



S O U T H E L E V A T I O N



N O R T H E L E V A T I O N

NYMNPA
16/04/2018

Proposed:
ALTERATIONS to
YORK HOUSE
KING STREET
ROBIN HOODS BAY

Drawing:
EXISTING
ELEVATIONS I

Drawing No. 193/03
Date: DECEMBER 2017
Scale: 1/50

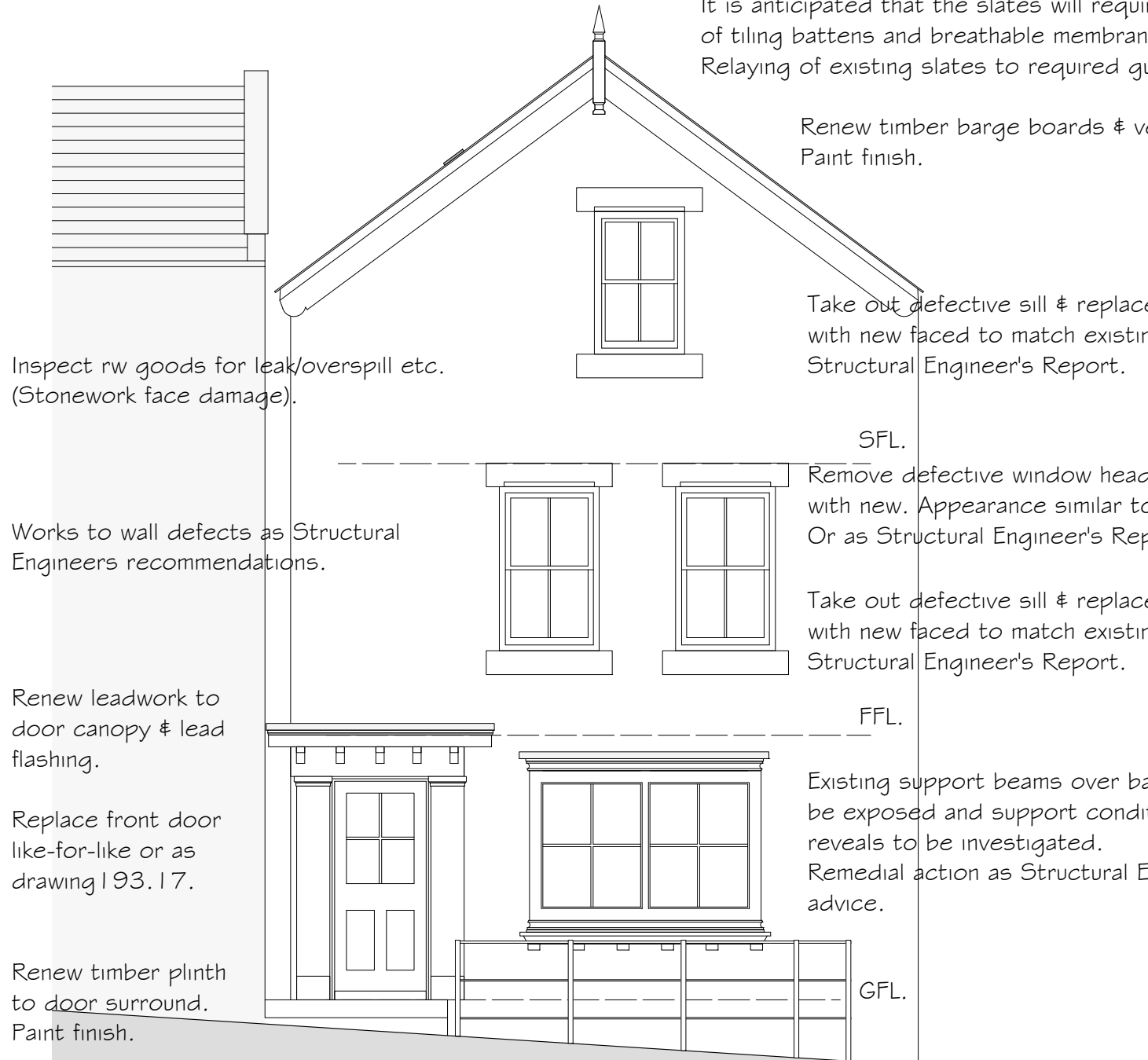
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Architectural Consultant.



16 PARK VIEW. GLAISDALE.
WHITBY
NORTH YORKSHIRE.
YO21 2PP.

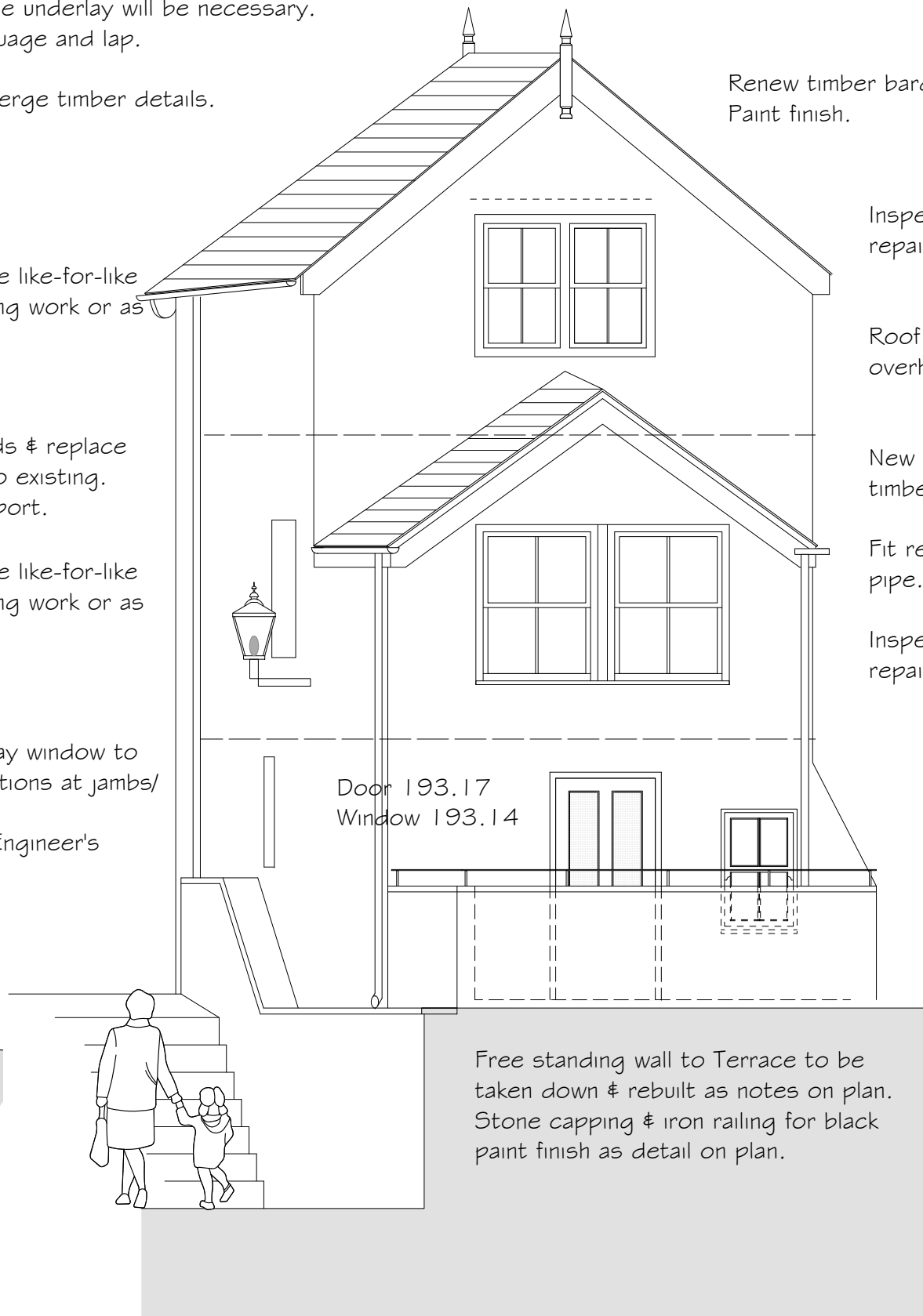
Extractor fan duct from new Shower Room to terminate at proprietary slate vent. Black colour.

Main roof of house to be inspected by specialist roofing contractor. Areas of uneven slating, patching, broken & missing slates, & yawning, give the impression that a complete overhaul may be required. It is anticipated that the slates will require removal and the replacement of tiling battens and breathable membrane underlay will be necessary. Relaying of existing slates to required gauge and lap.



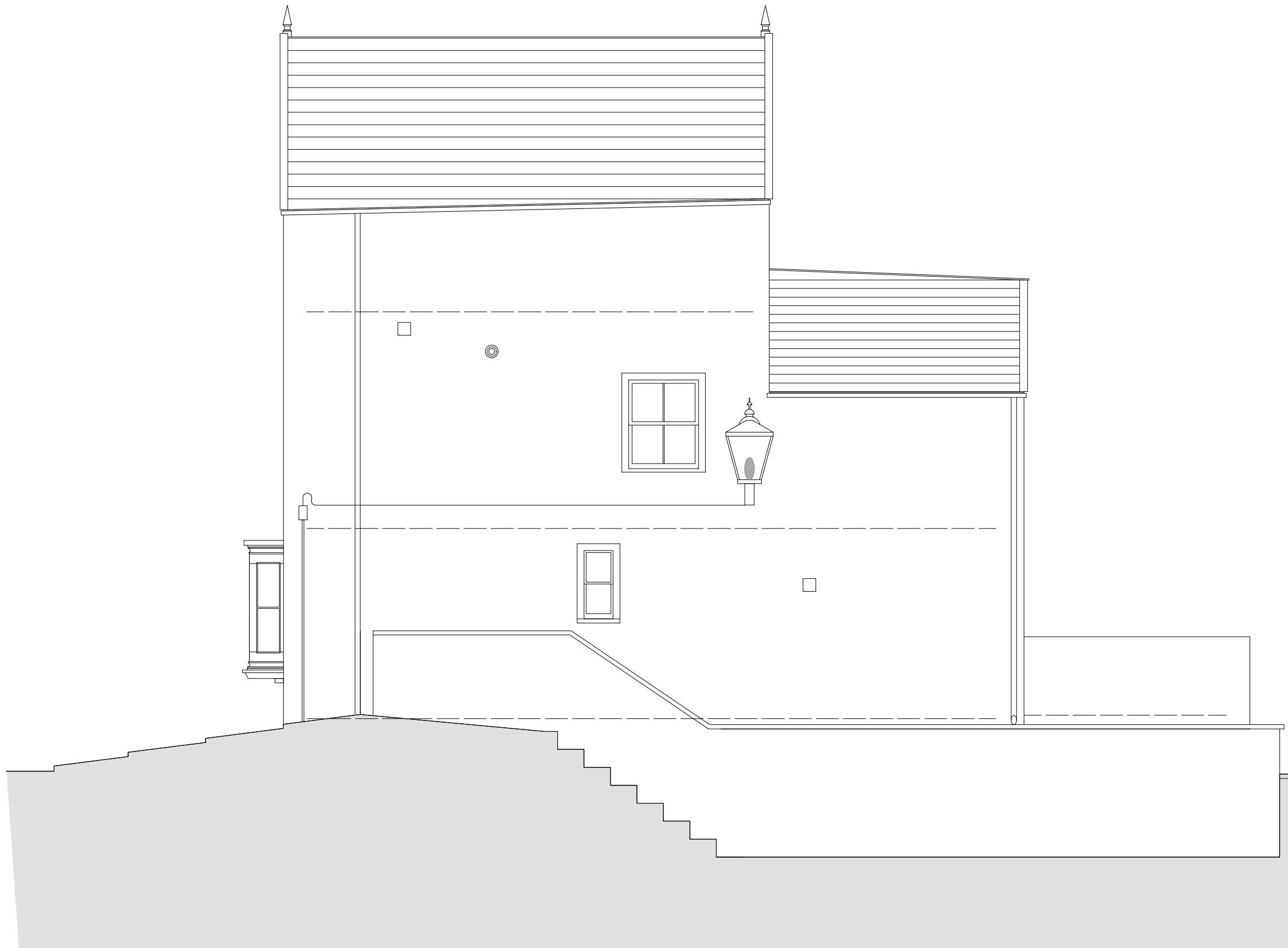
Structural:
Settlement has clearly occurred in the front wall of the building generally emanating from the head of the bay window and rising up the entire facade. There is evidence that work has been carried out in the past however there are obvious problems which remain to be addressed. A Structural Engineer's report is being prepared.

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E A S T E L E V A T I O N

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16/04/2018

Proposed:

ALTERATIONS to
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KING STREET
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Drawing:
EXISTING
SIDE (EAST) ELEVATION

Drawing No. 193/04
Date: DECEMBER 2017
Scale: 1/50

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Barge boards & other timber trims to verge to be taken down and renewed. Paint finish on completion.

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Renew timber barge boards & verge timber details. Paint finish.

Take down rainwater goods. Clean & repaint.

Roof abutment with Second Floor Level wall: remove timber batten detail & reinstate using lead flashing & soakers to slating. Adjust/reinstate render finish as necessary.

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CDM.
Protect surface mounted electricity supply.

Remove slates & battens from existing roof over First Floor level extension.

Lay breathable membrane. New treated sw battens. Re-lay slates to correct gauge & lap for size & location. Fix with copper nails. Renew timber barge boards/plates & slate cover battens to match existing.

Take down rainwater goods. clean & repaint.

Take down extg wall to terrace & reconstruct in reclaimed stonework coursing and bonding to match better construction elsewhere. Finish top with sawn stone capping to match adjacent work. Wrought iron railing to wall top to form total ht of structure to 1.10m

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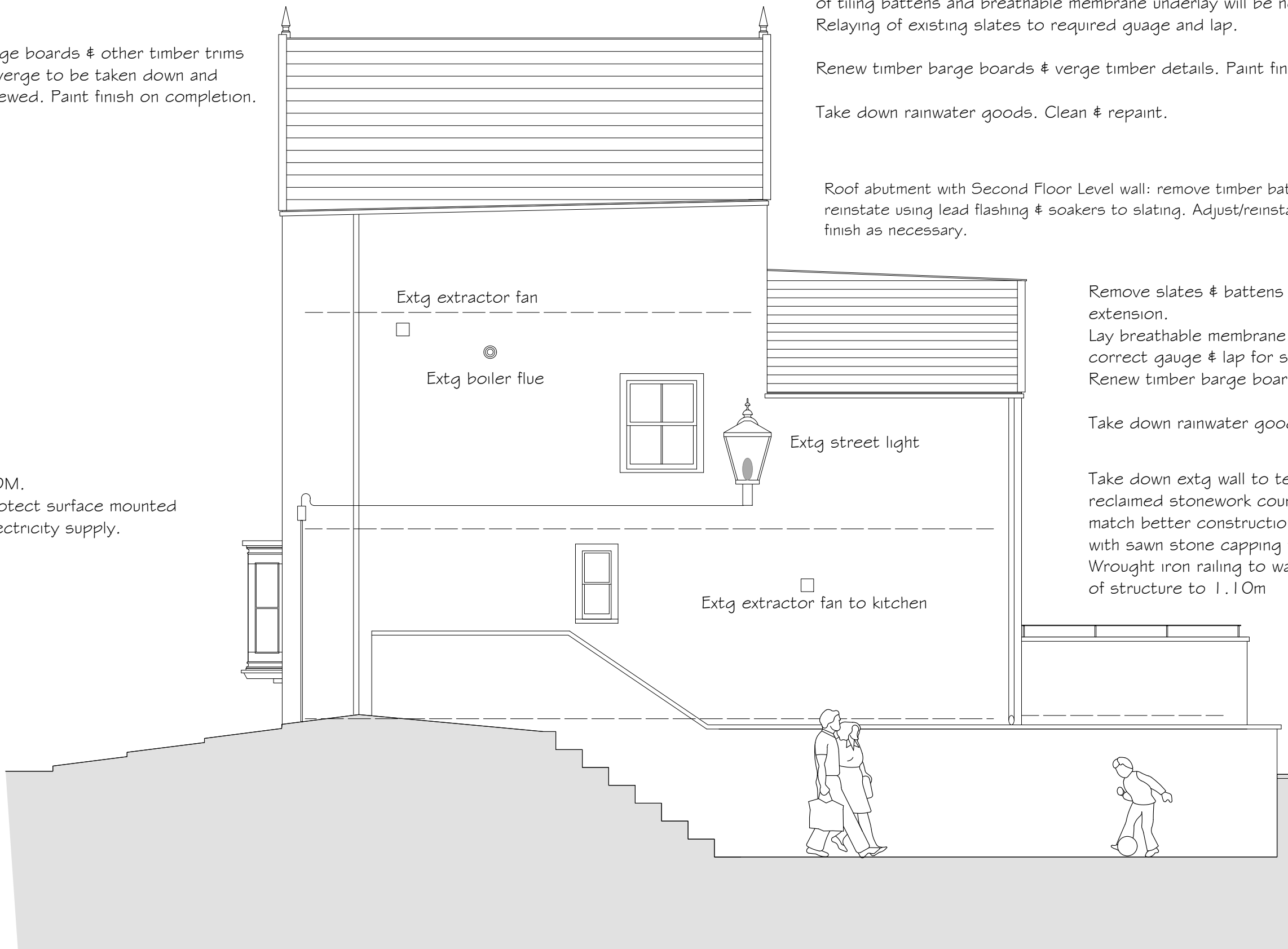
Drawing:
PROPOSED
SIDE (EAST) ELEVATION

Drawing No. 193/13
Date: JANUARY 2018
Scale: 1/50

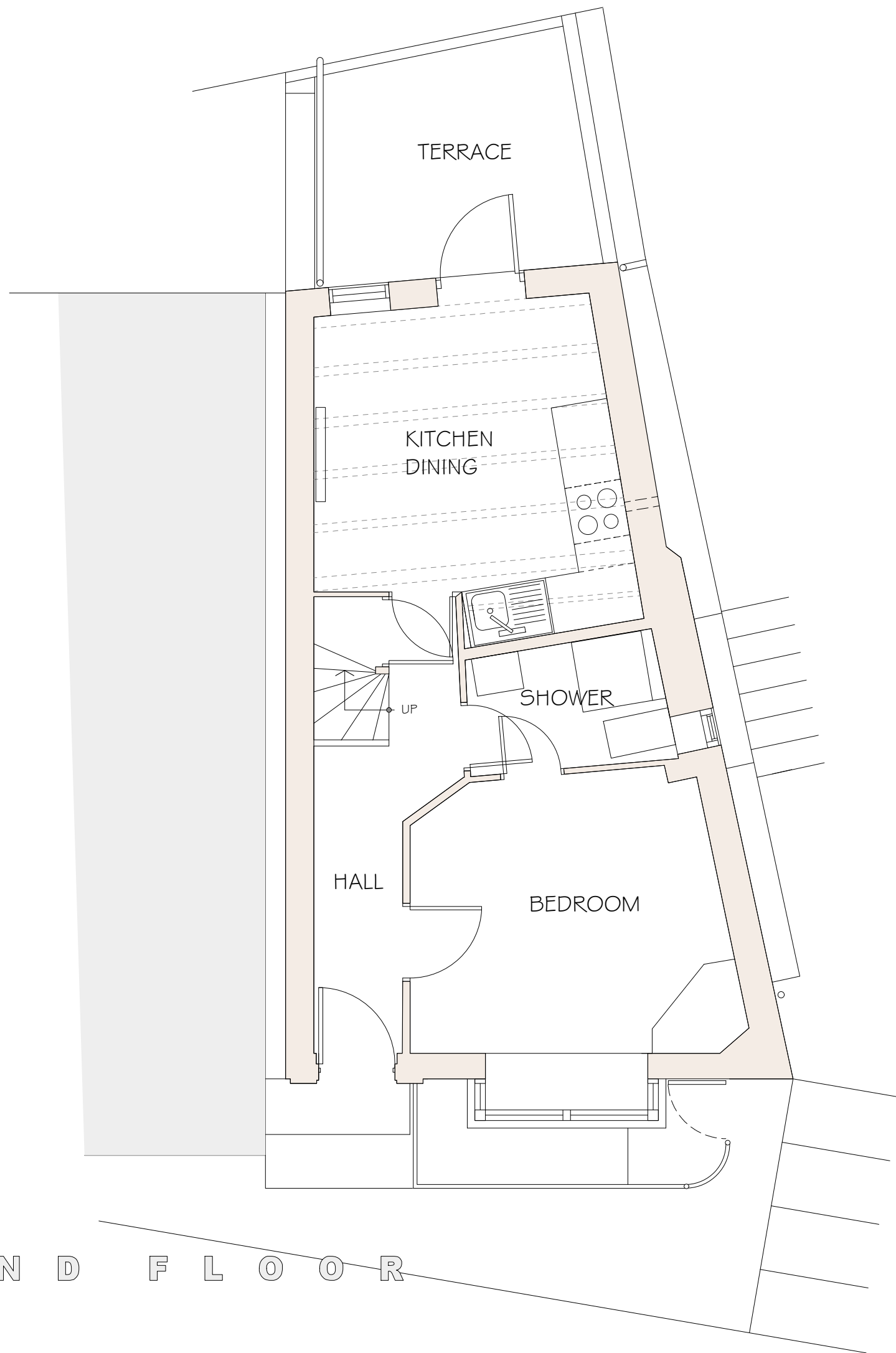
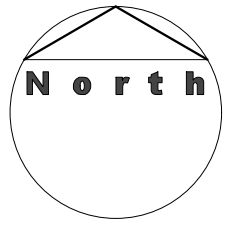
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E A S T E L E V A T I O N



G R O U N D F L O O R

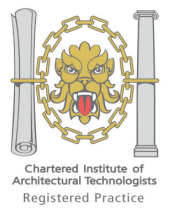
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16/04/2018

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ALTERATIONS to
YORK HOUSE
KING STREET
ROBIN HOODS BAY

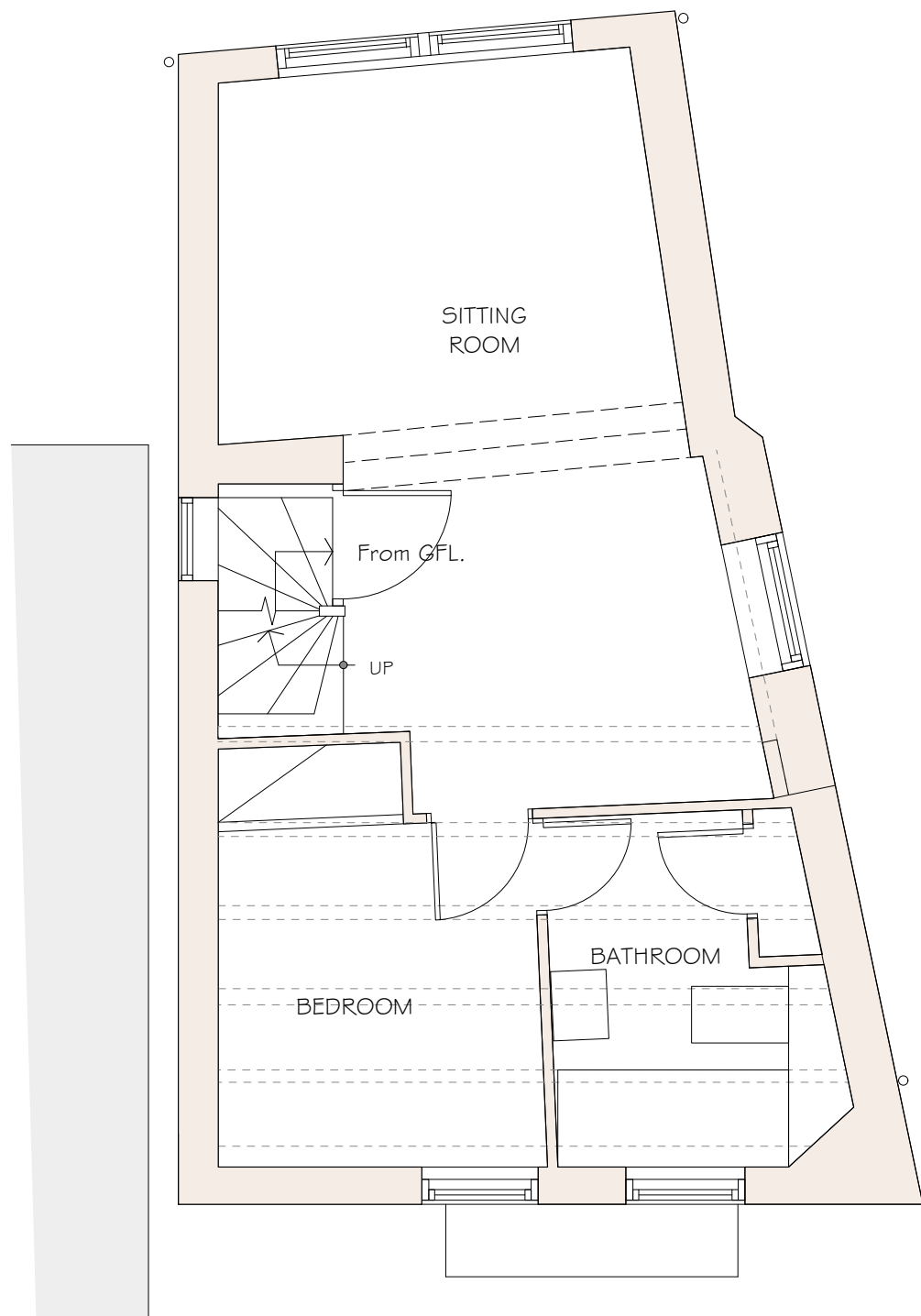
Drawing:
EXISTING
GROUND FLOOR PLANS

Drawing No. 193/01
Date: DECEMBER 2017
Scale: 1/50

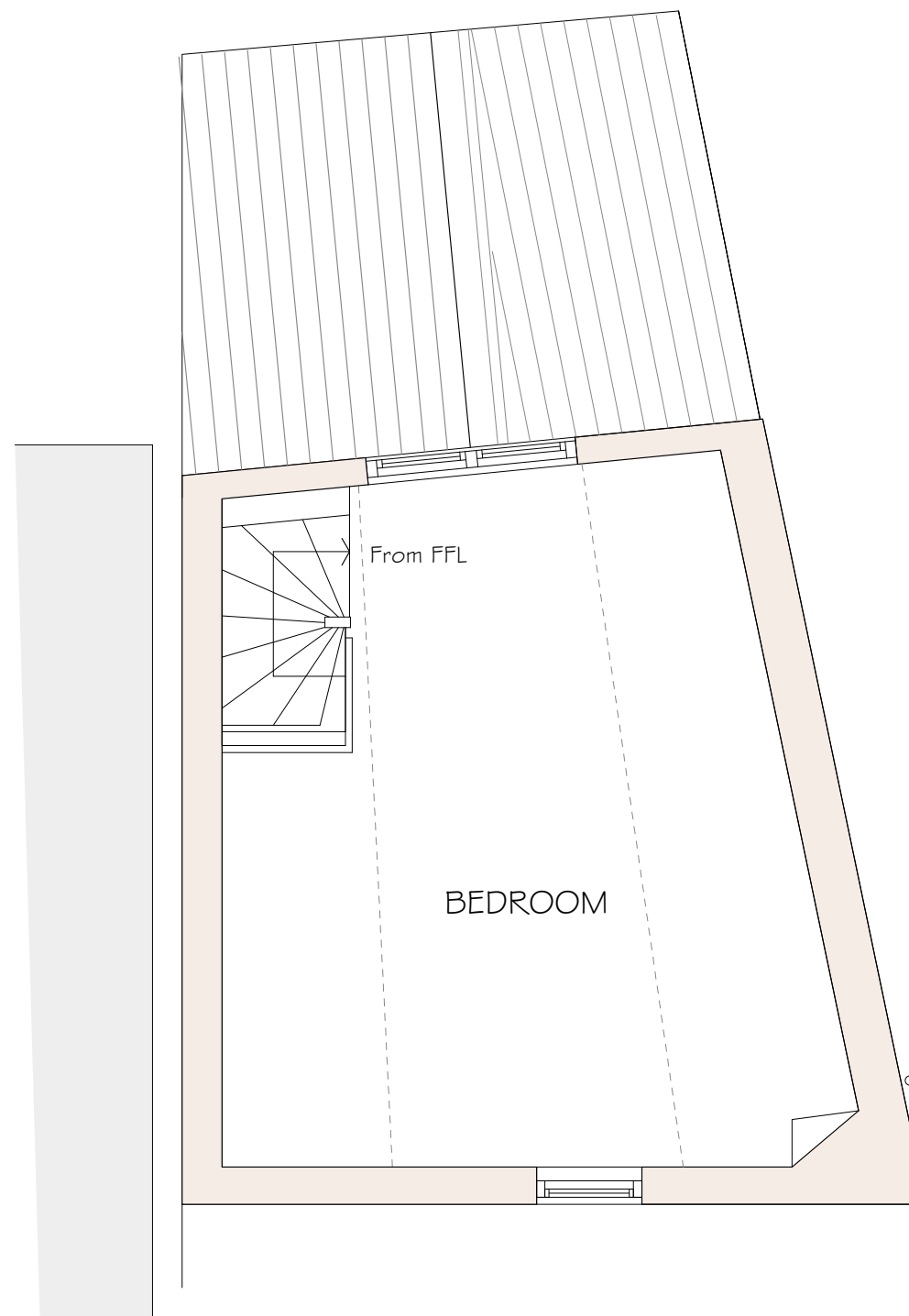
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F I R S T F L O O R



S E C O N D F L O O R

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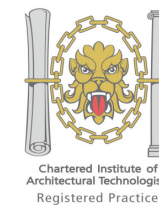
Proposed:

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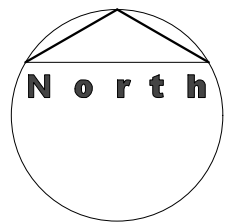
Drawing:
EXISTING FIRST FLOOR &
SECOND FLOOR PLANS

Drawing No. 193/02
Date: DECEMBER 2017
Scale: 1/50

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Wrought iron railing approx 200mm height on sawn stone coping on stone wall.
O/a height from deck 1100mm.
See Section opposite.

Take out existing standsheet window frame & replace with vertical sliding timber sash window as detail 193.14.

All Kitchen area and Hallway thro' to front door: floor to be finished with laminate floor covering as client directs.

Central Heating system to be flushed using specialist machinery & system serviced on completion of radiator additions and system alterations.

Timber door to Kitchen/Hall to be replaced with new door like-for-like.
1 1/2 prs brass butt hinges & handle/latch as client directs.

Existing Washing machine & tumble dryer under staircase.

Heating radiator to bedroom to be relocated and size adjusted as req'd.

Front door approx 765 x 1810mm & frame to be replaced as detail 193.17.

Replace plinth to door opening embrasure.
Make good/replace lead flashing to entrance door embrasure.

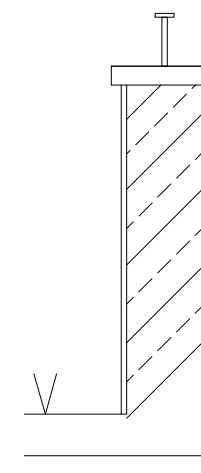
Take down stone wall to terrace & rebuild in coursed stonework min 215mm thick on bed.
BRE Good Building Guide No. 14. Max height 1075mm.
Coursing & face to match better examples locally. Render finish to internal face to be white colourwash. Sawn stone capping as neighbouring property & wrought iron railing approx 200mm height to form guard rail o/a 1100mm. CDM Working at height.

Remove rear door approx 870 x 1775mm & frame & fit new as detail 193.17.

Repair match board panelling under window opening.
Repair defective plasterwork to wall panel rhs window opening.

Take down section of ceiling where defective in order to ascertain cause of ingress of moisture. Carry out remedial works & reinstate ceiling on completion.

Remove existing kitchen units. Install new Kitchen base units and wall units to client's specification.
Allow for connection of appliances to services.
Sink. Dish washer. Fridge.
Switched socket outlets as Client directs.



10 x 50mm ms. top plate.
16mm dia ms. posts @ approx 900mm centres. Galvanised & black paint finish.
215mm on bed stonework.
Lime mortar bed & pointing.
Lime render face internally.
Silicate paint colour coat.

Floor level.

Sea Wall

SECTION THRO' TERRACE WALL 1:20



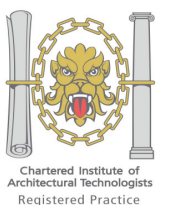
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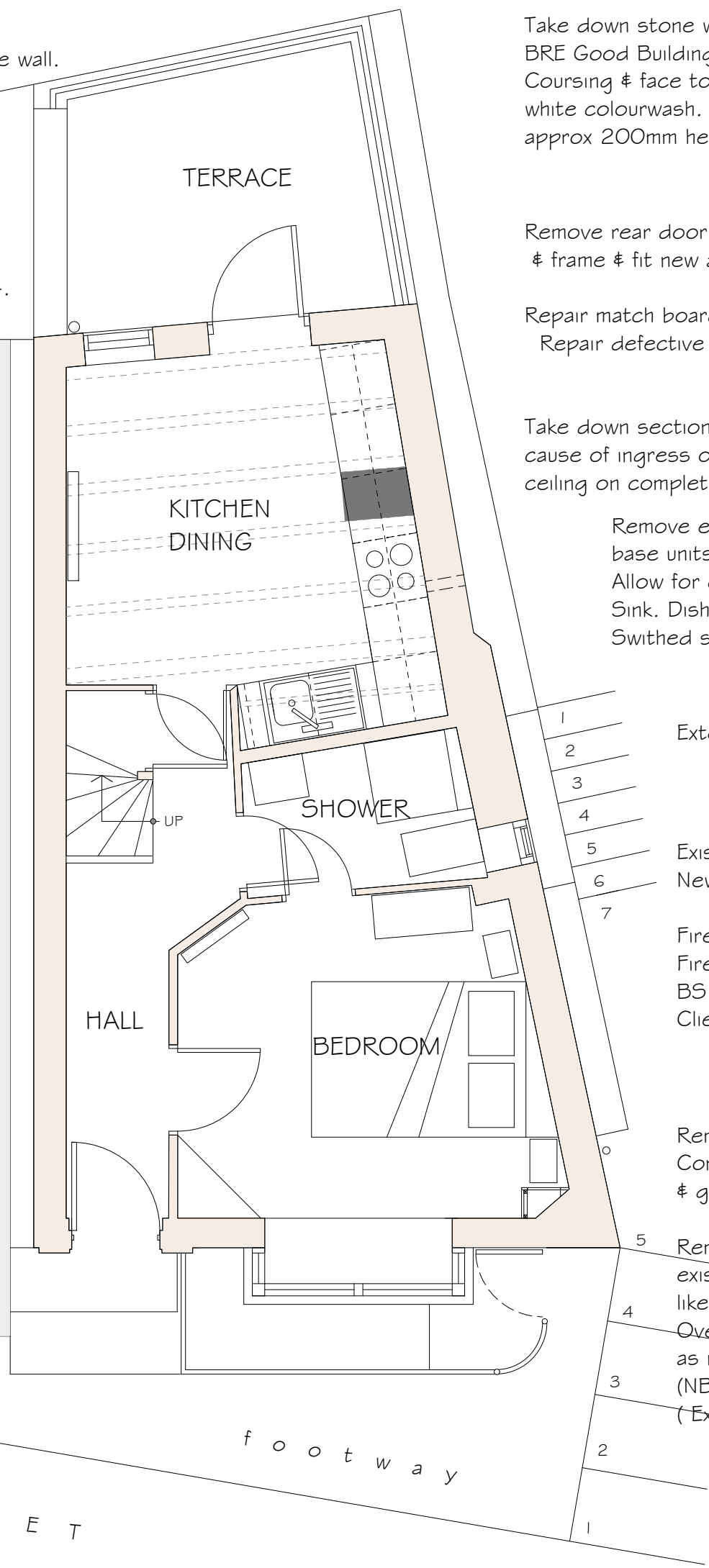
Drawing:
PROPOSED
GROUND FLOOR PLANS

Drawing No. 193/10
Date: JANUARY 2018
Scale: 1/50

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1 External steps shown for information.

2 Existing electrical system tested 2017 advised by client.
3 New/alterations to be carried out by certified contractor.

4 Fire Detection and Alarm.
5 Fire Detection and Alarm system installed to recommendations of BS 5839-6:2004 to at least a Grade D category LD3 standard.
6 Client advises this is the current system.

7 Remove corner cupboard to Bedroom (this is not historic fabric).
Construct new cupboard to conceal vertical risers/circulation pipes & gas meter.

5 Remove modern matchboard lining to head of bay window to expose existing structural support. Inspect and carryout remedial work on a like-for-like replacement basis.

4 Overhaul lead sheet covering to Bay Window & fit new lead flashing as necessary.

3 (NB. Presently ingress of water at head location)
(External wall variously cracked/settled above this location).

K I N G
S T R E E T

f o o t w a y

Inspect timber external surround to window opening & replace on a like-for-like basis. Prime timber & 1x undercoat prior to fixing & paint finish.
CDM reduce work at height.

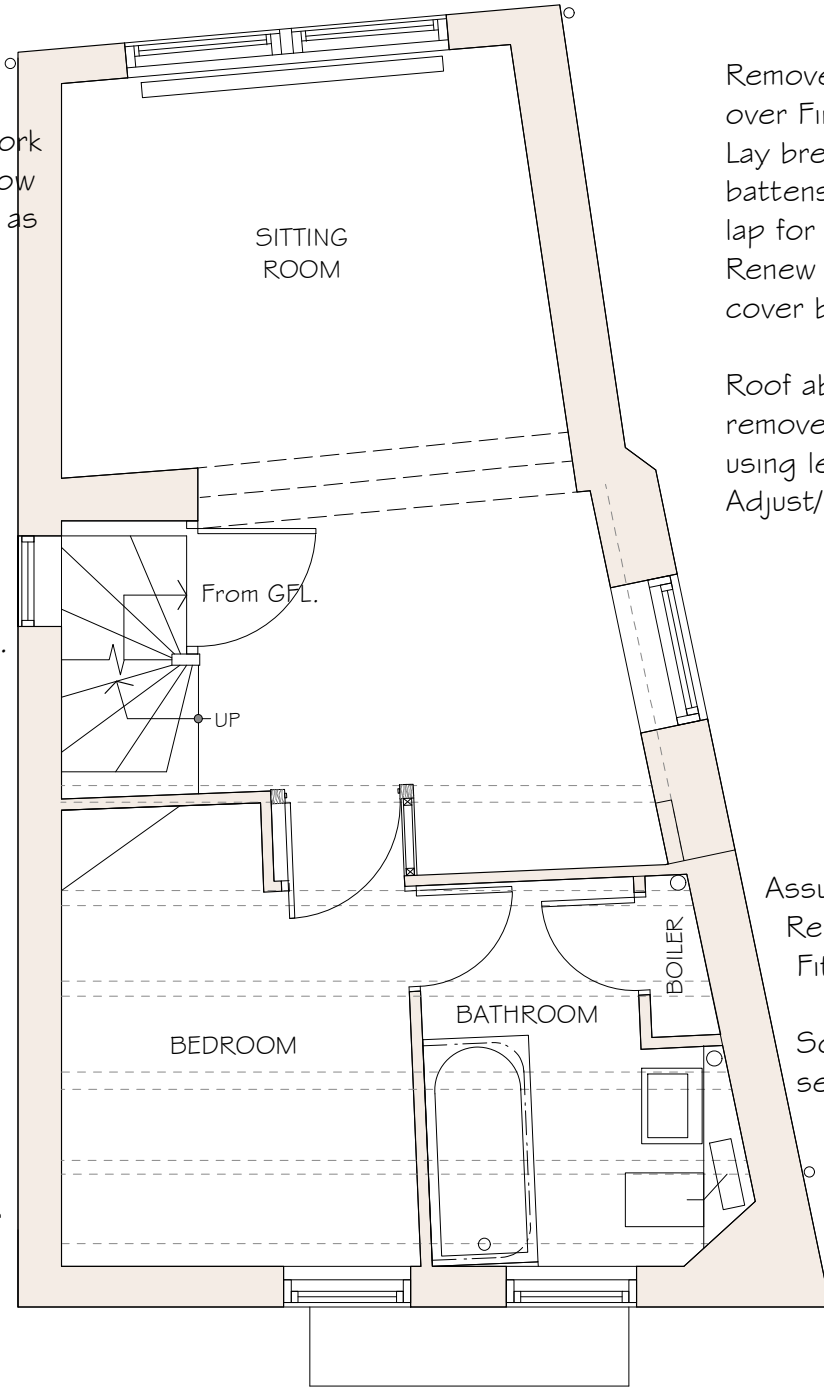
Extend central heating pipework & fit new radiator under window sill. Form seat over in timber as detail.

Remove existing door & replace like-for-like. Remove extg staircase window & replace like-for-like.

Existing step in floor to be taken out.

Form new entrance lobby to Bedroom as notes.

Works to external wall, Bay Window & Entrance Door as notes on elevation.



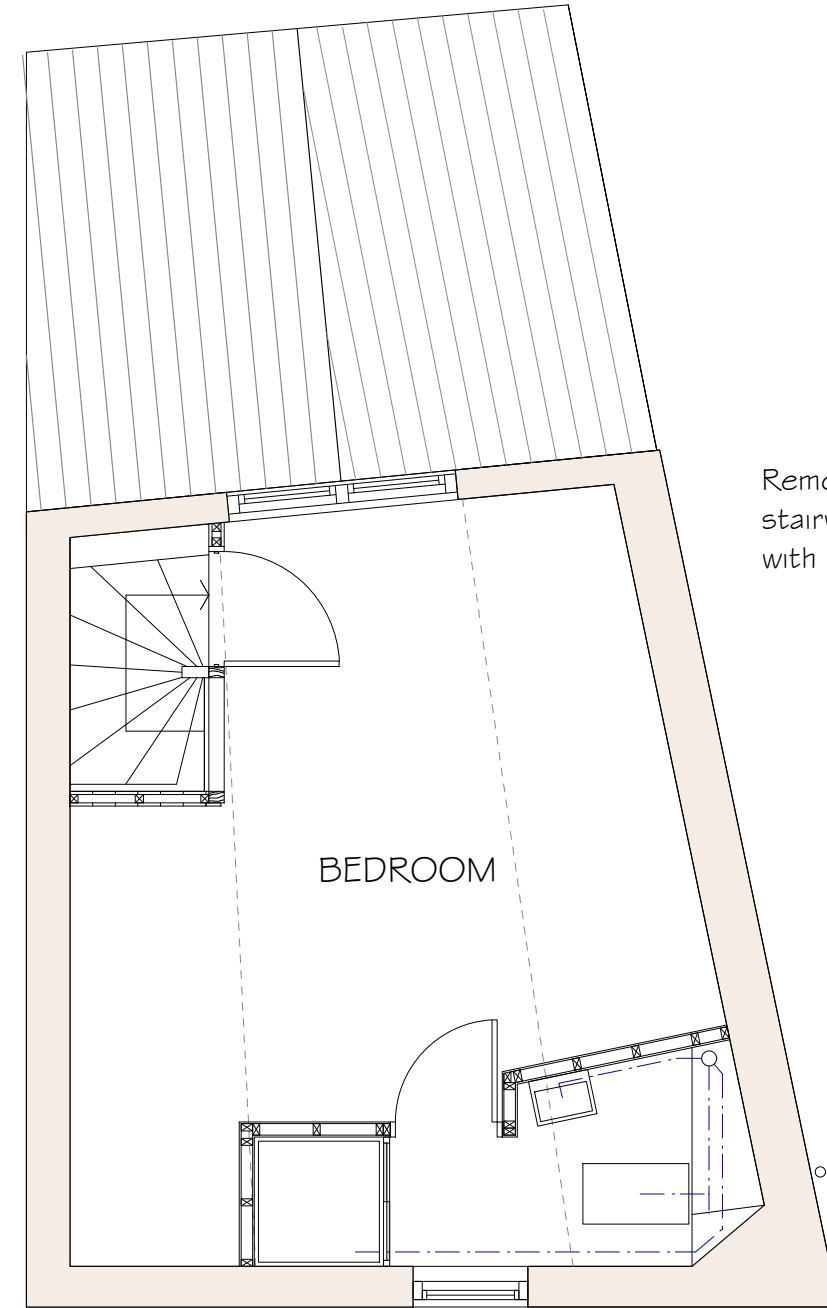
Remove slates & battens from existing roof over First Floor level extension.
Lay breathable membrane. New treated sw battens. Re-lay slates to correct gauge & lap for size & location. Fix with copper nails. Renew timber barge boards/plates & slate cover battens to match existing.

Roof abutment with Second Floor Level wall: remove timber batten detail & reinstate using lead flashing & soakers to slating. Adjust/reinstate render finish as necessary.

Assumed location fw pipe to below. Remove door from Airing Cup'd. Fit new timber four panel door.

Soil pipe to be extended to serve second floor Shower Room

Bath replaced & re-sited. 700 x 1500mm bath c/w shower over. Shower curtain on track with ceiling supports. New back-to-wall wc & cistern in new bulkhead unit. Configured as existing services allow.



Remove wrought iron guard rail to stairwell & construct new partition with four panel door as detail 193.16

Prepare existing boards to flank walls for repainting.

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PROPOSED FIRST FLOOR &
SECOND FLOOR PLANS

Drawing No. 193/11
Date: JANUARY 2018
Scale: 1/50

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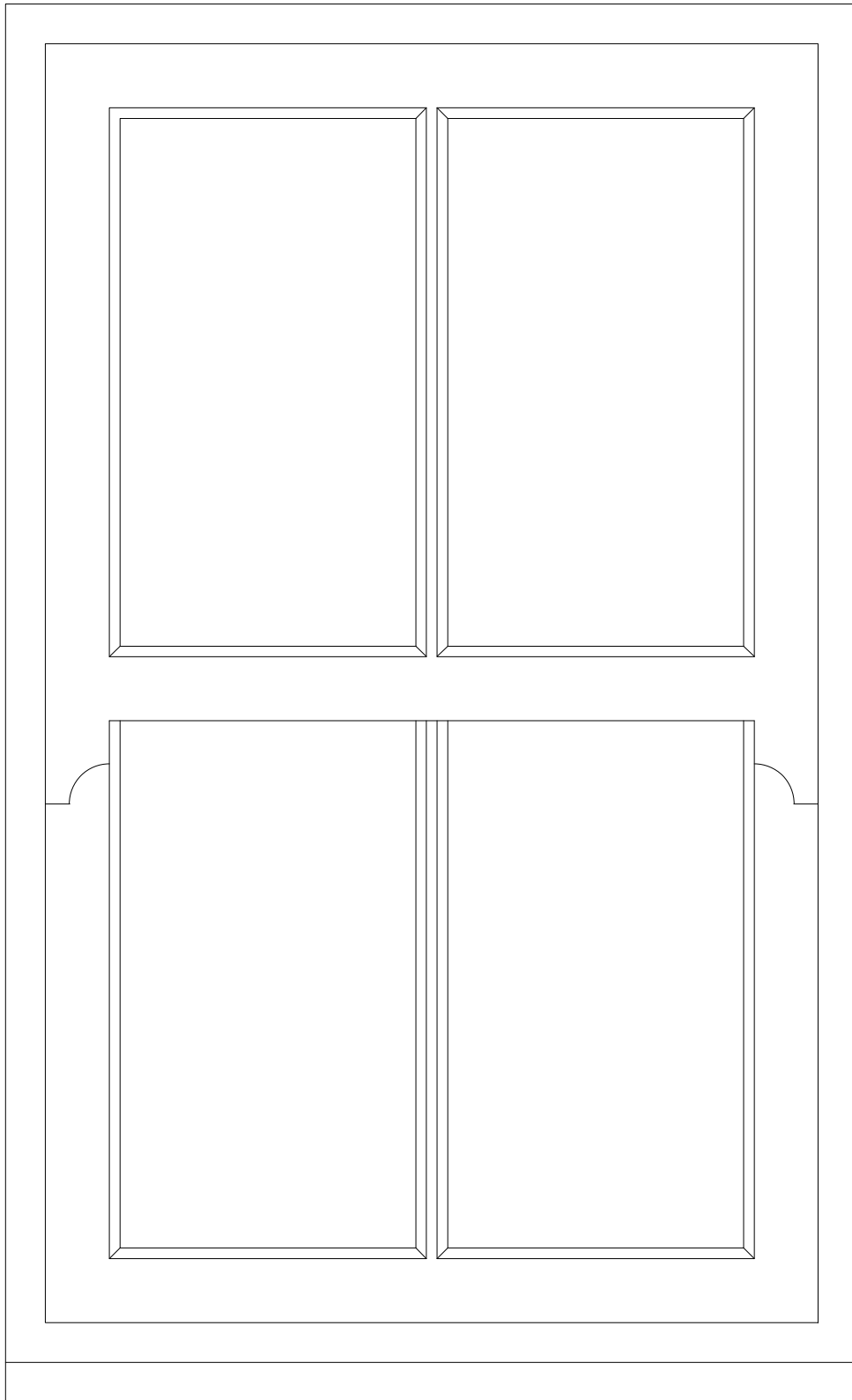


New Shower Room constructed in timber framed partition wall with moisture resistant plasterboard & plaster skim coat. Wash basin, wc & shower unit (tray/screen/wall panels/mixer & spray) as client directs. Floor finish as client. Layout assumes that tray is on riser kit & waste in duct to s/vp & drop to connection in boiler cupboard below.

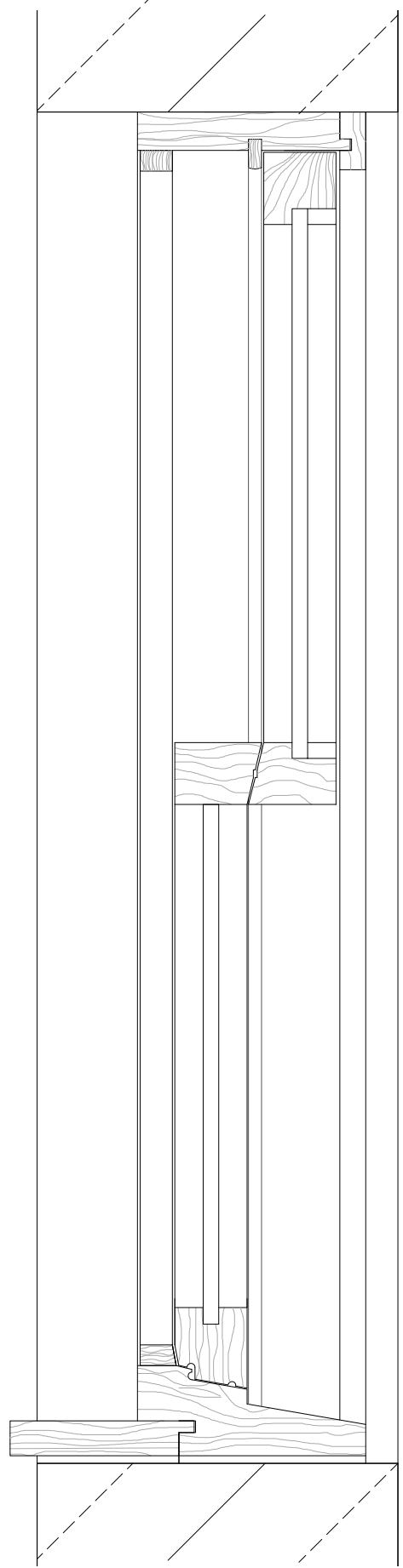
F I R S T F L O O R

S E C O N D F L O O R

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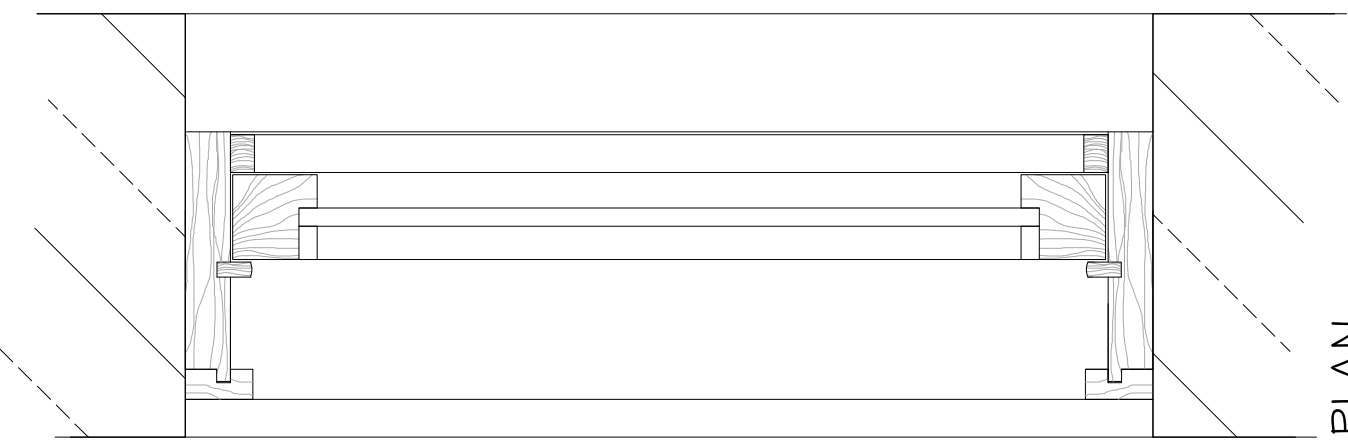


EXTERNAL ELEVATION



SECTION

INSIDE



PLAN

OUTSIDE

CONSTRUCTION:

Vertical sliding sash window frame to be constructed in accoya for white paint finish. Timber sections as manufacturers standard sections and spring balance mechanism rebated into sash frame as Wonder of Wood Limited details. 12mm Slimlite double glazed unit. Toughened glass both panes. Inner pane Low-E. Argon filled cavity. Glazing as Slimlite details

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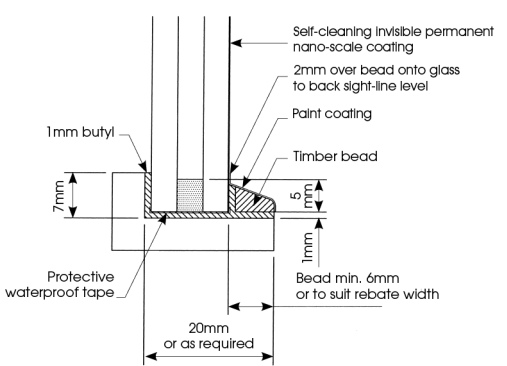
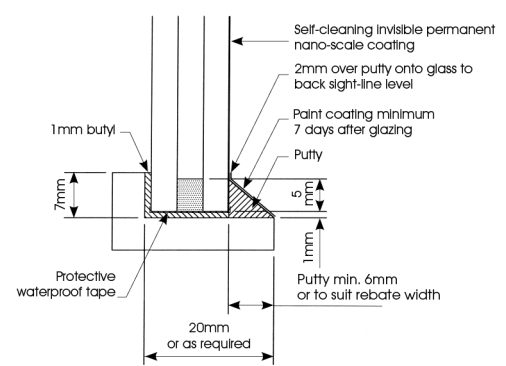
Drawing:
PROPOSED
KITCHEN WINDOW FRAME

Drawing No. 193/14
Date: FEBRUARY 2018
Scale: 1/10

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slimlite glazed with putty & butyl

slimlite glazed with beads & butyl

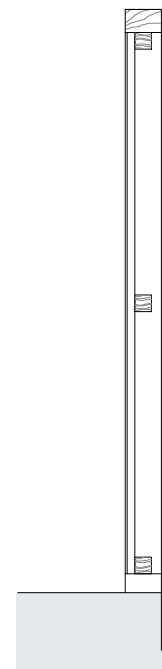


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Top rail fixed to 50 x 75mm treated sw battens fixed between rafters.
Make good to plaster work.



SECTION thro SIDE PANEL

21 mm x 144mm (min) pt#g 'V' jointed timber boards fixed to 44 x 44mm wrot timber battens set in 44 x 96mm wrot timber frame. All for paint finish.

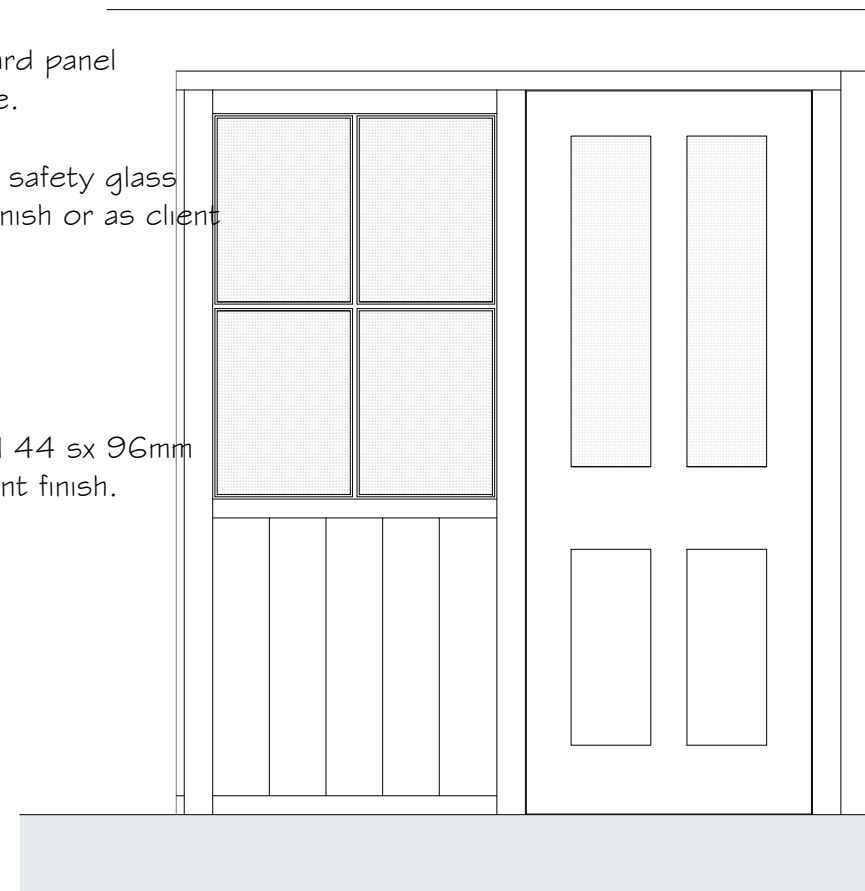


ELEVATION to SIDE. FACING into ROOM

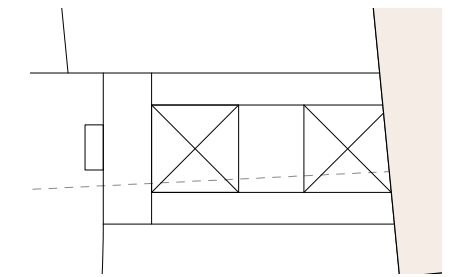
Timber frame & board panel as notes elsewhere.

Glazing to be 6mm safety glass with sandblasted finish or as client directs.

Sill to glazed panel 44 x 96mm wrot timber for paint finish.



ELEVATION to FRONT. FACING into ROOM



DOOR JAMB DETAIL

Purpose made 4 panel door 35mm thk with glazed upper panels as side panel.
Jamb detail: 58 x 58mm sw frame with 21 mm boarding as note elsewhere.

frame 44 x 95mm with planted door stop.

All for paint finish.

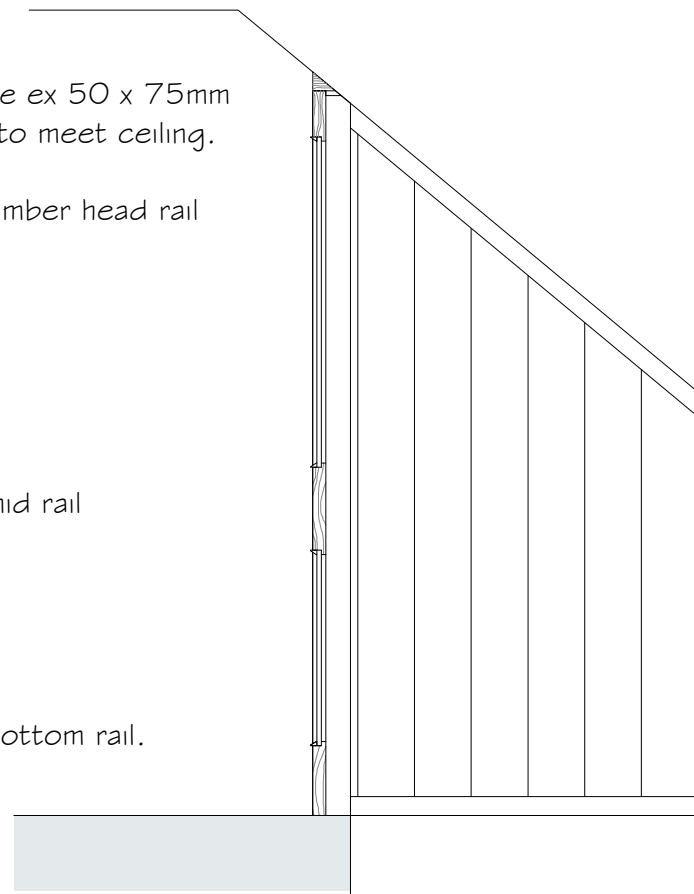
∇ SFL

Top rail of frame ex 50 x 75mm triangular face to meet ceiling.

35 x 144mm timber head rail

35 x 244mm mid rail

35 x 196mm bottom rail.

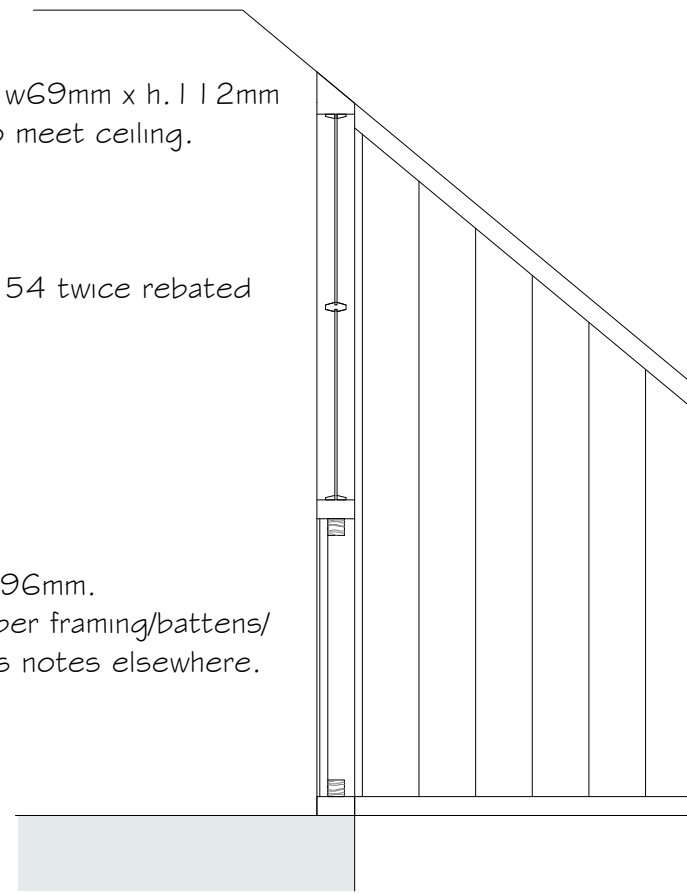


ELEVATION to SIDE. FACING into STAIRWELL & DOOR SECTION

Top rail of frame w69mm x h.112mm triangular face to meet ceiling.

Glazing bar 24 x 54 twice rebated 4x splayed.

Sill 44 x 96mm. Wrot timber framing/battens/boards as notes elsewhere.



ELEVATION to SIDE. FACING into STAIRWELL & GLAZED SECTION.

∇ SFL

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YORK HOUSE
KING STREET
ROBIN HOODS BAY

Drawing:
PROPOSED
SECOND FLOOR STAIRWELL

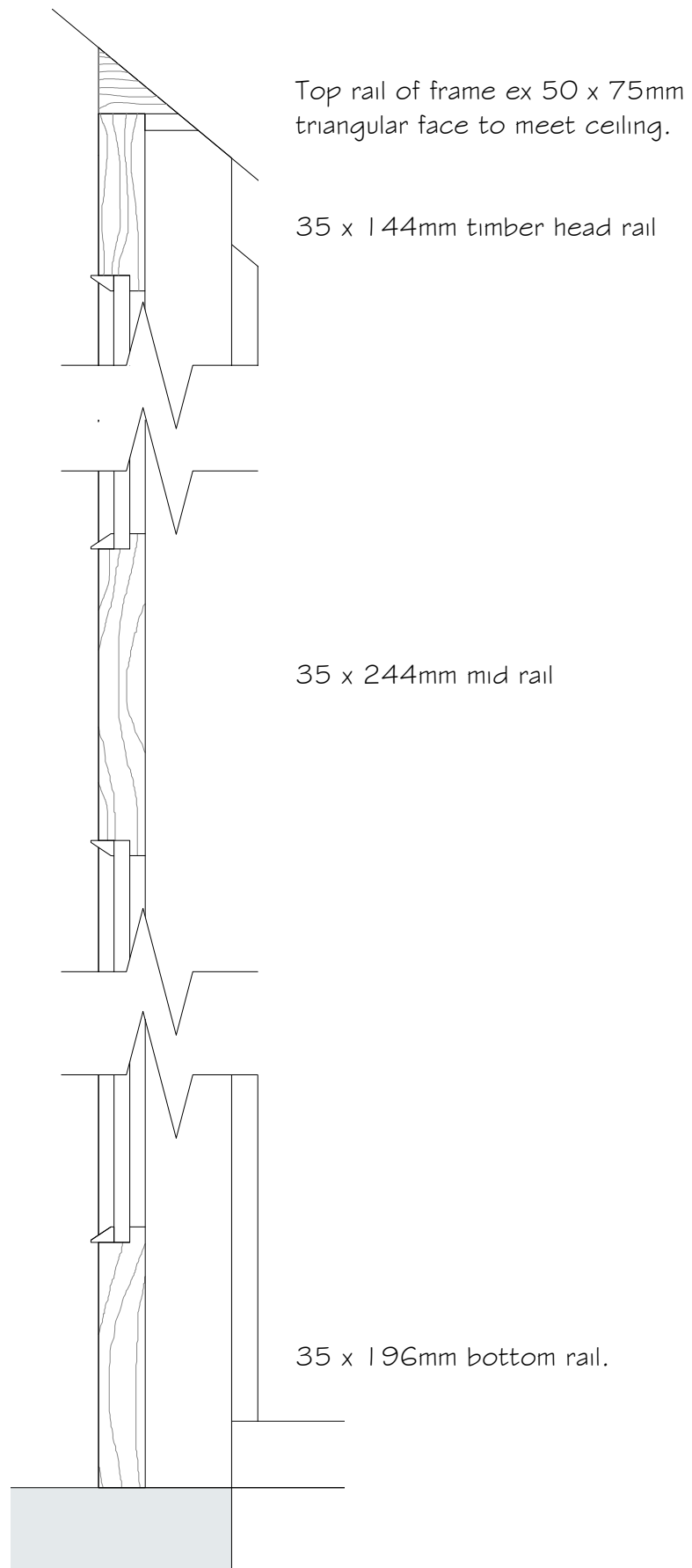
Drawing No. 193/15
Date: FEBRUARY 2018
Scale: 1/20

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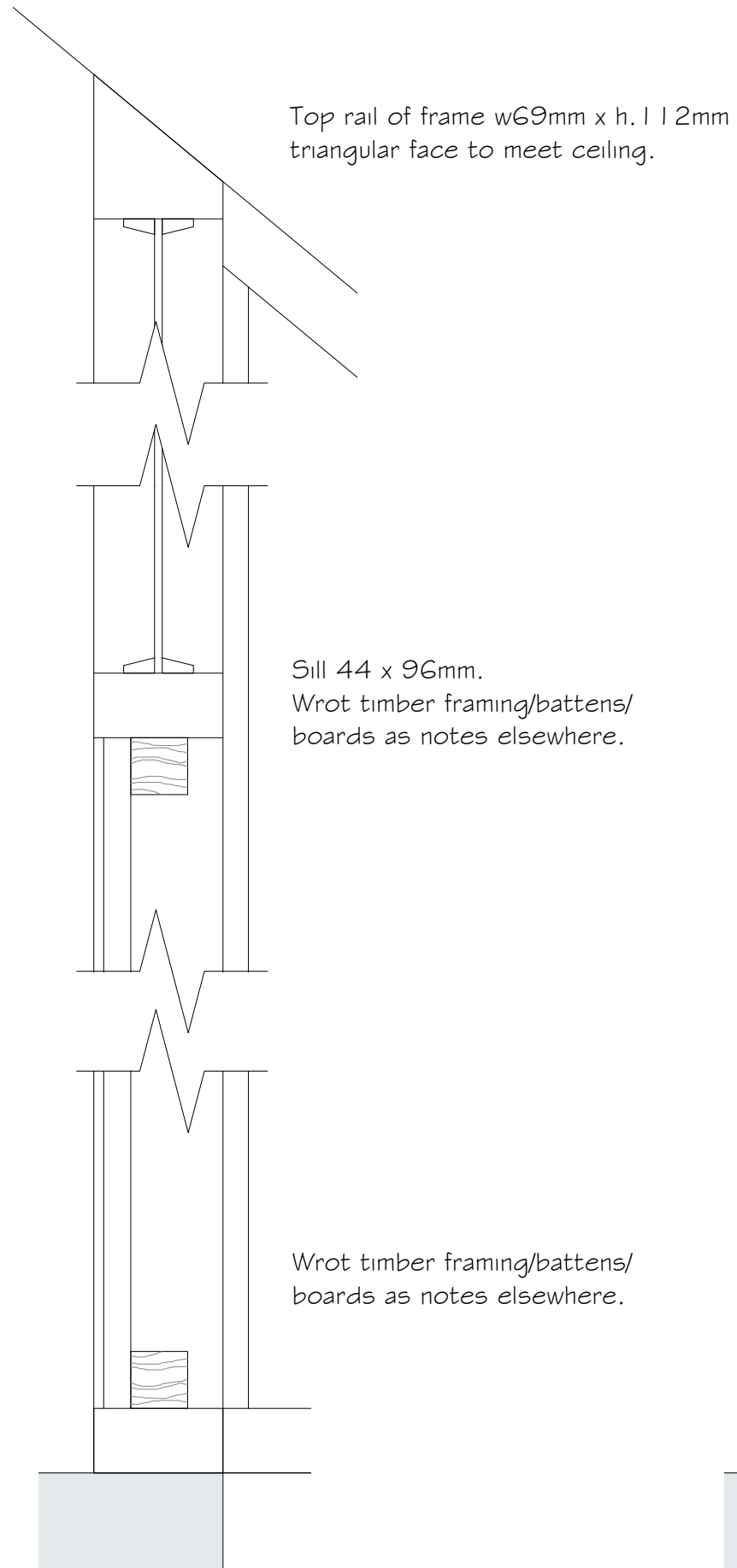


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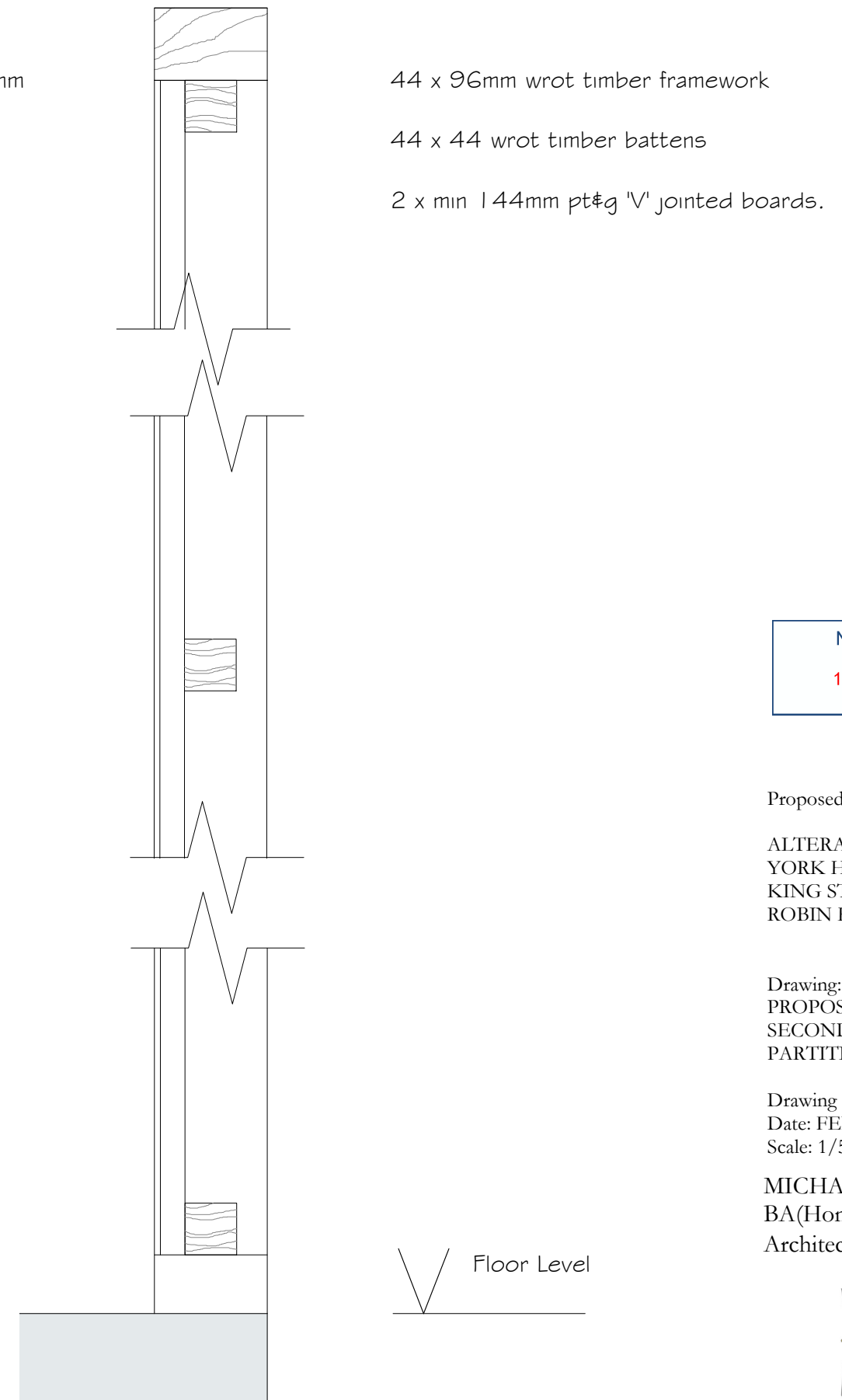
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DOOR SECTION



GLAZED SECTION



SIDE PANEL

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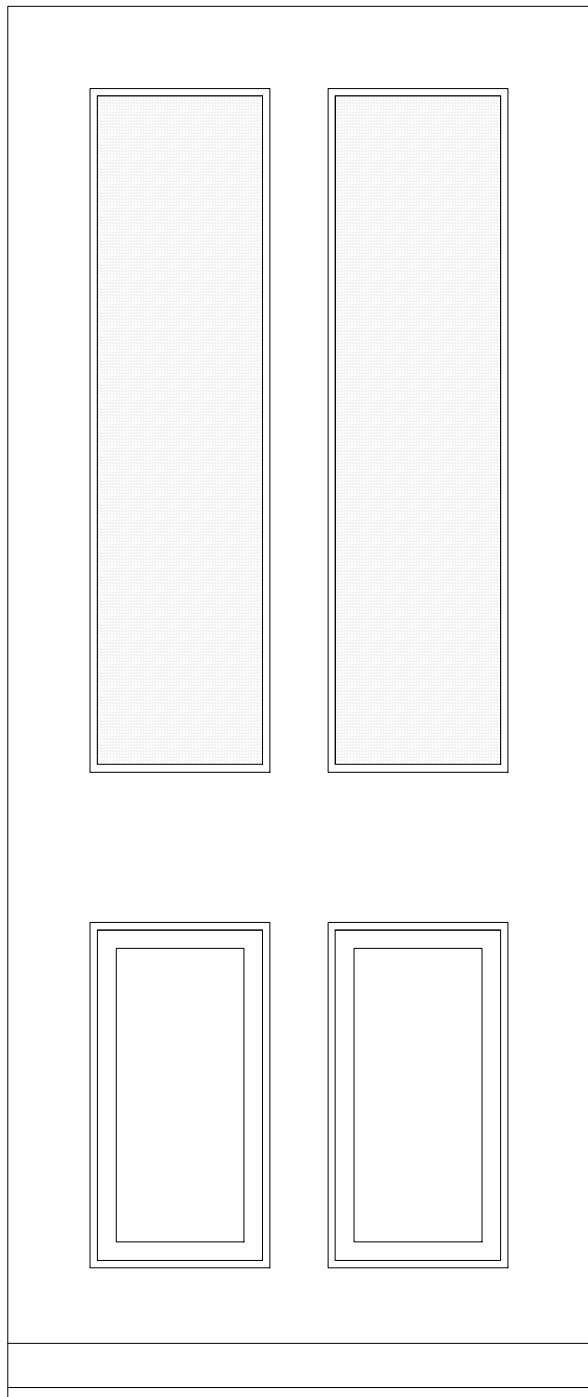
Drawing:
PROPOSED
SECOND FLOOR STAIRWELL
PARTITION SECTIONS.

Drawing No. 193/16
Date: FEBRUARY 2018
Scale: 1/5

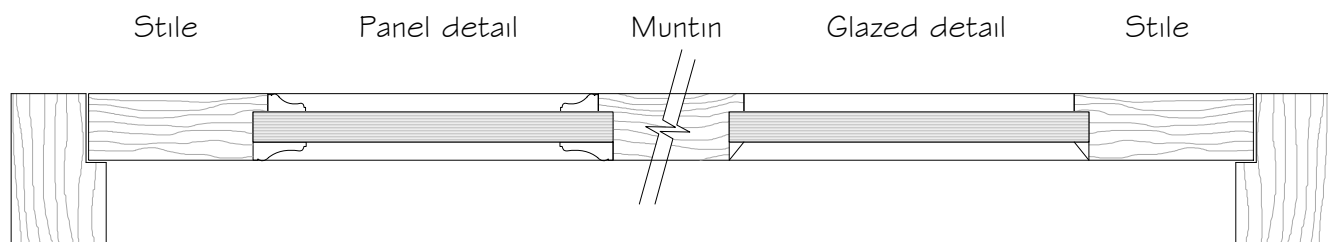
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EXTERNAL ELEVATION



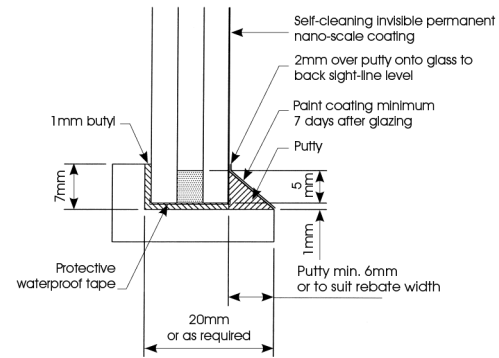
PLAN

Rebated timber head

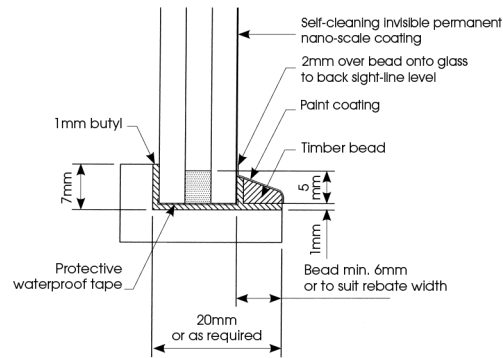
44 x 119mm top rail

4/6/4 toughened Low-E glass argon filled DGU by Slimlite & glazed as Slimlite details. Where putty glazed paint to overlap glass by 2mm.

slimlite glazed with putty & butyl



slimlite glazed with beads & butyl



Middle rail 44 x 219mm timber twice rebated

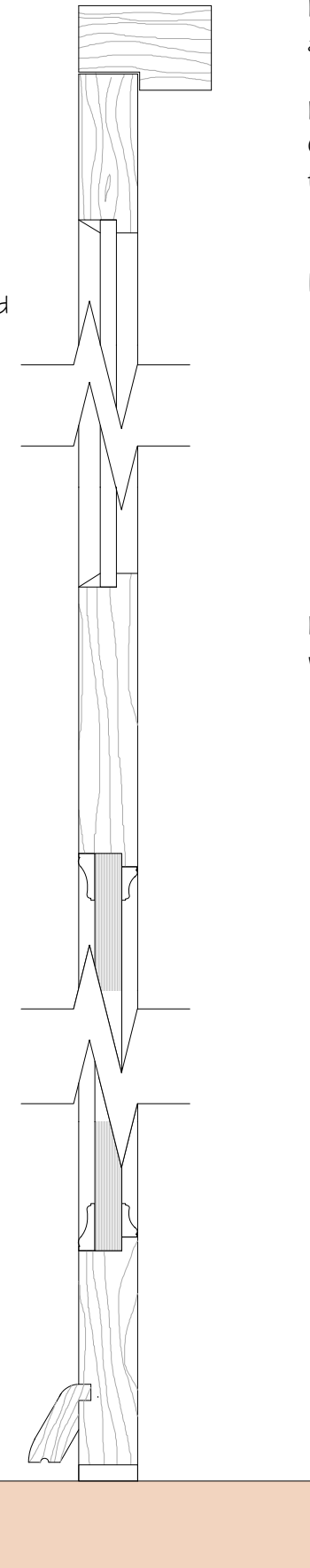
Lower panels 2 layers 4mm exterior grade plywood with 12mm polyisocyanurate (eg Kingspan) insulation bonded between.

Vernacular timber moulding internally 12 x 24mm & externally 12 x 32mm pinned & bonded to frame & panel.

Bottom rail 44 x 169mm twice rebated.

Ex 21 x 75mm moulded timber weather board.

Proprietary low sill threshold eg Stormguard Slimline rain & draught excluder.



Door details are for a purpose made door and may vary should a standard door be suitable.

Door seals not shown for purposes of clarity. Compressible section flipper seal set in rebate top rail & jambs of frame.

1 1/2 prs 100mm brass butt hinges per door. Ironmongery as client directs.

Letter plate maximum aperture 40mm x 260mm with internal flap.

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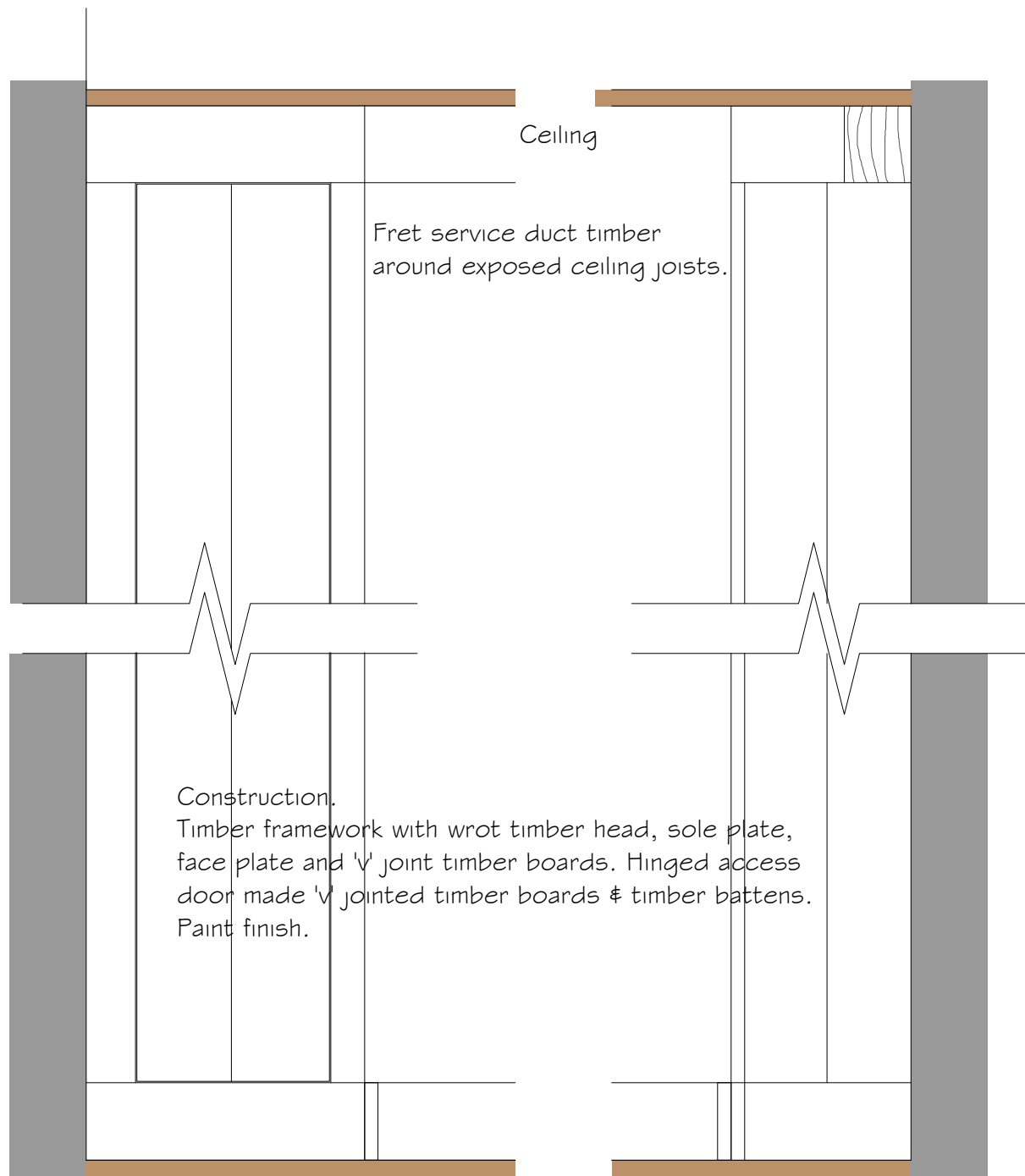
Drawing:
 PROPOSED
 EXTERNAL DOOR.

Drawing No. 193/17
 Date: FEBRUARY 2018
 Scale: 1:5 & 1:10

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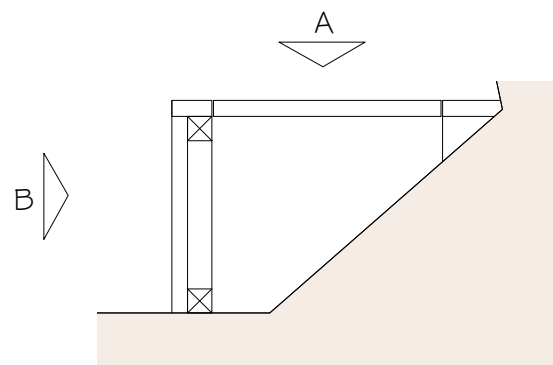


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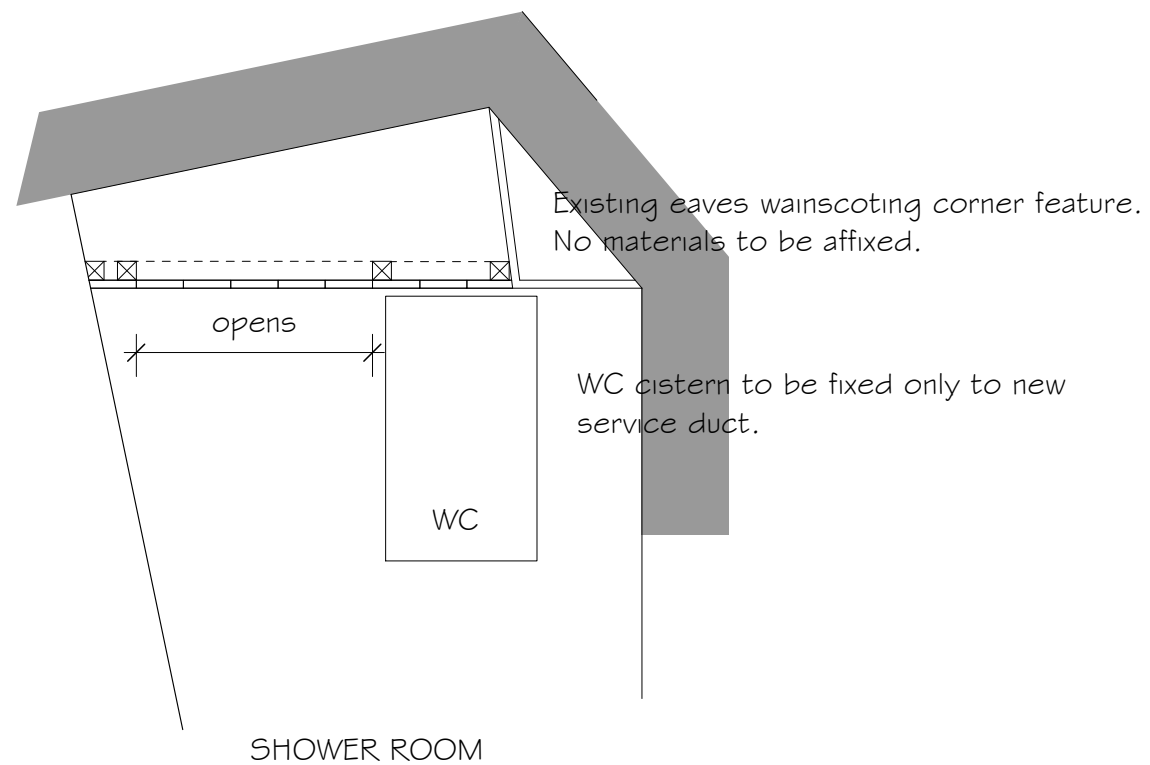
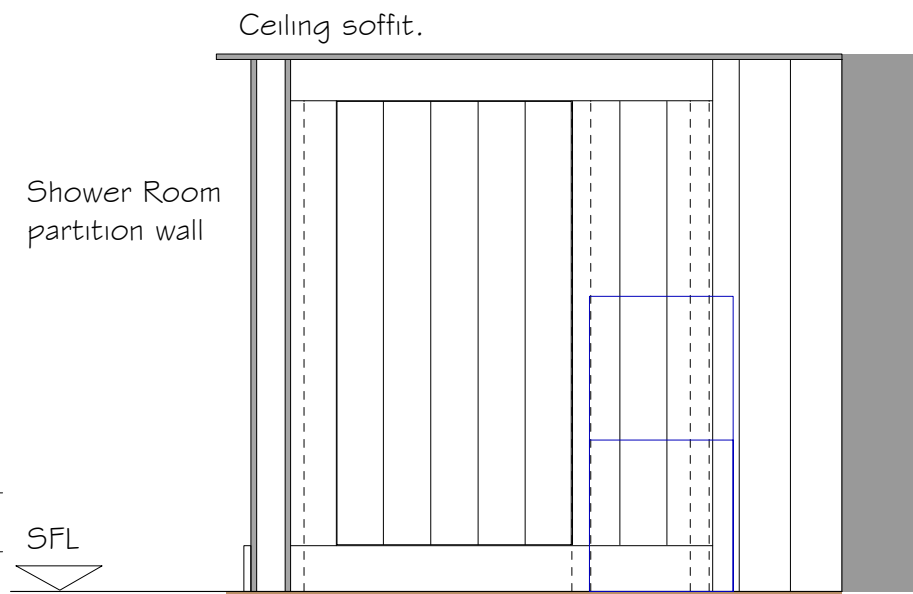
ELEVATION A

ELEVATION B



Approx size on plan 450mm x 300mm but will need adjustment on site to accommodate services etc which are revealed.

GFL FRONT BEDROOM SERVICE DUCT



SFL ATTIC WC SERVICE DUCT

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ALTERATIONS to
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Drawing:
PROPOSED
DETAILS.

Drawing No. 193/18
Date: FEBRUARY 2018
Scale: 1:10 & 1:20

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w: m2architecture.co.uk



PROJ. No 193	PROJECT. Proposed Repairs & Alterations at York House, King Street, Robin Hoods Bay .					
DRAWING No.	DRAWING TITLE	REVISIONS				
193.01	Existing Ground Floor Plan					
193.02	Existing First & Second Floor Plans					
193.04	Existing Elevations I					
193.05	Existing Side Elevation					
193.10	Ground Floor Plan as Proposed					
193.11	First & Second Floor Plans as Proposed					
193.12	Elevations I as Proposed					
193.13	Side Elevation as Proposed					
193.14	Kitchen Window					
193.15	Second Floor Stairwell Partition					
193.16	SFL Partition Sectional Details					
193.17	External Door (Typical).					
193.18	Detail Sheet					
193	Site Location Plan					