
From:

Sent: Wednesday, March 20, 2024 6:37 PM

To: Planning

Cc: Jill Bastow

Subject: RE: NYM/2023/0527, Burleigh Cottage, Brig Garth, Robin Hoods Bay

Dear Jill,

As you may be aware I spoke to Annabel 2 weeks ago regarding the Listed Building Application.

I was a bit surprised we went right back to her comments sent to us on the 11th Sept Last year. I had thought that significant progress had been made during the intervening time.

Therefore, some of what I set out below is a repeat of previous details sent.

Lower Ground Stairs

Another point was retention of something associated with the current modern stair up from the Lower Ground Floor.

I confirmed we would retain the Ground Floor wall and door which will form a cupboard to the rear of the Living Room instead of a stairwell. We trust that this satisfies the requirement for retention of historic features. It is agreed this is worthy of retention, but not that it previously housed a more original Stair. It really is not possible as noted and I believe agreed in our previous email dated 25/01/24.

Other retained features as requested by Annabelle will be the low level cupboard adjacent between the chimney breast and external front wall and the chimney breast on the cross wall. All on the Ground floor.

The floor references relate to those used on our drawings and may differ from Annabels references but I believe we are aware of the areas mentioned.

Separation of Floors

A point Annabelle mentioned but was not previously raised referred to the Building Control requirements for the floor which will form the separation between Lower Ground and Ground floors. Some of this work is already shown, if further works are required for either acoustic or fire separation then could it be conditioned so that we can be specific.

Annabelle seemed to think the property split would be total and that they could be separately owned. As our previous letter this is definitely not the case.

From a practical point of view Building Control will need 60 minutes fire resistance which has to be complied with. The acoustic insulation has just to show an improvement on what exists which I believe will be satisfied by the details already proposed.

Rainwater goods

Guttering and downpipes are to be repaired and retained. Where this is not possible due to their state of repair they will be changed on a like for like basis.

Any plastic sections will be replaced with black powder coated cast iron.

The possibility of new/additional downpipes was raised. Where this is to occur we will add to the drawings. The clients are looking at this.

Stone corner steps

We are pleased Annabelle does not have any issues with removal of the stone steps to the narrow corner which in their current state and position exaggerate the damp problems internally.

We are removing them as above and we will get back to you with proposals. Please condition

Windows

We are aware that a Method Statement is required for the repair works to the windows.

The roof light is to be inserted on the rear roof slope.

Misc Joinery

Flooring; affected joinery (skirting/architrave/doors deemed as suitable for retention. See the section on wall lining for more information) will be removed prior to the works to the floor, and subsequently refitted. Historic and original joinery will therefore be protected.

A schedule is to be provided for works to the retained stairs

Percolation membrane

This was covered in depth within my email dated 25/01/24

I went over the details again, the most pertinent being that the below ground wall will always be wet. The degree of moisture changing due to external influences (ground water, rainfall etc) not in the control of the applicant.

A percolation membrane allows the current natural state to continue and does not allow a build up of pressure.

Independently the applicants are perusing elements within their sphere of influence. They are pursuing Yorkshire Water to check and repair the below ground drains. They are checking their own water supply to ensure it does not contribute. The path where it abuts the property is also to be repaired to reduce surface water ingress.

These are positive efforts to help protect the below ground wall.

Wall lining/ insulation

On the internal face of external walls it is proposed to remove any cementitious or gypsum lining.

This is to be replaced with an insulating layer as detailed on the submitted drawings.

A schedule of joinery is to be provided and referenced to detail their likely ages and originality. This mainly refers to skirting boards and architraves. It is anticipated that the window surrounds where they are timber project sufficiently to allow the reclining.

Previous attached email to be read in conjunction.

I trust this, the amended drawings and Schedule will allow furtherance of the scheme and a Positive decision.

Should you have any queries please let me know

Kind regards

Neil

BHD Design Ltd Architectural services

The information contained in this email is intended only for the person or entity to whom it is addressed and may contain confidential and/or privileged material. If you have received this email in error please note that any review, retransmission, copying, dissemination or other use of, or taking of any action in reliance upon its contents is prohibited. If you are not an intended recipient please delete the material from any computer that may have it and contact BHD Design. Thank you for your co-operation. The contents of an attachment to this email may inadvertently contain software viruses which could damage your computer system. We cannot accept liability for any damage which you sustain as a result of software viruses, you should carry out your own virus checks before opening any attachment.

BHD Design Ltd, Flat 1, Airy Hill Manor, Whitby, YO21 1QB Tel:

Existing external walls show signs of damp, penetrating and surface condensation.
 Note; narrower wall width to front.

Remove wall finishes including internal modern gypsum plaster where present.
 Re line with breathable system as Detail B
 This is to be carried out in conjunction with improvement of external pointing where any cement based mortar is to be raked out and replaced with Lime mortar.
 Raking out and repointing to be carried out as an agreed method statement.

Heating; It is proposed to remove as many radiators as possible to replace with an underfloor system. See floor details for methods to be used

Bay window
 Fit window seat within Bay to allow inclusion of insulation and draft exclusion.
 Existing floor etc to be retained

Windows; Generally all windows to be retained and fully refurbished insitu or in workshop.

Services; While floors are lifted carry out service alterations to ensure that where possible cables and pipes can be concealed within floor boards.

Infill steps to be replaced with stone detail

Remove modern fire surround and hearth. Remove shelves.
 Install kitchen and services following wall treatment.

Retain existing opening and lintel. Fit new door and frame to suit client.

Possible new SVP for kitchen drainage

Remove fire insert (ok) but retain chimney breast

Remove timber shelves.
Retain low level cupboard.

Flooring; Check below to ensure joists are fully supported before lifting the existing floor boards. Overlay joists with timber packers and firrings to level the surface the refix the existing boards.
 Provide salvaged timber boards to make up for broken, defective or chipboard infills.
 Note; A system of underfloor heating is to be installed within the timber floors. This will involve hemp, ultrawool or similar insulation between existing joists and a pipe tray below floor boards. This must be designed by specialists with experience of old timber floors. Detail C

Remove modern timber shelves.

Remove door and partition wall to create recess

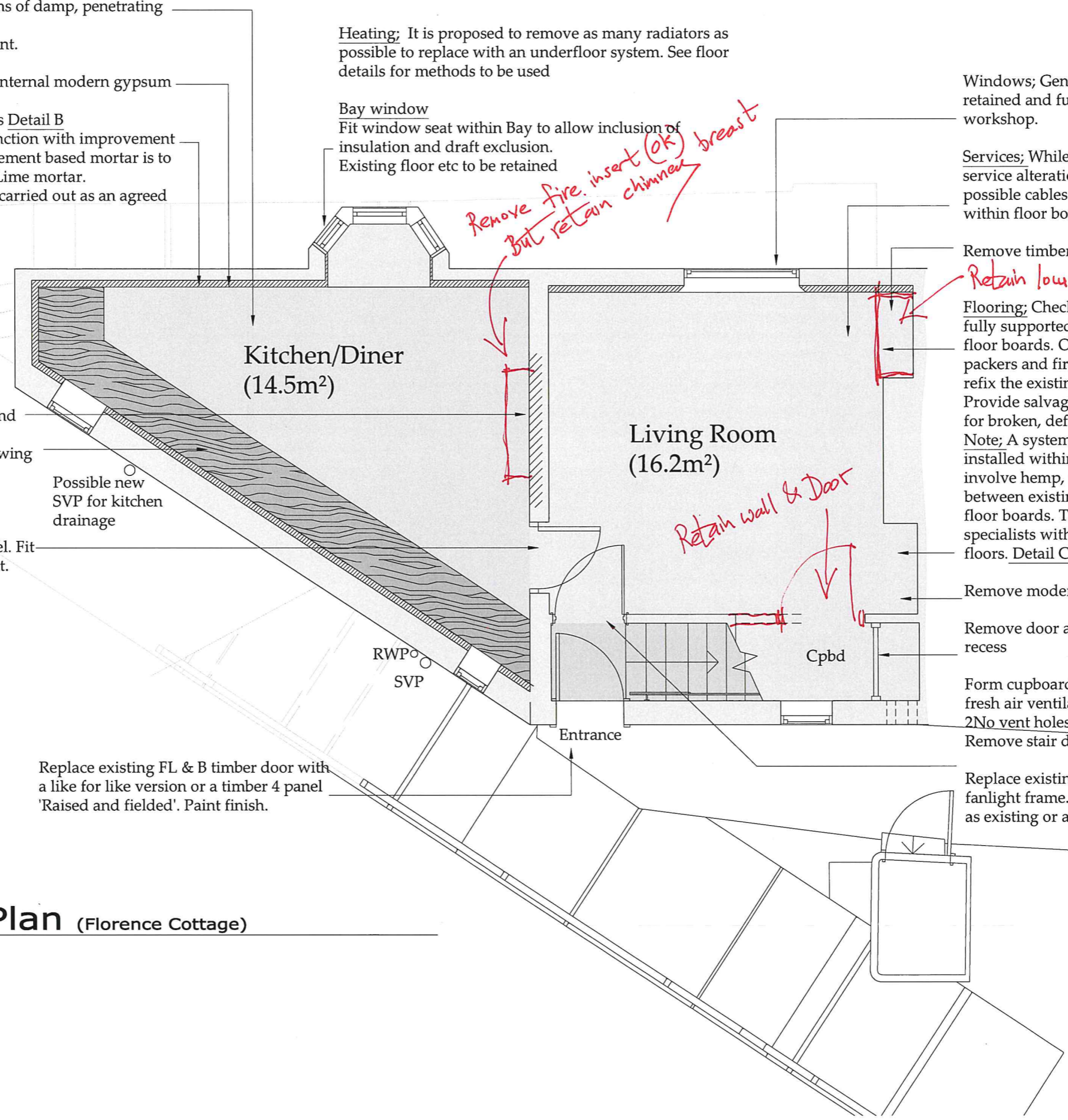
Form cupboard to house duct to incorporate fresh air ventilation system.
 2No vent holes in external wall
 Remove stair down to Lower ground

Replace existing modern timber door and fanlight frame. Renew the door with 4 panel as existing or a Lugged and braced version.

Replace existing FL & B timber door with a like for like version or a timber 4 panel 'Raised and fielded'. Paint finish.

Retain wall & Door

Part L note:
 This building is used in accordance with sections of the Planning (Listed building and conservation areas) Act and despite this the building will be improved to minimize the energy requirements and in a way that will not cast deterioration to the building fabric and footings.
 This design will reduce the predicted energy consumption from 160w/m² to 130w/m².



Ground Floor Plan (Florence Cottage)
 Scale 1:50



Proposed Front Elevation

Scale 1:100