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4th June 2018

fao. Mr. Edward Freedman
North York Moors National Park Planning Authority,
The Old Vicarage,
Bondgate,
Helmsley.
YO62 5BP.

Dear Mr. Freedman,

YORK HOUSE, KING STREET, ROBIN HOODS BAY.
2018/0204/LB & 0232/FL

Thank you for your e-mail dated 29th May 2018, I have attached amended drawings for your information:

- 193.10a Ground Floor Plan as Proposed
- 193.11a First & Second Floor Plans as Proposed
- 193.12a Elevations I as Proposed
- 193.13a Side Elevation as Proposed
- 193.14a Kitchen Window

The following are notes relating to your e-mail sections.

- 2.01. Boundary wall – amended as your proposal.
- 2.02 Drawing amended to lead weight balanced sash. Sections altered.
- 2.03. Ok.
- 2.11 Front door, notes amended as you propose.
- 2.12. Yes, pilaster base only to be replaced. Notes added to drawings.
- 2.13 & 2.27. The applicant would prefer to wait until building work can be scheduled into the calendar before making any inspections to the Bay Window head so please 'Condition, that work.
- 2.14 Front FFL window openings. Window head: I discussed this with Richard Agar Associates, Structural Engineers; the thinking was that;
 - a). An unequal ms angle would not work very well under the existing heads as there is not really a level course for insertion and;
 - b). For this solution we concluded that there would be concern that a slip plane at the bearing could be the result of installing the metal allowing further movement of the stonework.

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c). The idea of a flitch plate bolted from the inside was mooted, however there is not so much by way of material in the existing lintols to enable strong fixings to be achieved.

d). The most effective solution, given the preceding criteria, would be that the masonry bed joints are reinforced above the window heads with Helifix bars in a 50mm deep groove. The idea is shown on the front Elevation drawing.

2.15. Front SFL sill. Your preference is fine, discussed with R.A. Assoc, the bed joints should be reinforced with Helifix bars, the lengths extended to those shown in the Structural Engineer's Report.

2.16. To clarify, the existing slates are to be re-laid. Supplementary slates are to match.

2.25, 2.32, 2.36. Internal doors. Applicant happy to proceed as your suggestion to renovate re-glue/cramp, fill cracks and paint finish.

2.41, 2.43. Note added that partition is boarded on Bedroom face.

Following advice in the Structural Report, an extractor fan has been added to the Shower Room at Ground Floor Level.

I trust this is the information which you required however should there be any omission or query please let me know.

Kind regards

Michael Miller

cc. Harriet Frank.

Extractor fan duct from new Shower Room to terminate at proprietary slate vent. Black colour.

Main roof of house to be inspected by specialist roofing contractor. Areas of uneven slating, patching, broken & missing slates, & yawning, give the impression that a complete overhaul may be required. It is anticipated that the slates will require removal and the replacement of tiling battens and breathable membrane underlay will be necessary. Relaying of existing slates to required gauge and lap & any supplementary slates to match existing. Consult Structural Engineer on roof structure stabilisation once extg details identified in engineer's report are known.

Revision A. 4.6.2018.
Notes re: extg slates to be re-laid. Need to consult Structural Engineer. SFL sill to remain + Helifix bars reinf. FFL window heads to remain Helifix bars reinf. FFL window sills.



Structural:
Settlement has clearly occurred in the front wall of the building generally emanating from the head of the bay window and rising up the entire facade. There is evidence that work has been carried out in the past however there are obvious problems which remain to be addressed. Refer to Structural Engineer's report.

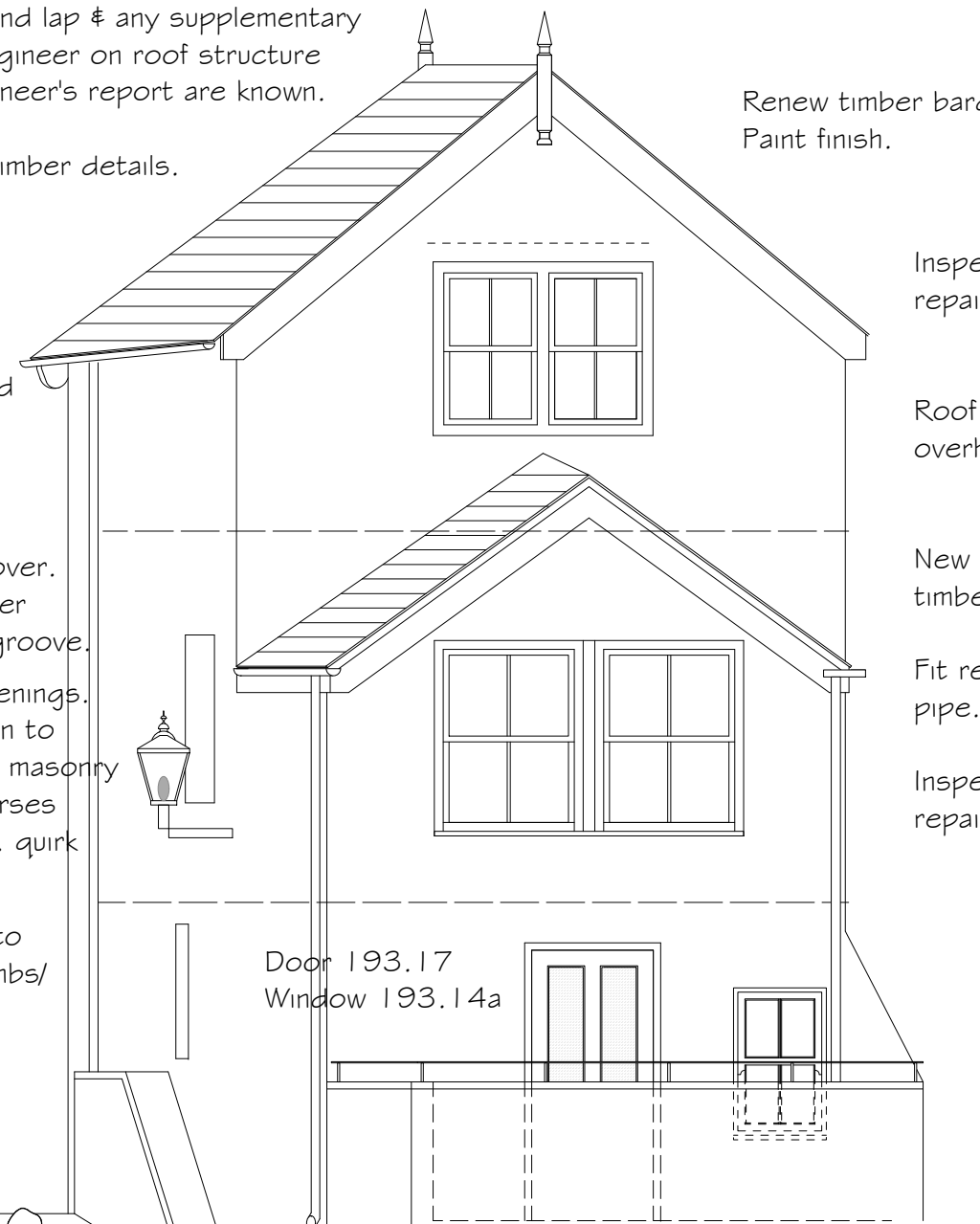
NB. SEE STRUCTURAL ENGINEER'S REPORT FOR OTHER SPECIFIC CRACK REINFORCEMENT WORKS USING HELIFIX BARS.

Renew timber barge boards & verge timber details. Paint finish.

Extg sill to remain (NYMNP) requirement. Structural Engineer's Report shows crack reinforcement and this should be extended to 300mm beyond lhs window opening.

Extg window heads to remain (NYMNP).
Precautionary measure: Install Helifix joint reinforcement above head & next course over. Bars butt joint with cover bar centrally over joint. Fix as manuf instructions in 50 mm groove.
Take out defective sills to FFL window openings. Replace with new or reclaimed sills section to match courses & fit between extg historic masonry as shown. Re-align stonework to 3no courses above bay window to form even panel incl. quirk bottom of central support masonry.

Existing support beams over bay window to be exposed and support conditions at jambs/ reveals to be investigated. Remedial action as Structural Engineer's advice. (To be also agreed with NYMNP).



Free standing wall to Terrace to be taken down & rebuilt as notes on plan. Stone capping & iron railing for black paint finish as detail on plan.

Proposed:
ALTERATIONS to
YORK HOUSE
KING STREET
ROBIN HOODS BAY

Drawing:
EXISTING
ELEVATIONS I

Drawing No. 193/03a
Date: DECEMBER 2017
Scale: 1/50

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S O U T H E L E V A T I O N

N O R T H E L E V A T I O N

Barge boards & other timber trims
to verge to be taken down and
renewed. Paint finish on completion.

Main roof of house to be inspected by specialist roofing contractor.
Areas of uneven slating, patching, broken & missing slates, & yawning,
give the impression that a complete overhaul may be required.
It is anticipated that the slates will require removal and the replacement
of tiling battens and breathable membrane underlay will be necessary.
Relaying of existing slates to required gauge and lap. Any supplementary
slates to match existing.

Renew timber barge boards & verge timber details. Paint finish.

Take down rainwater goods. Replace with Heritage aluminium.

Roof abutment with Second Floor Level wall: remove timber batten detail &
reinstale using lead flashing & soakers to slating. Adjust/reinstale render
finish as necessary.

Remove slates & battens from existing roof over First Floor level
extension.

Lay breathable membrane. New treated sw battens. Re-lay extg slates to
correct gauge & lap for size & location. Fix with copper nails.
Renew timber barge boards/plates & slate cover battens to match existing.

Take down rainwater goods. Replace with Heritage aluminum sections black
anodised finish on rise & fall brackets.

Take down extg wall to terrace & reconstruct in
reclaimed stonework coursing and bonding to
match extg as note on GFL Plan. Finish top
with sawn stone capping to match adjacent work.
Wrought iron railing to wall top to form total ht
of structure to 1.10m

CDM.
Protect surface mounted
electricity supply.

Proposed:
ALTERATIONS to
YORK HOUSE
KING STREET
ROBIN HOODS BAY

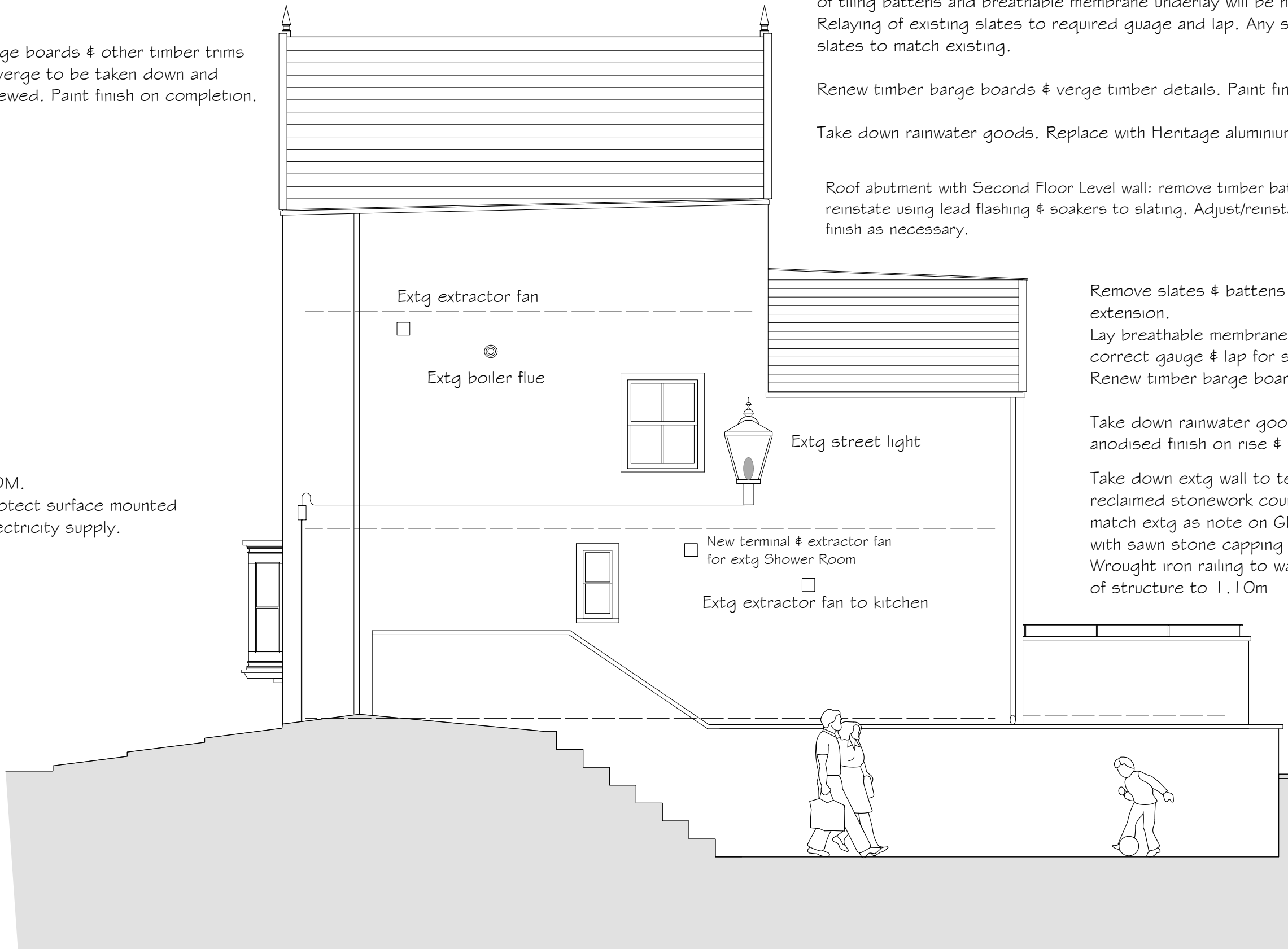
Drawing:
PROPOSED
SIDE (EAST) ELEVATION

Drawing No. 193/13a
Date: JANUARY 2018
Scale: 1/50

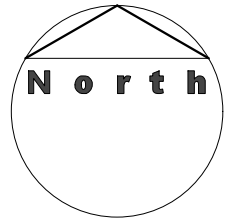
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E A S T E L E V A T I O N



Wrought iron railing approx 200mm height on sawn stone coping on stone wall. O/a height from deck 1100mm. See Section opposite.

Take out existing standsheet window frame & replace with vertical sliding timber sash window as detail 193.14a.

All Kitchen area and Hallway thro' to front door: floor to be finished with laminate floor covering as client directs.

Central Heating system to be flushed using specialist machinery & system serviced on completion of radiator additions and system alterations.

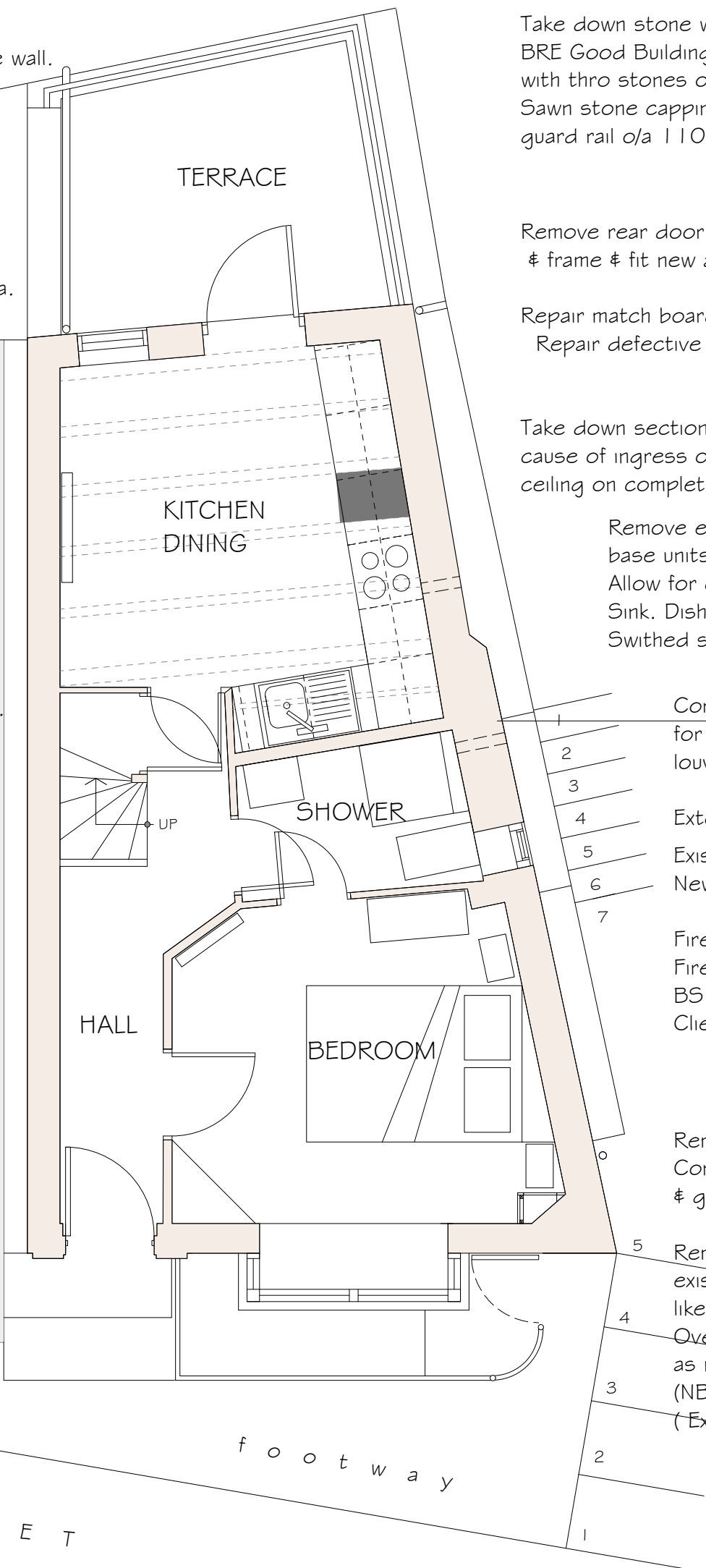
Timber door to Kitchen/Hall to be repaired by regluing & cramping joints. Fill cracks etc & paint finish.

Heating radiator to bedroom to be relocated and size adjusted as req'd.

Front door to be refurbished by fitting draught seals to frame. Sections to suit gaps. Adjust door to allow for fitting low sill threshold seal. Alternatively replace exactly like-for-like.

Replace plinth/base to door opening timber embrasure where rotted.

Make good/replace lead flashing to entrance door embrasure.



Take down stone wall to terrace & rebuild in two skins fair face both sides min 215mm thick o/a. BRE Good Building Guide No. 14. Max height 1075mm. Coursing & faces to match existing & tied with thro stones or stainless steel ties @ 600mm centres horizontally & 450mm centres vertically. Sawn stone capping as neighbouring property & wrought iron railing approx 200mm height to form guard rail o/a 1100mm. CDM Working at height.

Remove rear door approx 870 x 1775mm & frame & fit new as detail 193.17.

Repair match board panelling under window opening. Repair defective plasterwork to wall panel rhs window opening.

Take down section of ceiling where defective in order to ascertain cause of ingress of moisture. Carry out remedial works & reinstate ceiling on completion.

Remove existing kitchen units. Install new Kitchen base units and wall units to client's specification. Allow for connection of appliances to services. Sink. Dish washer. Fridge. Switthed socket outlets as Client directs.

Core drill extg wall & install 100mm dia duct for new ventilation fan. White weather resistant louvred register externally.

External steps shown for information.

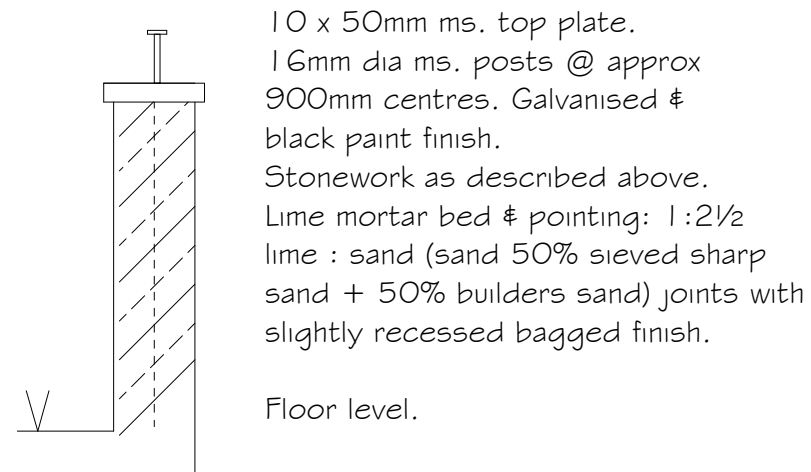
Existing electrical sytem tested 2017 advised by client. New/alterations to be carried out by certified contractor.

Fire Detection and Alarm. Fire Detection and Alarm system installed to recommendations of BS 5839-6:2004 to at least a Grade D category LD3 standard. Client advises this is the current system.

Remove corner cupboard to Bedroom (this is not historic fabric). Construct new cupboard to conceal vertical risers/circulation pipes & gas meter.

Remove modern matchboard lining to head of bay window to expose existing structural support. Inspect and carryout remedial work on a like-for-like replacement basis.

Overhaul lead sheet covering to Bay Window & fit new lead flashing as necessary. (NB. Presently ingress of water at head location) (External wall variously cracked/settled above this location).



SECTION THRO' TERRACE WALL 1:20

Revision A. 4.6.2018
Notes re: Terrace wall. Internal doors. Kitchen window. Front door. Front door external surround - base only. Shower Room extract fan.

Proposed:
ALTERATIONS to
YORK HOUSE
KING STREET
ROBIN HOODS BAY

Drawing:
PROPOSED
GROUND FLOOR PLANS

Drawing No. 193/10a
Date: JANUARY 2018
Scale: 1/50

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K I N G
S T R E E T

Inspect timber external surround to window opening & replace on a like-for-like basis. Prime timber & 1x undercoat prior to fixing & paint finish.
CDM reduce work at height.

Extend central heating pipework & fit new radiator under window sill. Form seat over in timber as detail.

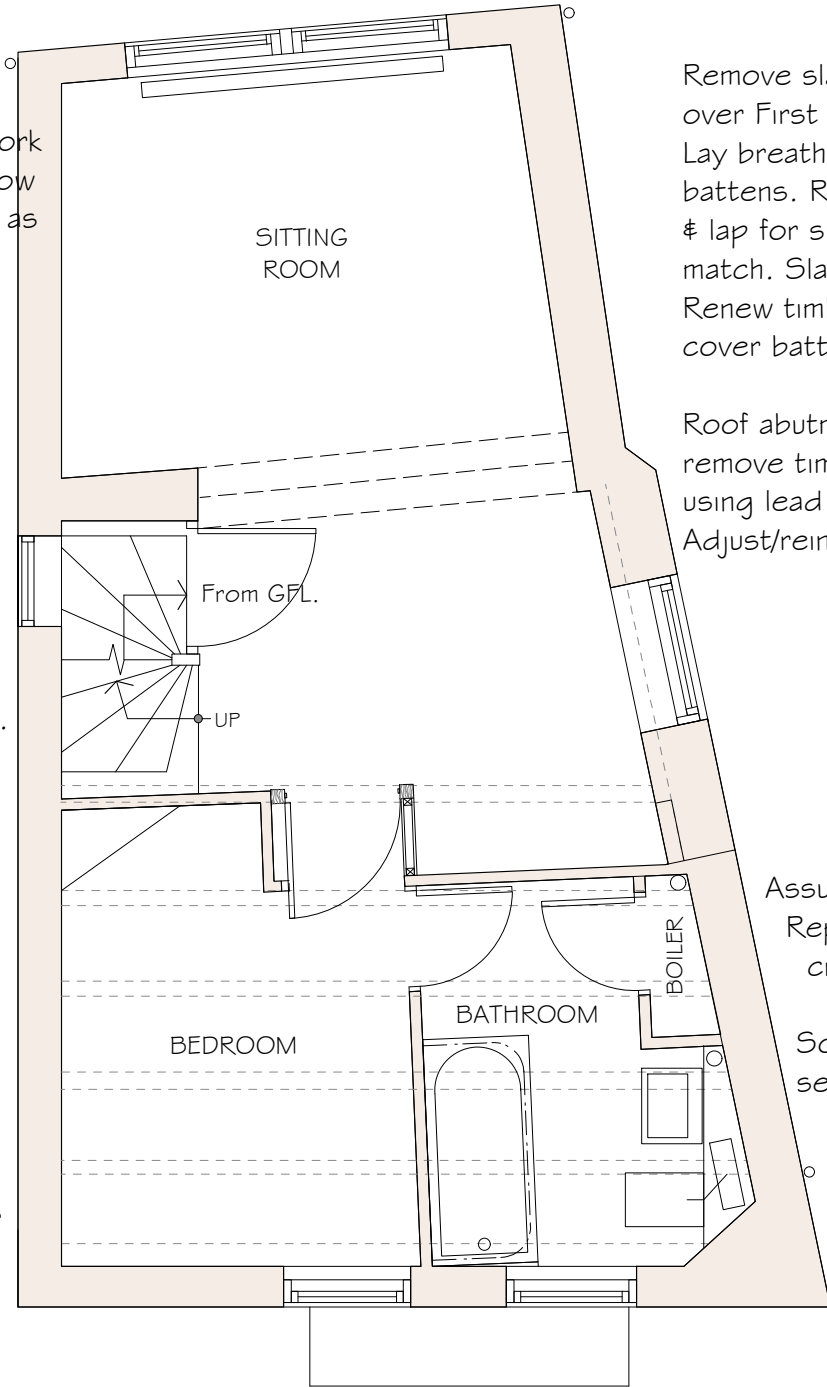
Repair existing door by regluing & cramping joints. Fill cracks & paint finish.

Remove extg staircase window & replace like-for-like.

Existing step in floor to be taken out.

Form new entrance lobby to Bedroom as notes.

Works to external wall, Bay Window & Entrance Door as notes on elevation.



Remove slates & battens from existing roof over First Floor level extension. Lay breathable membrane. New treated sw battens. Re-lay existing slates to correct gauge & lap for size & location. Any additional slates to match. Slates fixed with copper nails. Renew timber barge boards/plates & slate cover battens to match existing.

Roof abutment with Second Floor Level wall: remove timber batten detail & reinstate using lead flashing & soakers to slating. Adjust/reinstate render finish as necessary.

Assumed location fw pipe to below. Repair door to Airing Cup'd by regluing & cramping joints. Paint finish.

Soil pipe to be extended to serve second floor Shower Room

Bath replaced & re-sited. 700 x 1500mm bath c/w shower over. Shower curtain on track with ceiling supports. New back-to-wall wc & cistern in new bulkhead unit. Configured as existing services allow.

F I R S T F L O O R

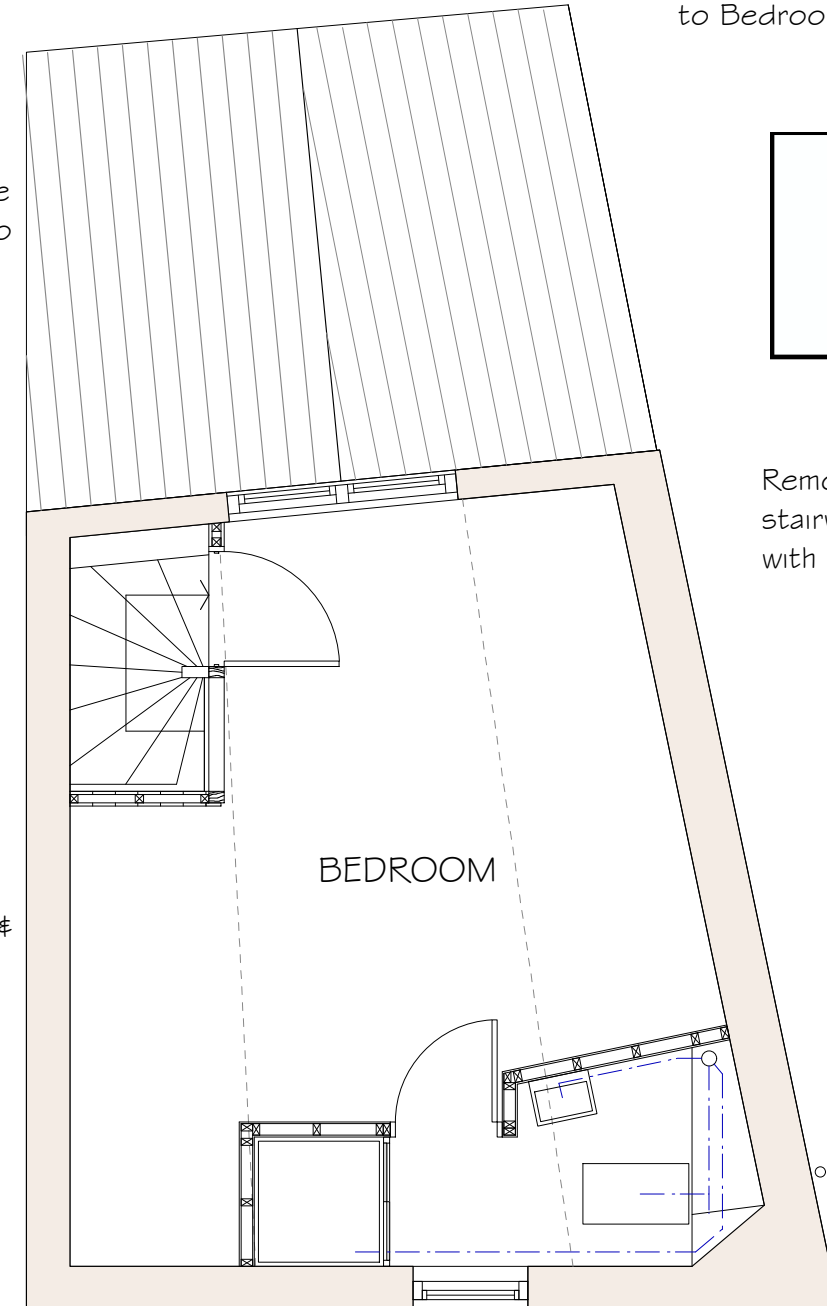
Revision A. 4.6.2018

Notes re: Overhaul & refurbish internal doors. Clarify re-fix extg slates & supplement with matching equivalent. Shower Room ptn boards to Bedroom face.

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Remove wrought iron guard rail to stairwell & construct new partition with four panel door as detail 193.16

Prepare existing boards to flank walls for repainting.

Proposed:

ALTERATIONS to
YORK HOUSE
KING STREET
ROBIN HOODS BAY

Drawing:
PROPOSED FIRST FLOOR &
SECOND FLOOR PLANS

Drawing No. 193/11a
Date: JANUARY 2018
Scale: 1/50

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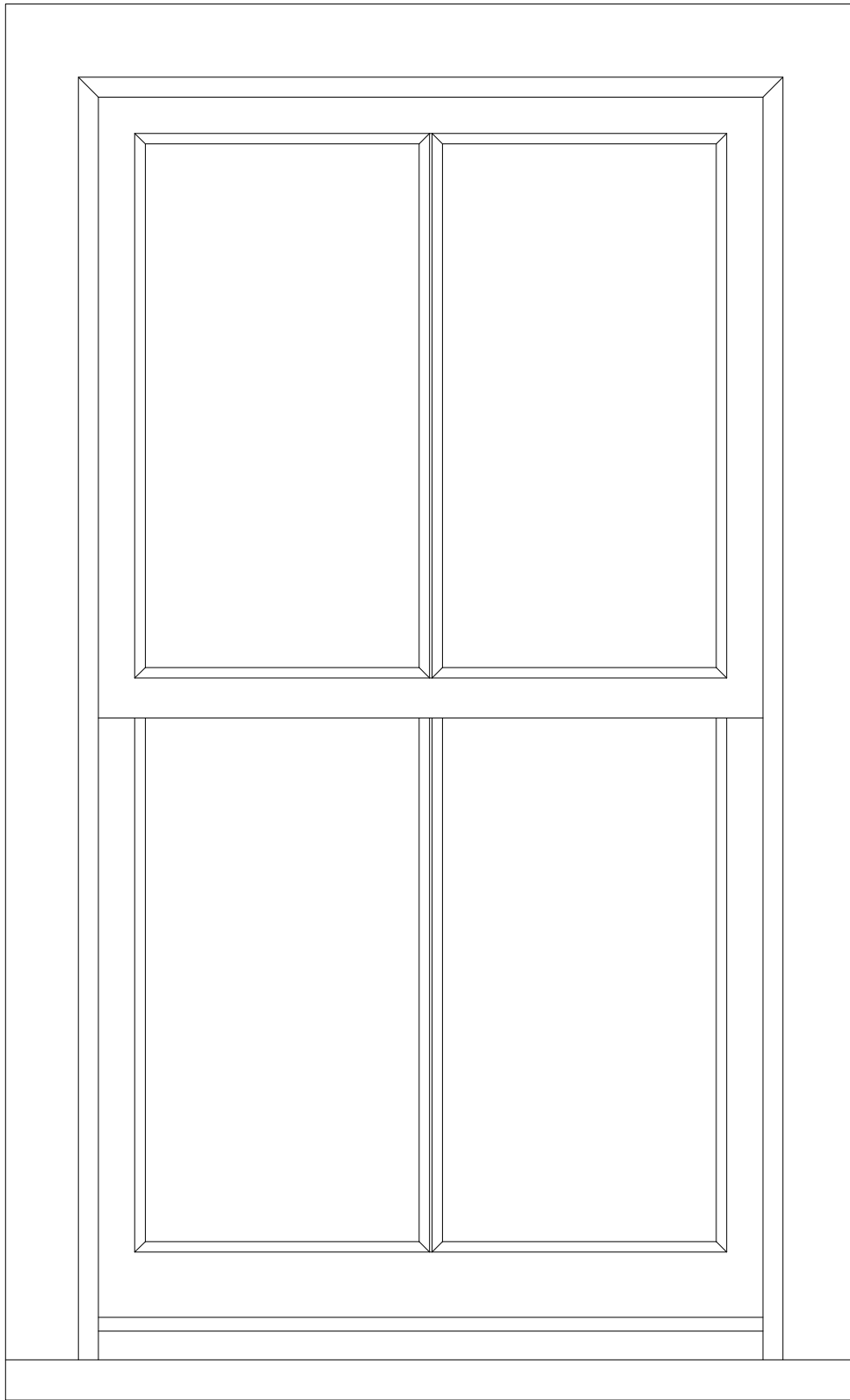


New Shower Room constructed in timber framed partition wall with moisture resistant plasterboard & plaster skim coat internally. Partition wall to Bedroom face finished with wide timber boards to match elsewhere. Wash basin,wc & shower unit (tray/screen/wall panels /mixer & spray) as client directs. Floor finish as client directs. Layout assumes that tray is on riser kit & waste in duct to s/vp & drop to connection in boiler cupboard below.

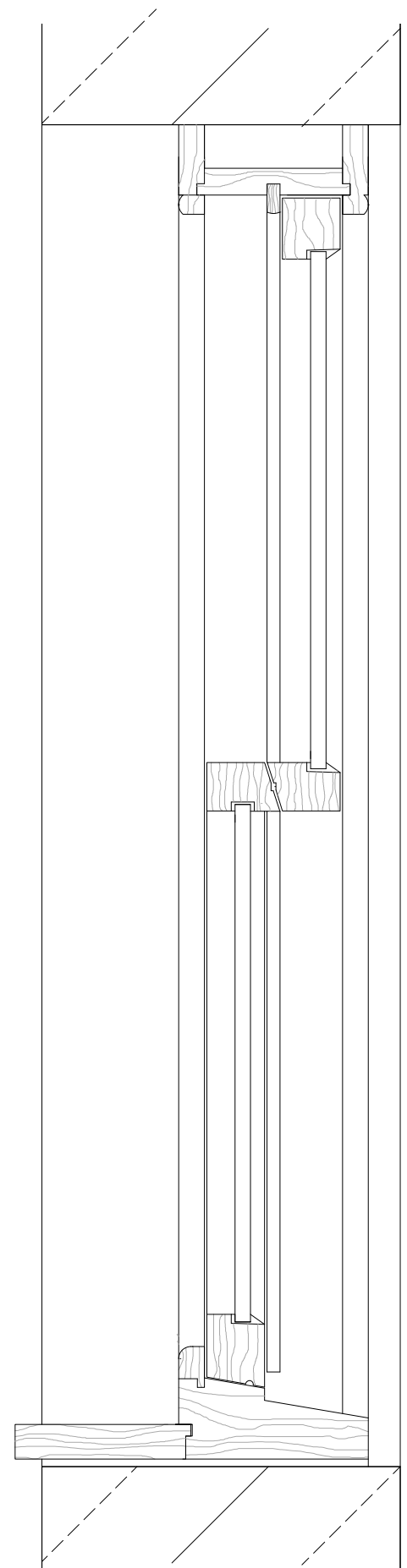
S E C O N D F L O O R

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Revision A. 4.6.2018
 Altered to lead weight balanced.
 Frame & box sections/details altered.

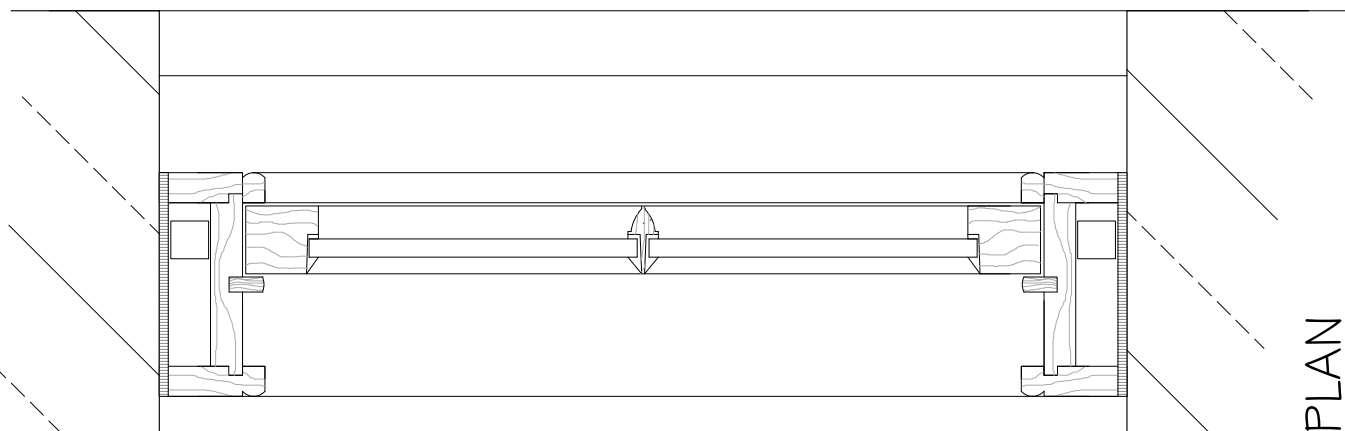


EXTERNAL ELEVATION



SECTION

INSIDE



PLAN

OUTSIDE

Proposed:

ALTERATIONS to
 YORK HOUSE
 KING STREET
 ROBIN HOODS BAY

Drawing:
 PROPOSED
 KITCHEN WINDOW FRAME

Drawing No. 193/14a
 Date: FEBRUARY 2018
 Scale: 1/10

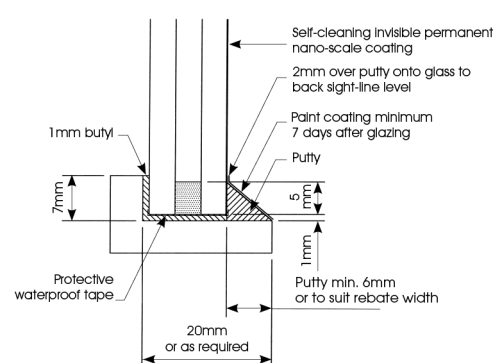
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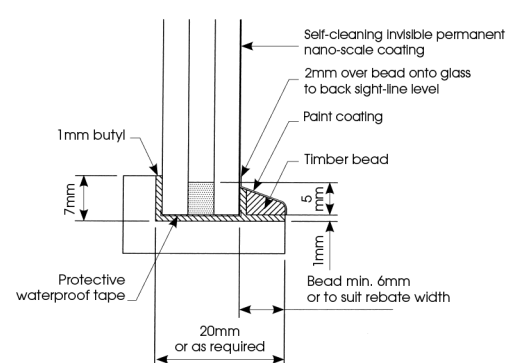
CONSTRUCTION:

Vertical sliding sash window frame to be constructed in accoya for white paint finish. Timber sections as traditional standard sections and lead weight balance in sash box. (Traditional to mean as BS 644 Pt.2).
 12mm Slimlite double glazed unit. Toughened glass both panes. Inner pane Low-E. Argon filled cavity.
 Glazing as Slimlite details

slimlite glazed with putty & butyl



slimlite glazed with beads & butyl



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