

Remove upper gable coping stones to east gable and rebuild chimney to match that at the west gable connecting the 2 flues. Line flue from ground floor dining room range fire place and prepare for class 1 appliance.

Repoint existing chimney on west gable and re-bed pots. Reline flue to ground floor.

Fix new lead flashing to both chimneys

Glazed door framed and constructed of toughened glass double glazed unit.

Windows and door to be in high performance Double Glazed Units, softwood frames with hardwood cills. Fenestration to match existing

Provide new supporting galvanised MS angle lintel behind existing fractured stone lintel

Remove existing timber lintel and replace in stone to outside face (to match adjacent GF windows) repair lime render to reveals

Plinth wall with shaped stone cill to be of cavity construction with two leaves of 100mm coursed local stone to match existing dwelling.

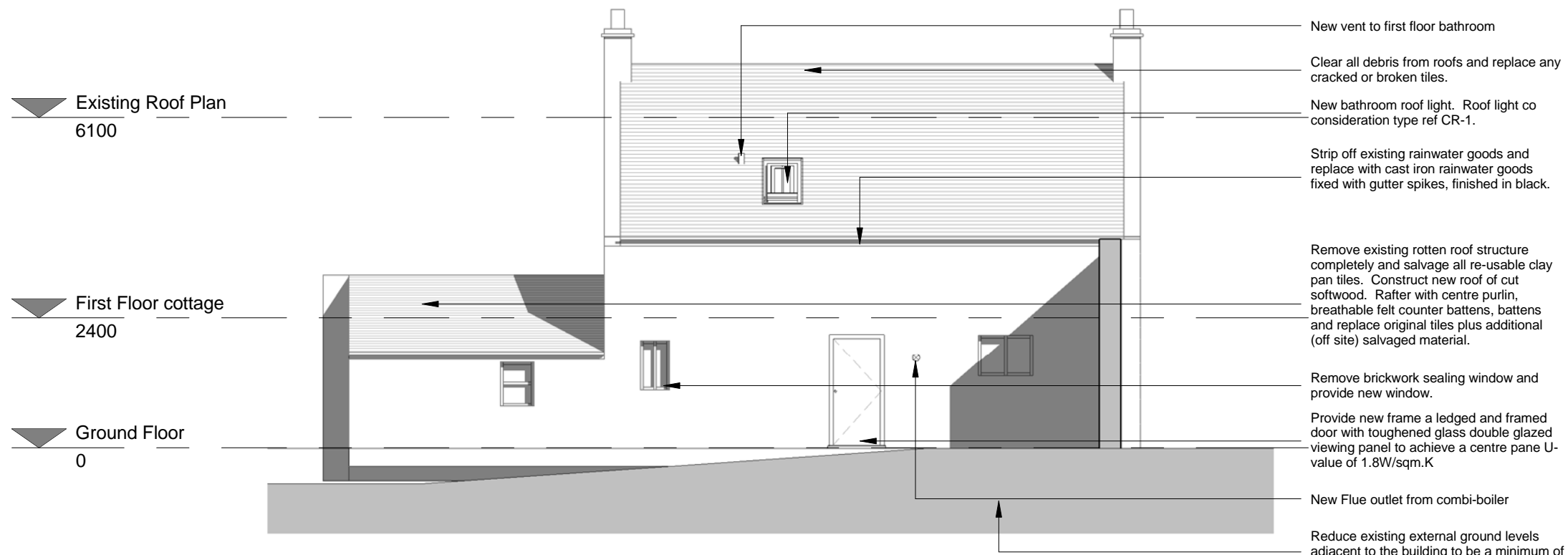
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Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18

## Keepers cottage, south-east elevation, as proposed

1 : 100



New vent to first floor bathroom

Clear all debris from roofs and replace any cracked or broken tiles.

New bathroom roof light. Roof light consideration type ref CR-1.

Strip off existing rainwater goods and replace with cast iron rainwater goods fixed with gutter spikes, finished in black.

Remove existing rotten roof structure completely and salvage all re-usable clay pan tiles. Construct new roof of cut softwood. Rafter with centre purlin, breathable felt counter battens, and replace original tiles plus additional (off site) salvaged material.

Remove brickwork sealing window and provide new window.

Provide new frame a ledged and framed door with toughened glass double glazed viewing panel to achieve a centre pane U-value of 1.8W/sqm.K

New Flue outlet from combi-boiler

Reduce existing external ground levels adjacent to the building to be a minimum of 150mm below finished floor levels.

### External to main outside walls

Rake out all mortar joints, wash with water and refill and repoint with recessed, bagged joints. Works of pointing, filling and bedding to be undertaken in a lime mortar mix of 1; 2 1/2 (lime; sand( sand mix of 50% sieved sharp sand and 50% builder's sand) with a slightly recessed bagged finish.

### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimline double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

**SW Architecture**  
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Client :

**Dr. Alex Stevenson**

Address :

Park Hall, Aislaby

Drawing :

**Keepers cottage, South-East and North-West elevation, as proposed**

Job Ref : 153092      Dwg No : 500-04      Revision : 02

Drawn : LGa      Checked : DFa      Scale : @A3  
1 : 100

Status :

**TENDER**

## Keepers cottage, north-west elevation, as proposed

1 : 100

NYMNP  
24/05/2018

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Carry out remedial work to North east again to provide bond between east and north walls, re-bed existing stones and use new stone where necessary. Walls to be tied together using stainless steel rods bedded into the mortar joints where appropriate.

Remove climbing plant, strip off old greenhouse roof and flashings and replace and repoint to match existing. Provide new stone lintel over window to match existing and rebuild loose stone work around window.

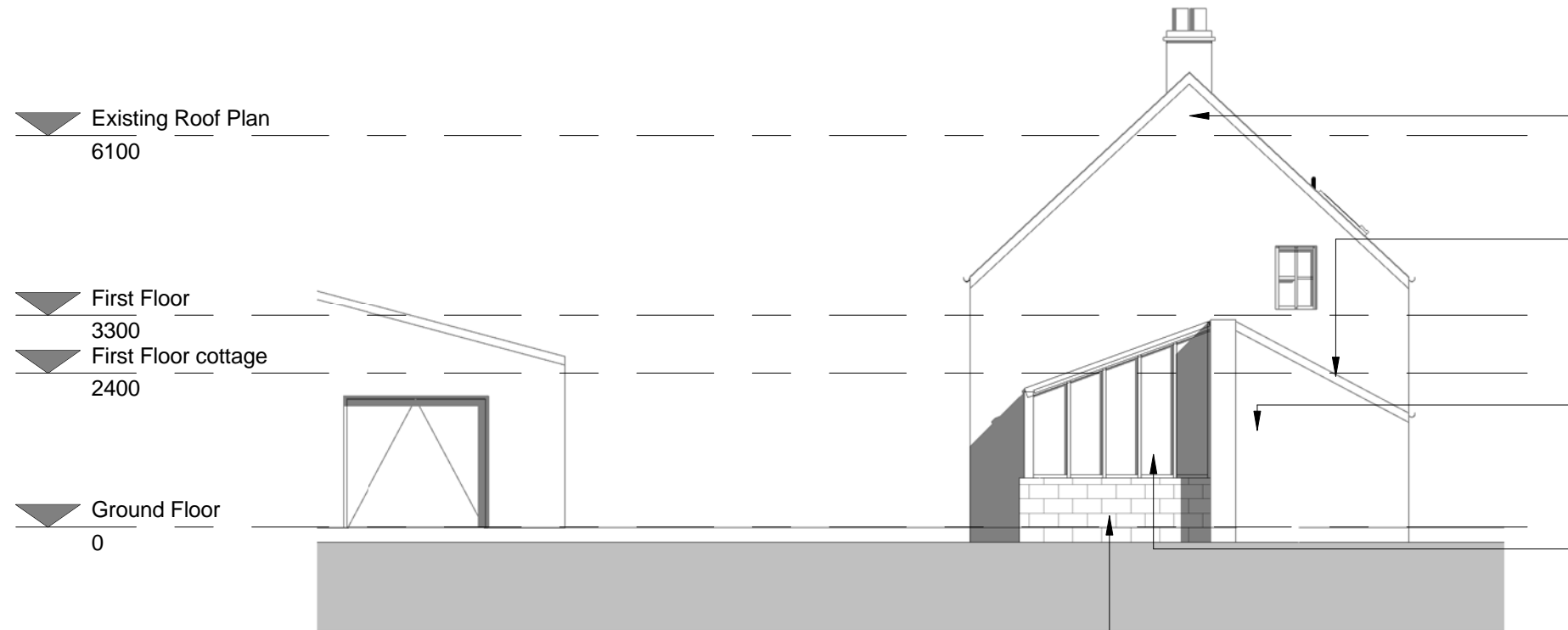
Block up existing doorway with wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk

Windows and door to be in high performance Double Glazed Units, softwood frames with hardwood cills. Fenestration to match existing

Plinth wall with shaped stone cill to be of cavity construction with two leaves of 100mm coursed local stone to match existing dwelling. Glazed roof to be constructed with proprietary lead covered bars

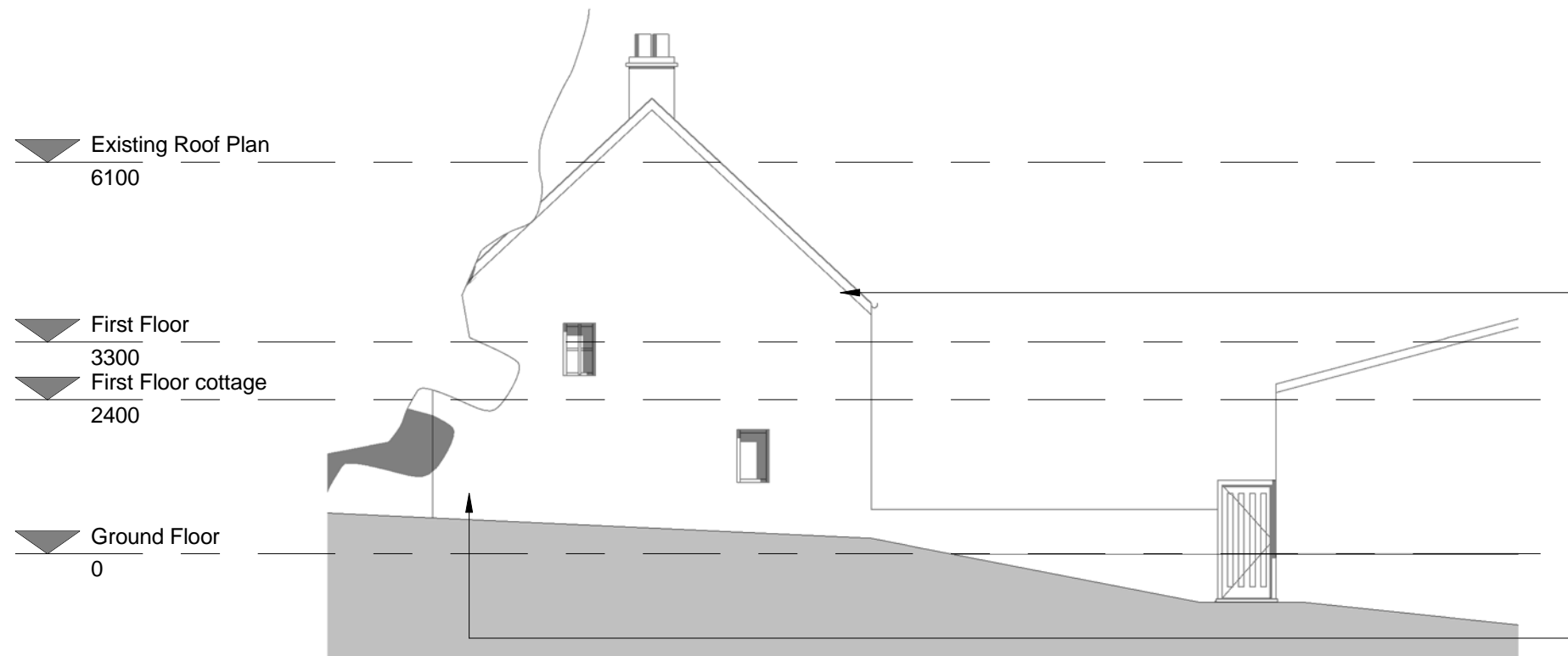
Re-bed existing copings using lime mortar on full width horizontal damp proof membrane. Provide lead soakers and flashings to extend down into the bowl of adjacent pantries.

Remove existing ivy and kill roots. Clear debris from base of wall and provide drain away from existing channel to discharge paint near gate to allow water to run away from structure.



## Keepers cottage, north-east elevation, as proposed

1 : 100



## Keepers cottage, south-west elevation, as proposed

1 : 100

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Client :

**Dr. Alex Stevenson**

Address :

Park Hall, Aislaby

Drawing :

**Keepers cottage, North-East and South-West elevation, as proposed**

Job Ref : 153092      Dwg No : 500-05      Revision : 03

Drawn : LGa      Checked : DFa      Scale : @A3  
1 : 100

Status :

**TENDER**

NYMNPA

24/05/2018

Existing boundary wall - This section of stone walling to be carefully taken down and reconstructed in line with the Engineers recommendations.

Existing lath and plaster ceiling to be retained and repaired.

Position of new combi wall mounted boiler in store room. New Flue outlet from combi-boiler

New rear door - new rear door opening formed (see elevation)

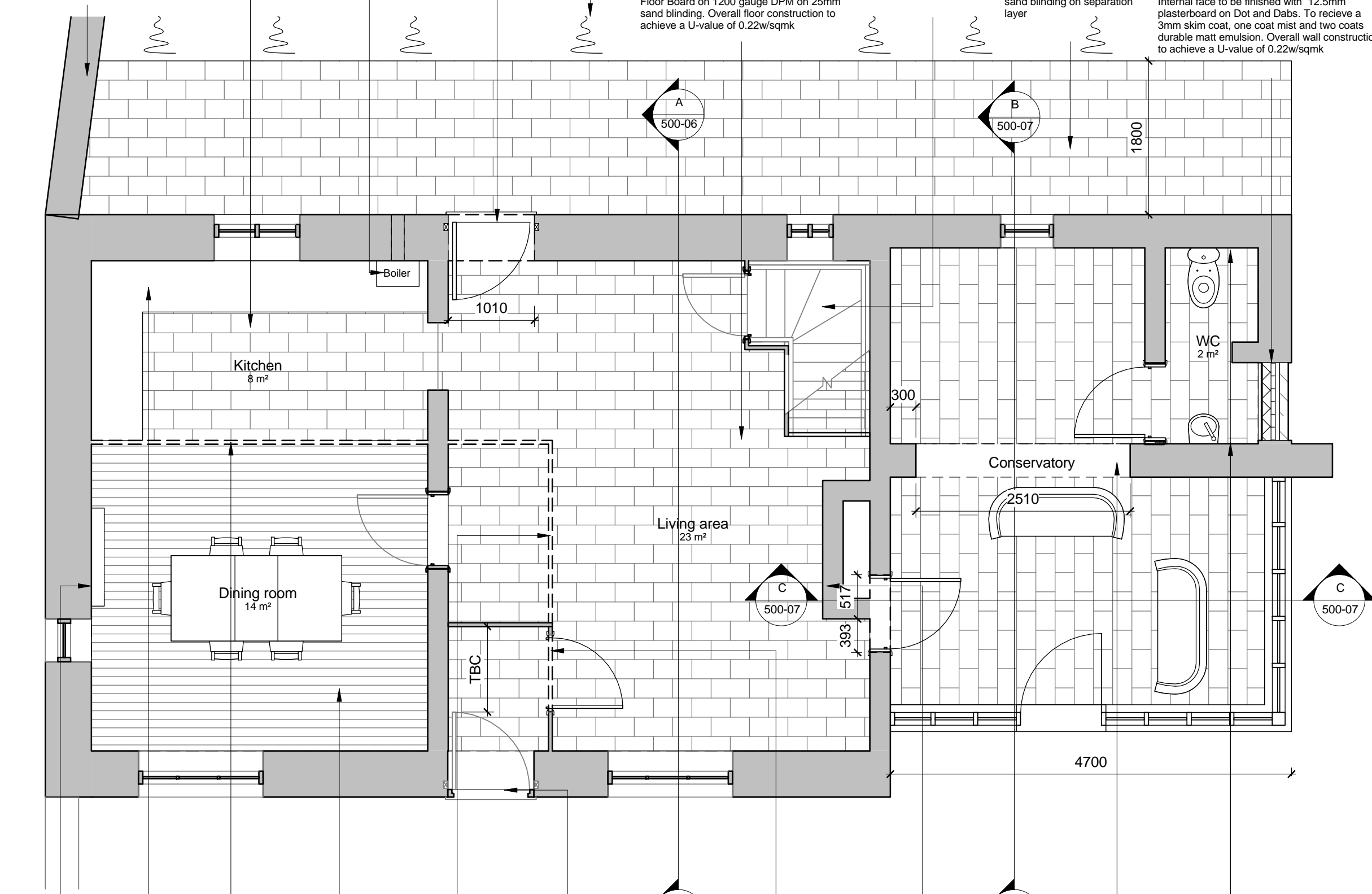
Reform existing landscape

Remove all existing floors to dwelling and out house. Yorkstone paving to match existing is to be laid and bedded on mortar on 150mm concrete slab on separation layer on 60mm Kingspan Kooltherm K103 Floor Board on 1200 gauge DPM on 25mm sand blinding. Overall floor construction to achieve a U-value of 0.22w/sqmk

Staircase, cladding and balustrading to be retained as existing and refurbished retaining as much of the original timbers as possible.

Excavate out ground to the rear of the building, form new paved area consisting of yorkstone paving to match existing on 25mm sand blinding on separation layer

Block up existing doorway with wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk



Existing fireplace and grate to be replaced

New Kitchen Units

Demolish and clear existing timber panelling

Existing timber floorboards carefully lifted. 100mm Kingspan Kooltherm K103 Floor Boards laid between Joists. Make good floor. Overall floor construction to achieve a U-value of 0.22w/sqmk

Demolish and reuse existing timber panelling

Remove existing door and frame, set in new frame and provide a ledged and framed door with toughened glass viewing panel

carefully remove, clean down and treat for fungal and insect attack and replace in position after completion of new ground floor works using as much of the original timbers as possible.

Existing fireplace and grate to be retained and repaired

Form new opening in wall 2110mm above FFL, provide lintels/steelwork to fully support existing wall above.

Plastered finish to internal walls of the WC

# Keepers Cottage, ground floor, as proposed

1 : 50

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 24/05/2018

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Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Door NE Elevation Removed	LGa	25/05/18

**Internal Works to Walls**  
 Remove all existing render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls of the main property to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths. Exposed walls in conservatory to be retained, repointed and cleaned.

**New internal doors**  
 New ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

**Electrical Works**  
 Remove all existing wiring and fittings from the property. A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations (see electrical layout for details and specifications).

**Mechanical Works**  
 Remove all existing pipework and installations from the property. A new separate mains water supply is to be provided. Heating and hot water supply is to be provided. Heating and hot water supply is to be provided by an oil fired balanced flue boiler. A new oil storage tank is to be located to the rear of the building capable of being filled from the highway (see mechanical layout dwg for details and specifications).



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Client :  
**Dr. Alex Stevenson**  
 Address :  
 Park Hall, Aislaby

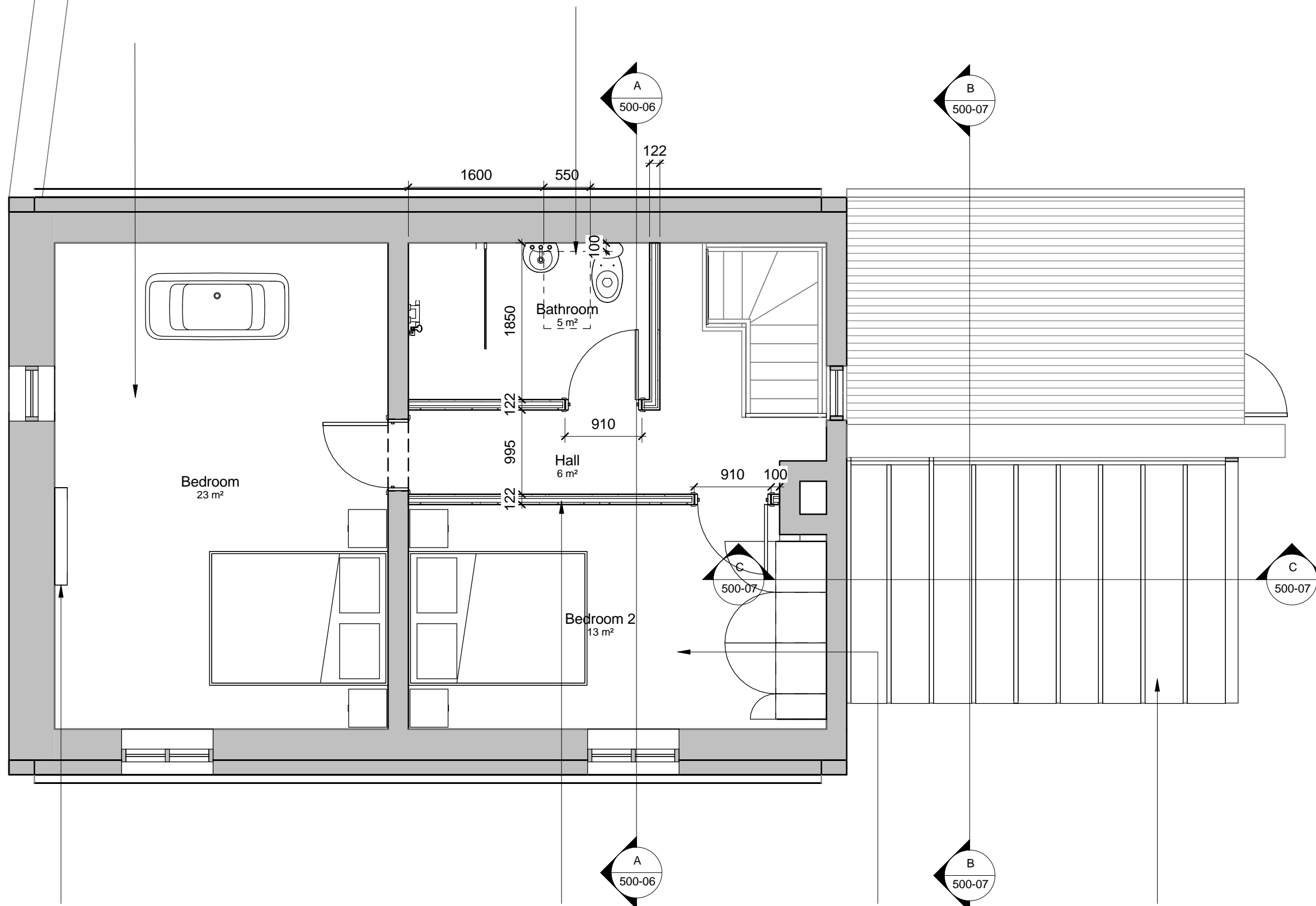
Drawing :  
**Keepers cottage, Ground floor, as proposed**

Job Ref :	Dwg No :	Revision :
153092	500-01	03
Drawn :	Checked :	Scale : @A3
LGa	DFa	1 : 50

Status :  
**TENDER**

Remove all existing wiring and fittings from the property. A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations (see electrical layout for details and specifications).

New velux CK04 conservation roof window, 550mm x 980mm with single glazing bar



Existing fireplace and grate to be retained and restored.

New British Gypsum GypWall classic consisting of 2 layers of 12.5mm gyproc wallboard either side of gypframe 70 S 50 C Studs with 25mm Isover Acoustic partition roll in the void. Wall to be finished with 3mm skim finish and to receive 1 coat mist and 2 coats scrubbable matt emulsion

Existing exposed floor joists are generally to be retained. All joists are to be inspected and rotten sections/end are to be renewed with matching spliced timbers. All joists are to be made secure into external walls with MS galvanised straps and to have a minimum of 100mm of good bearing 2no joists parallel to gables to be nagged and strapped to masonry at 900mm. c/c. All straps to be built into walls as directed by CA. Original floor boarding is to be retained where ever possible and any rotten sections replaced with matching new boards. Living room ceiling strip all lime wash/point from joists and underside of floorboards.

Windows and door to be in high performance Slimlite Double Glazed Unit, softwood frames with hardwood cills. All frames to be completely factory finished in gloss finish white.

# Keepers Cottage, first floor, as proposed

1 : 50

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02 - Notes updated	LGa	25/05/18

### Internal Works to Walls

Remove all existing render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls of the main property to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths. Exposed walls in conservatory to be retained, repointed and cleaned.

### New internal doors

New ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

### Electrical Works

Remove all existing wiring and fittings from the property. A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations (see electrical layout for details and specifications).

### Mechanical Works

Remove all existing pipework and installations from the property. A new separate mains water supply is to be provided. Heating and hot water supply is to be provided. Heating and hot water supply is to be provided by an oil fired balanced flue boiler. A new oil storage tank is to be located to the rear of the building capable of being filled from the highway (see mechanical layout dwg for details and specifications).

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Client :

Dr. Alex Stevenson

Address :

Park Hall, Aislaby

Drawing :

Keepers cottage, first floor, as proposed

Job Ref : 153092      Dwg No : 500-02      Revision : 02

Drawn : LGa      Checked : DFa      Scale : @A3  
 1 : 50

Status :

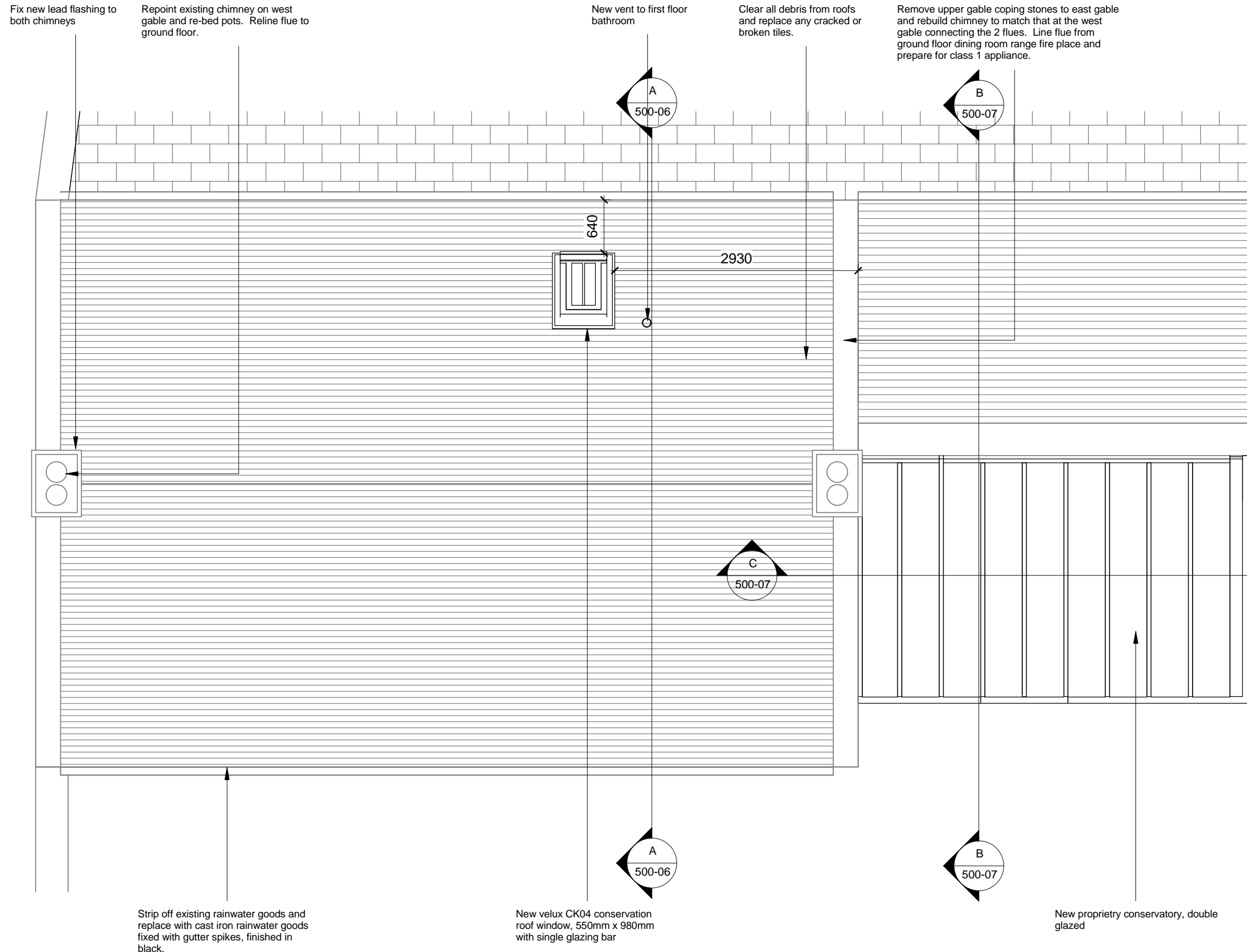
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02 - Notes updated	LGa	25/05/18



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Client :  
**Dr. Alex Stevenson**  
Address :  
Park Hall, Aislaby

Drawing :  
**Keepers cottage, roof plan, as proposed**

Job Ref : 153092      Dwg No : 500-03      Revision : 02  
Drawn : LGa      Checked : DFa      Scale : @A3  
1 : 50

Status :  
**TENDER**

NYMNP  
24/05/2018

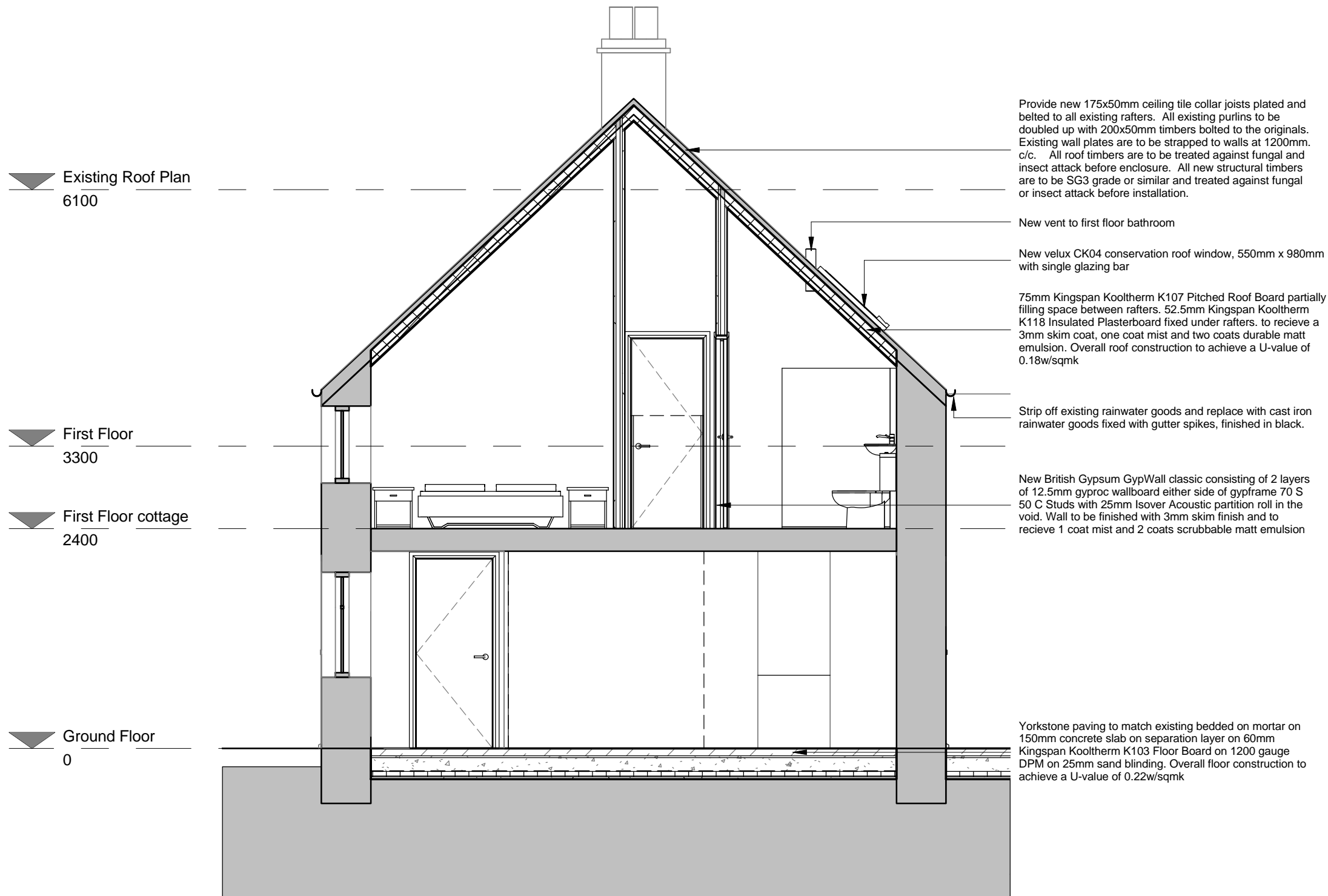
# Keepers cottage, roof plan, as proposed

1 : 50

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#### Internal Works to Walls

Remove all existing loose render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths.

#### New internal doors

New framed, ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

#### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimline double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

Carefully remove and retain all existing window hinges, cill boards and window seats and replace using new material to replicate the original construction where necessary. All windows to have molded architraves to match existing.

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Client :

Dr. Alex Stevenson

Address :

Park Hall, Aislaby

Drawing :

Keepers cottage, Section A/a, as proposed

Job Ref : 153092  
Dwg No : 500-06  
Revision : 02

Drawn : LGa  
Checked : DFa  
Scale : @A3  
1 : 50

Status :

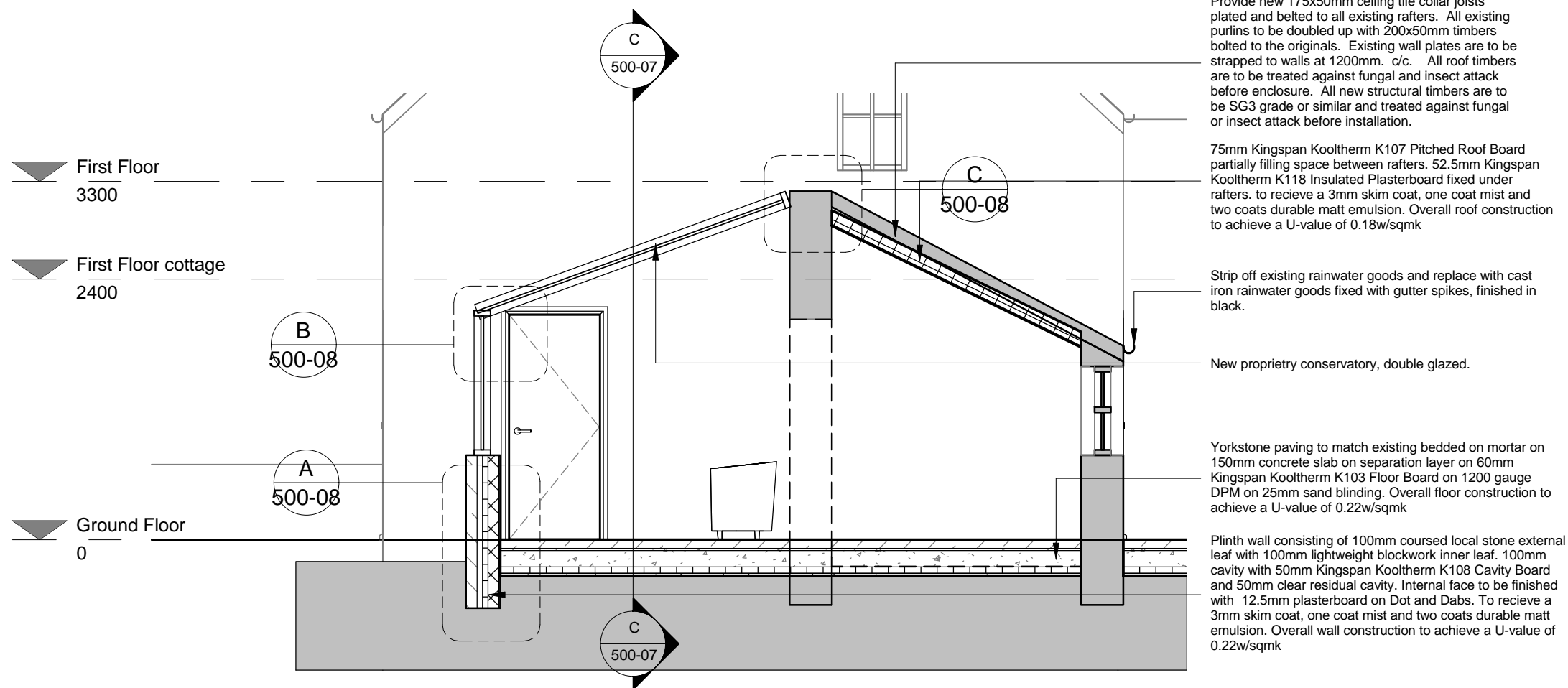
TENDER

# Keepers Cottage, Section A/a, as proposed

1 : 50

NYMNPA

24/05/2018



Provide new 175x50mm ceiling tile collar joists plated and belted to all existing rafters. All existing purlins to be doubled up with 200x50mm timbers bolted to the originals. Existing wall plates are to be strapped to walls at 1200mm. c/c. All roof timbers are to be treated against fungal and insect attack before enclosure. All new structural timbers are to be SG3 grade or similar and treated against fungal or insect attack before installation.

75mm Kingspan Kooltherm K107 Pitched Roof Board partially filling space between rafters. 52.5mm Kingspan Kooltherm K118 Insulated Plasterboard fixed under rafters. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall roof construction to achieve a U-value of 0.18w/sqmk

Strip off existing rainwater goods and replace with cast iron rainwater goods fixed with gutter spikes, finished in black.

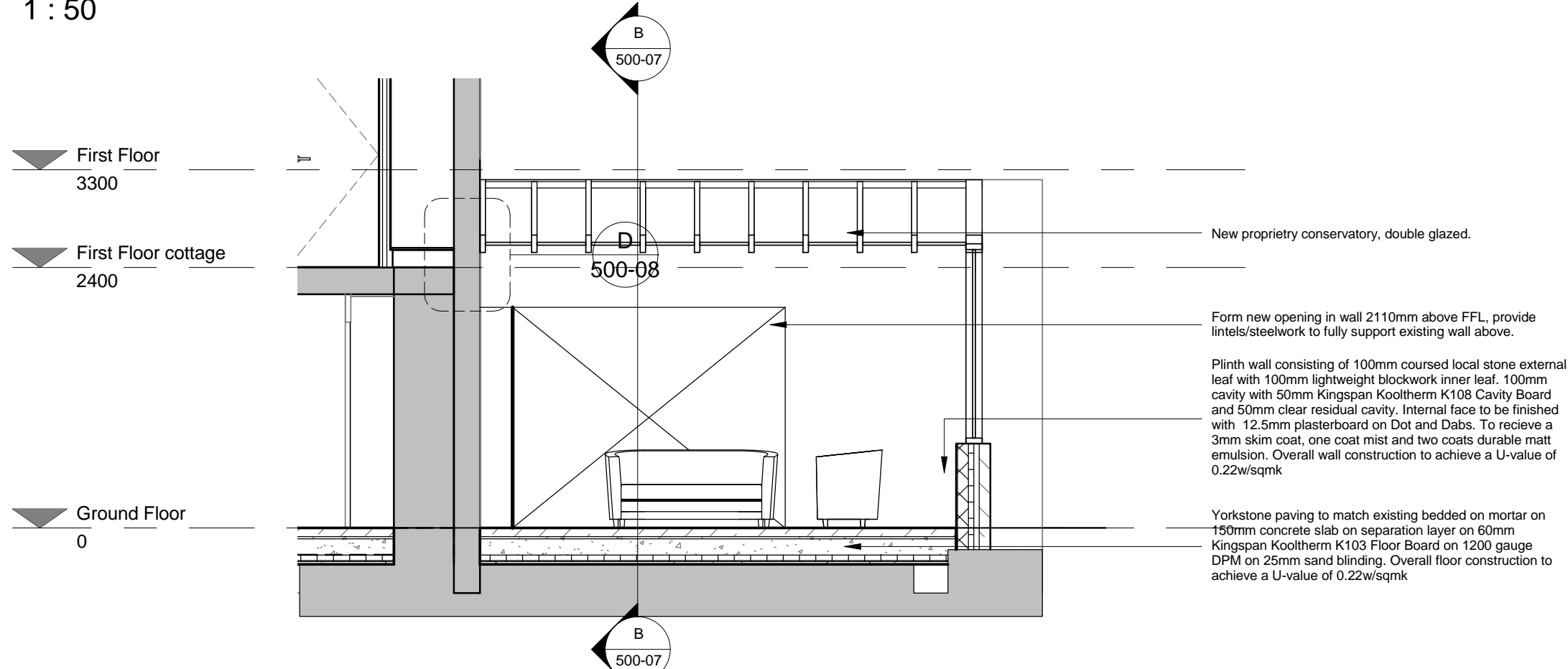
New proprietary conservatory, double glazed.

Yorkstone paving to match existing bedded on mortar on 150mm concrete slab on separation layer on 60mm Kingspan Kooltherm K103 Floor Board on 1200 gauge DPM on 25mm sand blinding. Overall floor construction to achieve a U-value of 0.22w/sqmk

Plinth wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk

## Keepers Cottage, Section B/b, as proposed

1 : 50



New proprietary conservatory, double glazed.

Form new opening in wall 2110mm above FFL, provide lintels/steelwork to fully support existing wall above.

Plinth wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk

Yorkstone paving to match existing bedded on mortar on 150mm concrete slab on separation layer on 60mm Kingspan Kooltherm K103 Floor Board on 1200 gauge DPM on 25mm sand blinding. Overall floor construction to achieve a U-value of 0.22w/sqmk

## Keepers Cottage, Section C/c, as proposed

1 : 50

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 24/05/2018

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Revision :	Drawn :	Date :
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02 - Notes updated	LGa	25/05/18

### Internal Works to Walls

Remove all existing loose render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths.

### New internal doors

New framed, ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimline double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

Carefully remove and retain all existing window hinges, cill boards and window seats and replace using new material to replicate the original construction where necessary. All windows to have molded architraves to match existing.

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Client :

**Dr. Alex Stevenson**

Address :

Park Hall, Aislaby

Drawing :

**Keepers cottage, Section B/b and C/c, as proposed**

Job Ref : 153092      Dwg No : 500-07      Revision : 02

Drawn : LGa      Checked : DFa      Scale : @A3  
 1 : 50

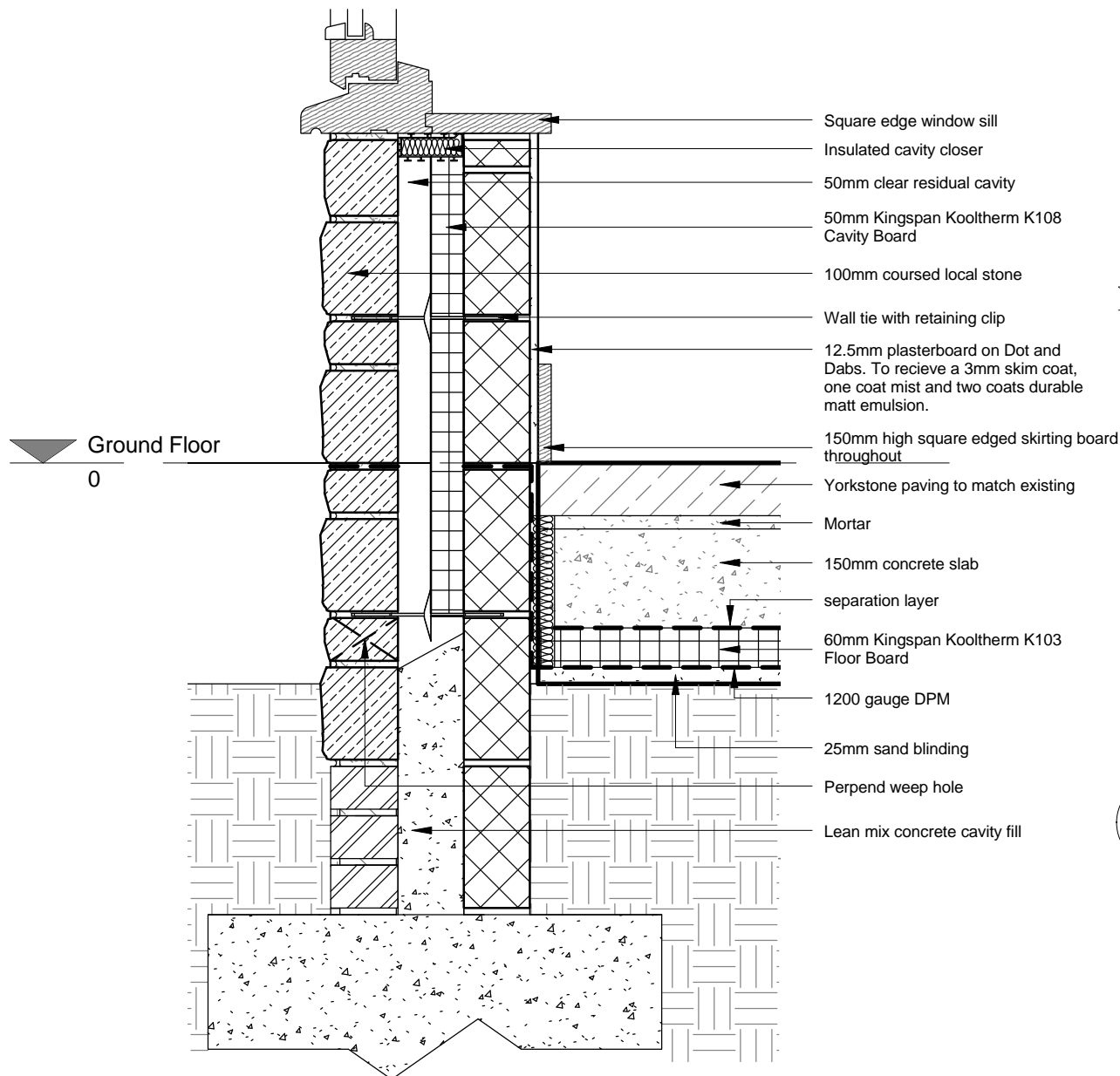
Status :

**TENDER**

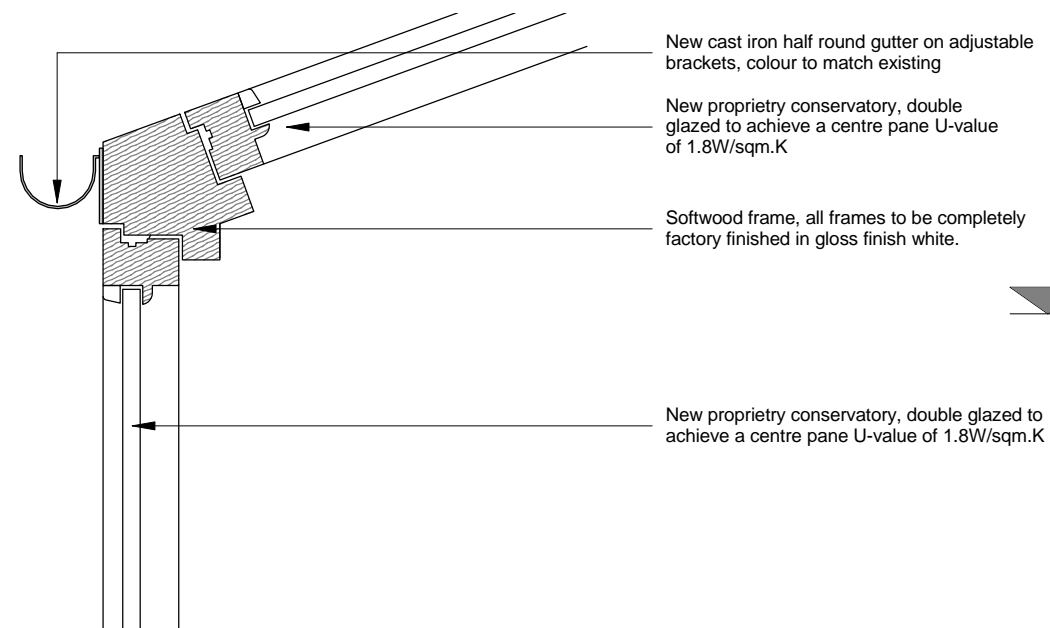
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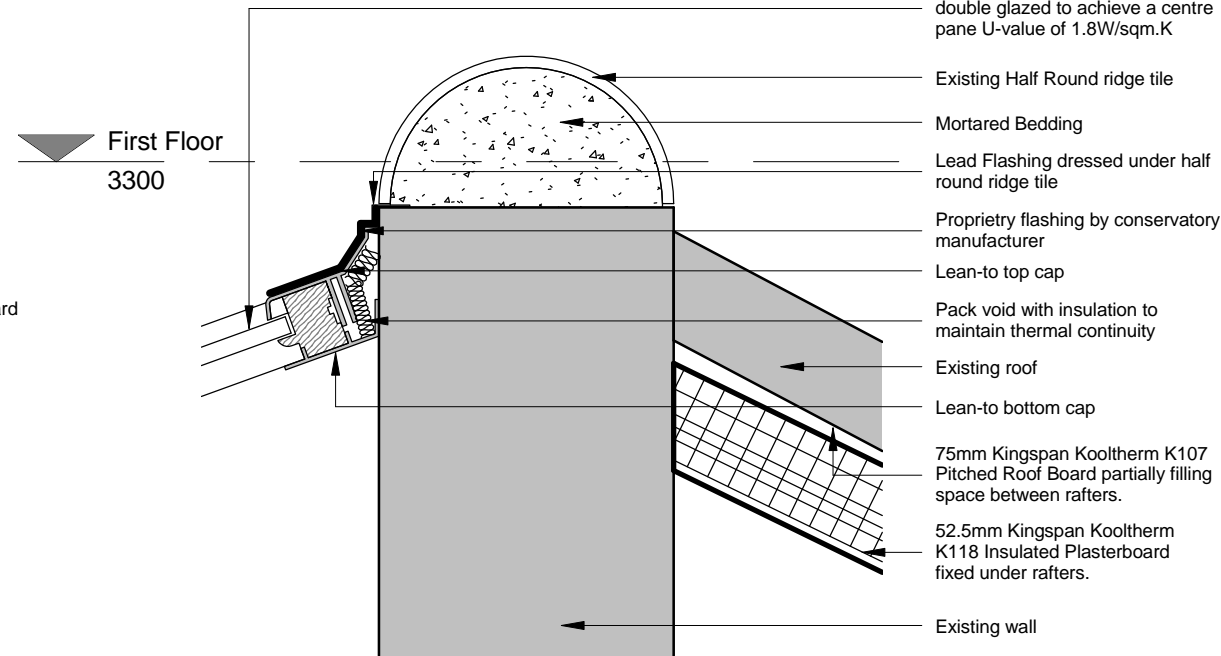
Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18



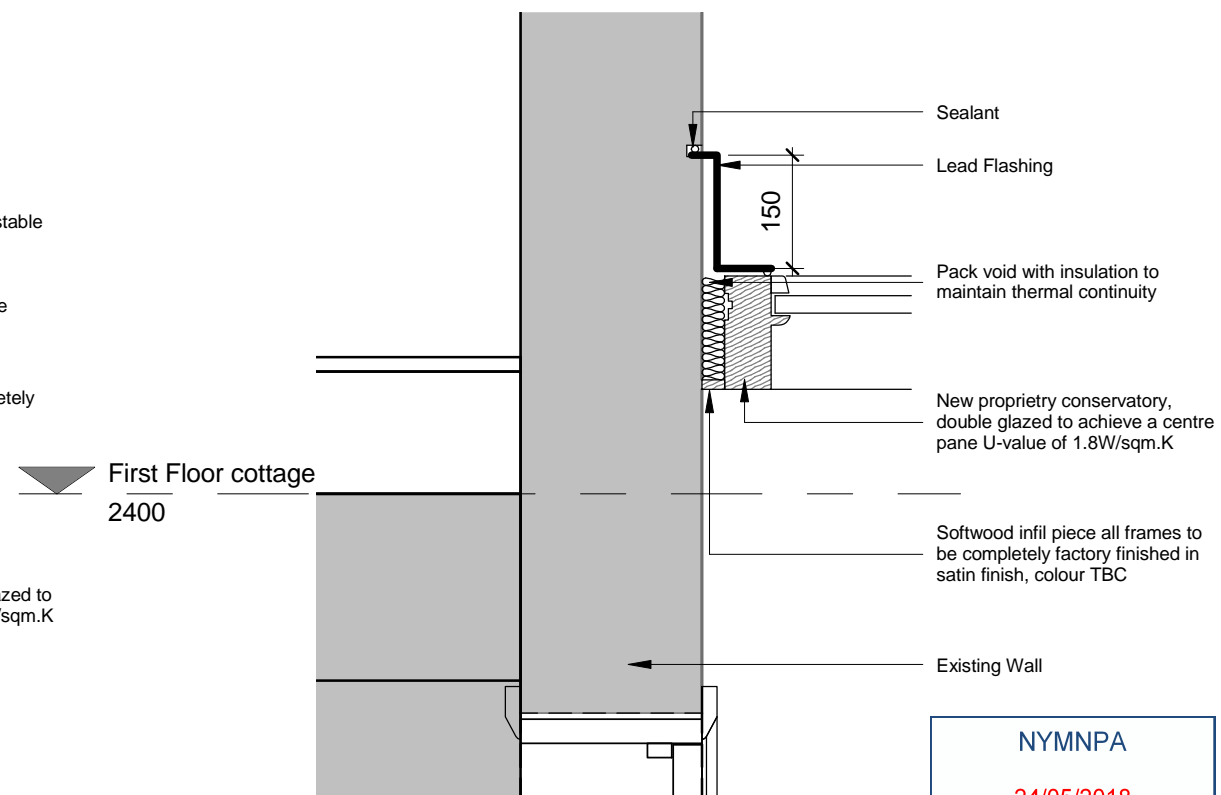
**A Dwarf wall base detail, design intent**  
1 : 10



**B Eaves detail, design intent**  
1 : 10



**C Ridge detail, design intent**  
1 : 10



**D Junction detail, design intent**  
1 : 10

NYMNP  
24/05/2018

**SW Architecture**  
Part of Sanderson Weatherall

[www.sw-architecture.co.uk](http://www.sw-architecture.co.uk)

Client :  
**Dr. Alex Stevenson**  
Address :  
Park Hall, Aislaby

Drawing :  
**Keepers cottage, conservatory details, as proposed**

Job Ref :	Dwg No :	Revision :
153092	500-08	02
Drawn :	Checked :	Scale : @A3
LGa	DFa	1 : 10

Status :  
**TENDER**