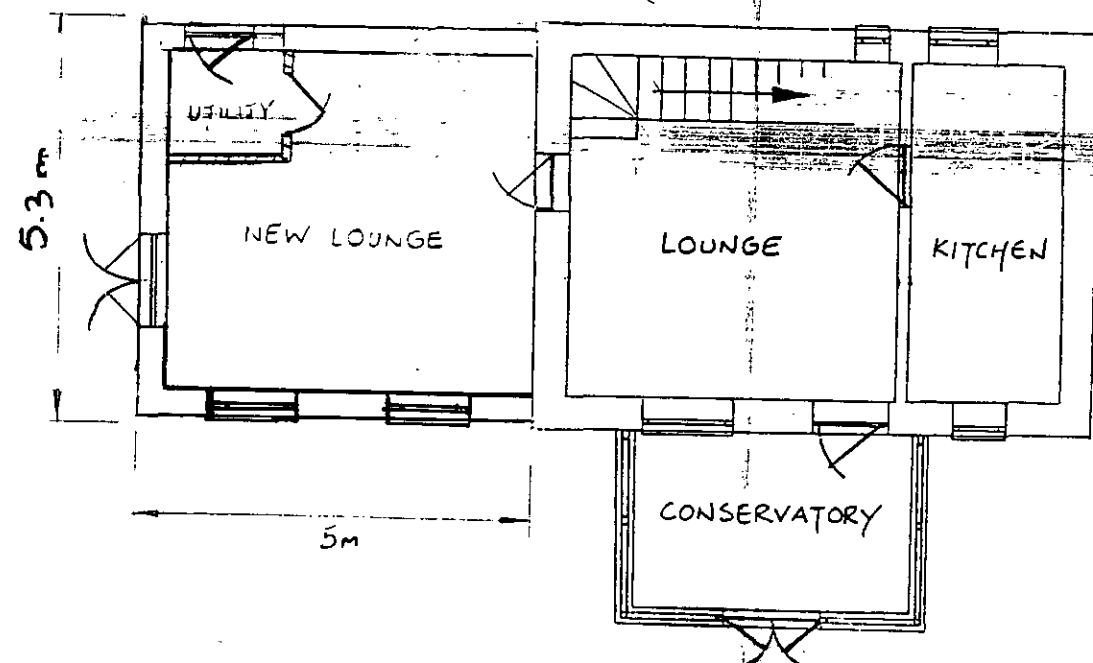
- (1) If the applicant is aggrieved by the decision of the local planning authority to refuse permission or approval for the proposed development, or to grant permission or approval subject to conditions, he may appeal to the Secretary of State in accordance with Section 78 of the Town and Country Planning Act 1990, within six months of the date of this notice. The Secretary of State can allow a longer period for the giving of a notice of appeal, but he will not normally be prepared to exercise this power unless there are special circumstances which excuse the delay in giving notice of appeal. The Secretary of State is not required to entertain an appeal if it appears to him that permission for the proposed development could not have been granted by the local planning authority, or could not have been so granted otherwise than subject to the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.

In practice, the Secretary of State does not refuse to consider appeals solely because the local planning authority based their decision on a direction given by him.

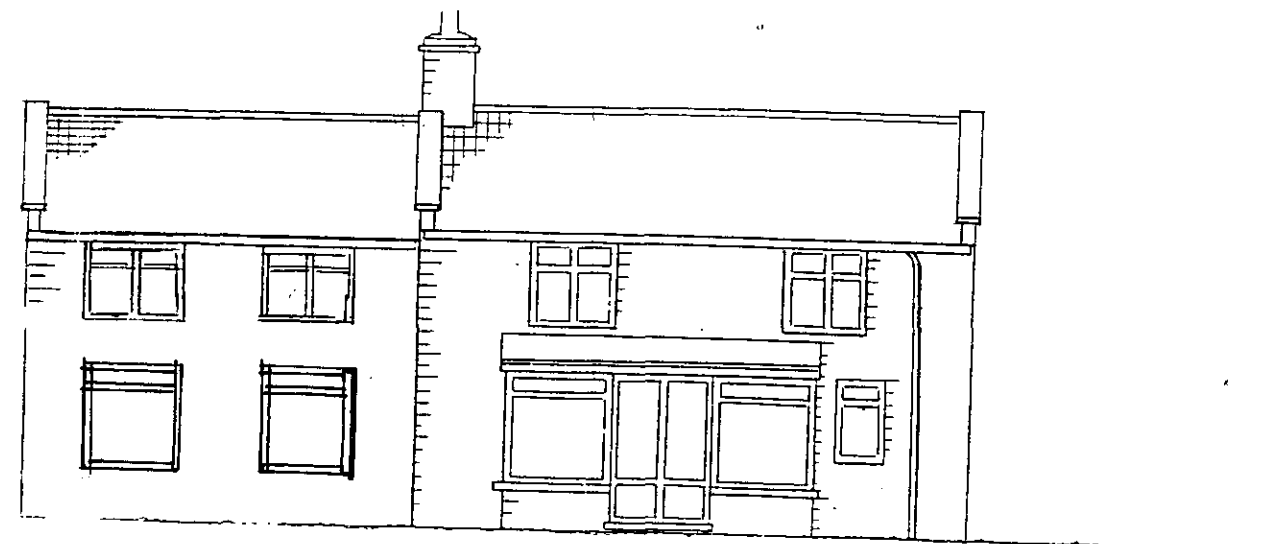
- (2) If permission to develop land is refused, or granted subject to conditions, whether by the local planning authority or by the Secretary of State, the owner of the land may claim that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he may serve on the council of the county/district in which the land is situated a purchase notice requiring that council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990.

Note: If an aggrieved applicant wishes to exercise his right of appeal as above mentioned, he should do so on the appropriate form obtainable from:-

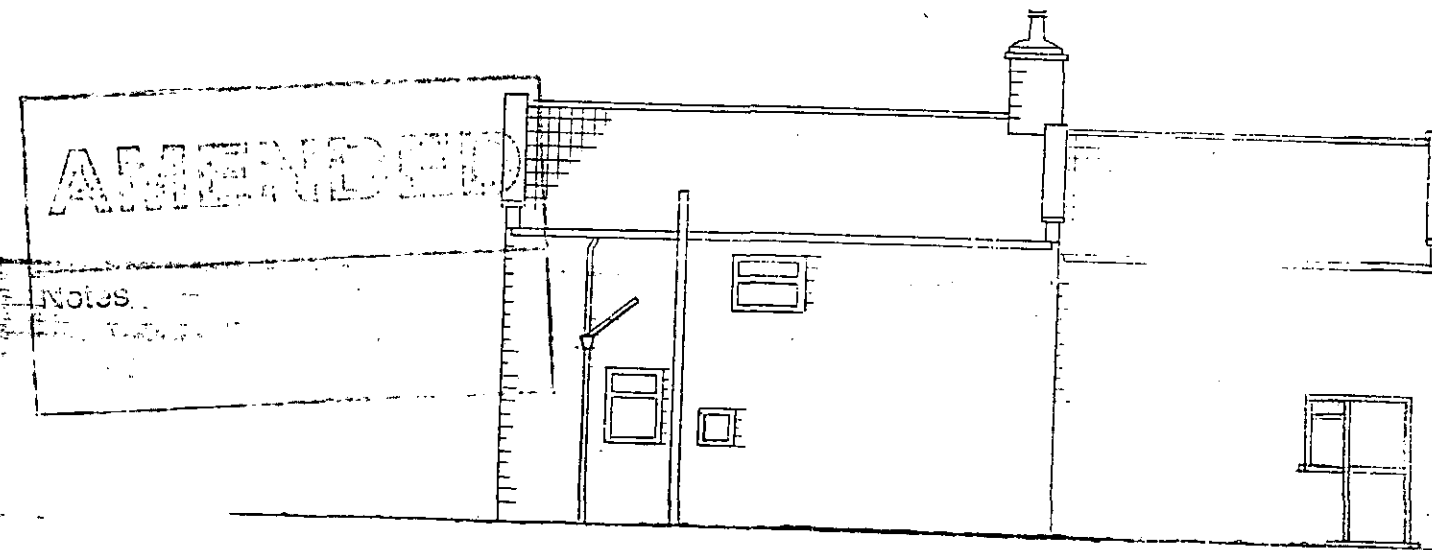
The Planning Inspectorate
Temple Quay House
2 The Square
Temple Quay
Bristol, BS1 6PN



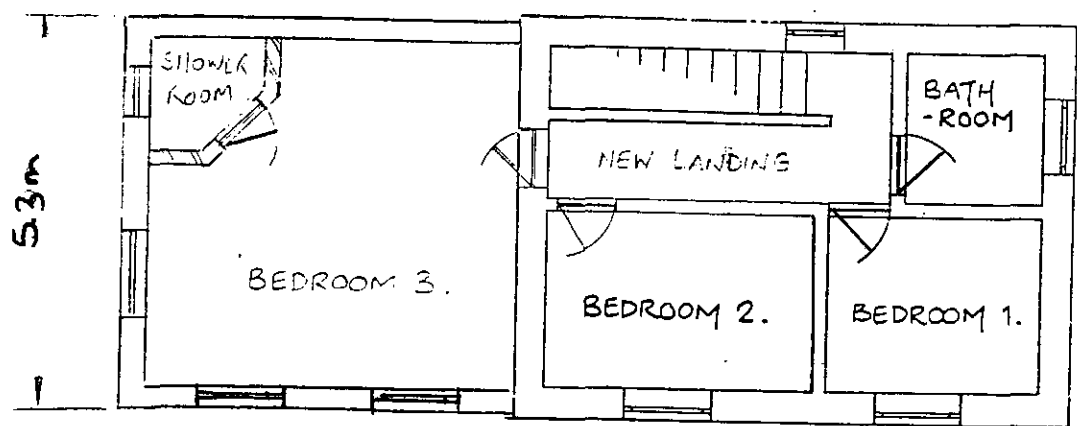
PROPOSED GROUND FLOOR PLAN



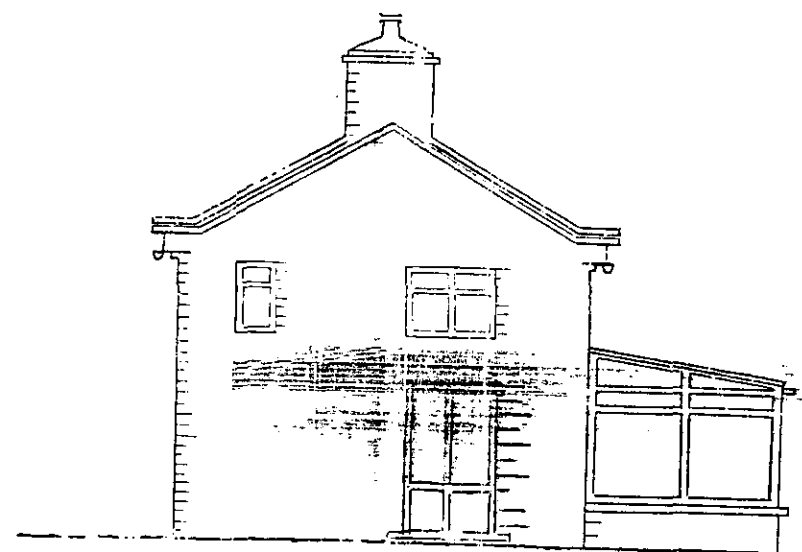
PROPOSED FRONT ELEVATION



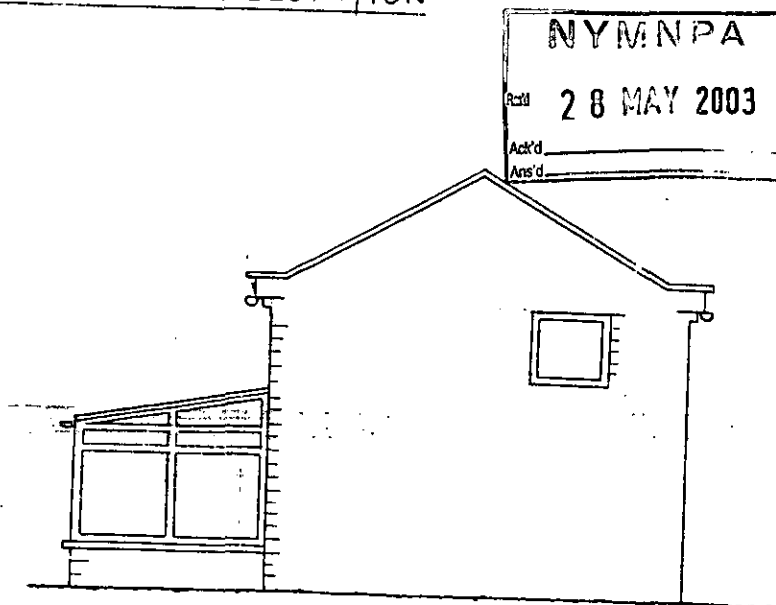
PROPOSED REAR ELEVATION



PROPOSED FIRST FLOOR PLAN



PROPOSED GABLE ELEVATION



PROPOSED GABLE ELEVATION

MR & MRS A. RICHTER
QUARRY COTTAGE
RAW
WHITBY
YO22 4PP

SCALE 1:100.

28.3.03
REVISED 23.05.03