

NYMNP

13/03/2024

DESIGN & ACCESS STATEMENT

CHANGE OF USE LAND TO PERMIT THE SITING OF STORAGE CONTAINERS, AND
ERECTION OF A REPLACEMENT SECURITY GATE AND FENCE (PART-
RETROSPECTIVE)

Stainsacre Lane Industrial Estate, Fairfield Way, Whitby, YO22 4PU

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1. INTRODUCTION

This report has been commissioned by Mr Martin Stephenson of G M Stephenson.

Section 42 of the Planning and Compulsory Purchase Act 2004 requires a Design and Access Statement to be submitted with the majority of planning applications. The purpose of this report is to satisfy the requirements of Section 42 of the aforementioned Act.

This report has been prepared to illustrate the process that has led to the development proposal and to explain and justify the proposal in a structured way.

This report has been prepared by Sam Harrison of Harrison Pick Ltd. Sam is a Chartered Planner and a Member of the Royal Town Planning Institute (MRTPI). He benefits from 12 years of experience having served with Ian Pick Associates Ltd and currently with Harrison Pick Ltd, with a primary focus on agricultural and rural development.

2. PROPOSED DEVELOPMENT

This application seeks full planning consent for the change of use of existing land to permit the siting of 76No. storage containers and the erection of a replacement associated security gate and fencing (part-retrospective).

3. AMOUNT / SCALE

The scale of the development extends to the change of use of a 0.26ha parcel of land to permit the siting of 76No. storage containers. The containers each measure 6000mm x 2800mm with an overall height of 2000mm.

The steel mesh security fencing and associated gate both measure 2000mm in height.

4. USE

The containers will be used for private and commercial (B8). The site was previously used as a concrete plant.

5. LAYOUT

The site layout comprises an existing hardstanding area which will be utilised for parking and turning. Containers will bound the perimeter of the site. The site will be serviced via the existing highways access.

The site layout can be seen in greater detail on the attached site plan (drawing No. MS010324).

6. LANDSCAPING

The site is bound to the adjacent highway via the existing aforementioned fencing. Any views of the proposal would be extremely localised and would be viewed within the context of the existing built development on the existing industrial estate.

Given the modest overall height of the development, along with the relatively commercial and industrial setting, it is generally considered that the overall development will not have a detrimental effect on the character or appearance of the surrounding landscape.

7. APPEARANCE

The containers are of a steel construction, finished in juniper green (BS12B29). The overall appearance can be seen in greater detail on the attached plans. Photographs of an existing site currently owned and operated by the applicant can be seen below. Photographs of the existing fencing can also be seen below.



Photograph 1 - existing site operated by the applicant at Southfield Farm, Flixton



Photograph 2 - existing 2000mm steel fencing (retrospective)



Photograph 3 - site prior to development (concrete plant)

8. ACCESS

The traffic associated with small storage containers is anticipated to be of a modest scale. More substantial traffic movements are often more commonly associated with the industrial units which are used as a place of employment.

The Applicant operates a similar unit in terms of both use and scale at Southfield Industrial Estate, Flixton, Scarborough, North Yorkshire (North Yorkshire Council (Scarborough Area) Planning Ref: 19/02814/FL) and the traffic resulting from an individual unit averages 2 vehicles per month.

When considering the location of the proposed site and the industrial setting, it is generally concluded that the proposed use would pose a negligible impact on the local highway network.

9. PLANNING POLICY

National Planning Policy is contained within the National Planning Policy Framework (December 2023). The NPPF provides support for economic growth and development of rural businesses in paragraph 88.

Supporting a prosperous rural economy

88. Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;*
- b) the development and diversification of agricultural and other land-based rural businesses;*
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and*
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.*

The National Planning Policy Framework provides clear support for the proposals within paragraph 88.

The development represents the sustainable growth and expansion of an existing rural business, and is considered an appropriate site of an existing brownfield site. The proposed development is compliant with the aims of national policy with the National Planning Policy Framework.

Sam Harrison MRTPI

Chartered Planner | Harrison Pick Ltd