

# RIDGE

PROPERTY & CONSTRUCTION CONSULTANTS

NYMNP A

17/07/2018

## DESIGN & ACCESS STATEMENT

FYLING HALL SCHOOL, ROBIN HOODS BAY, NORTH  
YORKSHIRE

DATE: 16 JULY 2018

### Prepared for

**Fyling Hall School**  
c/o Quadra Claims Services  
86 Deansgate  
Manchester  
M3 2ER

### Prepared by

**Ridge and Partners LLP**  
Jupiter Court  
1A Dominus Way  
Meridian Business Park  
Leicester  
LE19 1RP



## STATEMENT

### 1. PURPOSE

The proposed development involves works to a wall within the vicinity a Listed Building. The wall is adjacent to an outbuilding within the school complex which has suffered damage due to water pressure during the heavy rains earlier this year.

The Listed Building is known as Fyling Hall School, set in grounds near Robin Hoods Bay in North Yorkshire. The wall to be rebuilt is set within a courtyard close to the main building. The main aspect to this scheme is to rebuild the asset, to fully match the appearance and scale of the original structure.

The existing stone wall will be taken down and good quality stone retained for rebuilding. This also applies to the flag stone topping and metal railings.

### 2. USE

Fyling Hall School is an independent co-educational establishment. The main building is Fyling Hall with it's immediate outbuildings and further more modern buildings have been constructed within the overall complex. The whole site reflects the presence of the historic past of the main building.

The wall that is to be rebuilt following on from storm water damage is located in the courtyard adjacent to a single storey outbuilding. The wall supports a path leading to the outbuilding and extends to the whole length of the building to one side of the courtyard.

### 3. PROPOSED DESIGN

The wall is to be rebuilt to match the original design. Stone 'flags' forming the surface of the walkway will be taken up and retained on site for eventual relaying to the same location. Existing stones from the wall are to be reused and any additional quantity will be made up using matching stone from a local quarry.

Due to the water pressure encountered, the back of the new stonework will be reinforced with a concrete block backing wall tied into the stone face. To further reduce the potential water pressure a 'French drain' will be positioned along the rear of the blockwork and run into the drainage system.

To complete the matching rebuild, the metal railings taken down at the start of the works will be reinstated with their bases set in the flag stones as previously constructed.

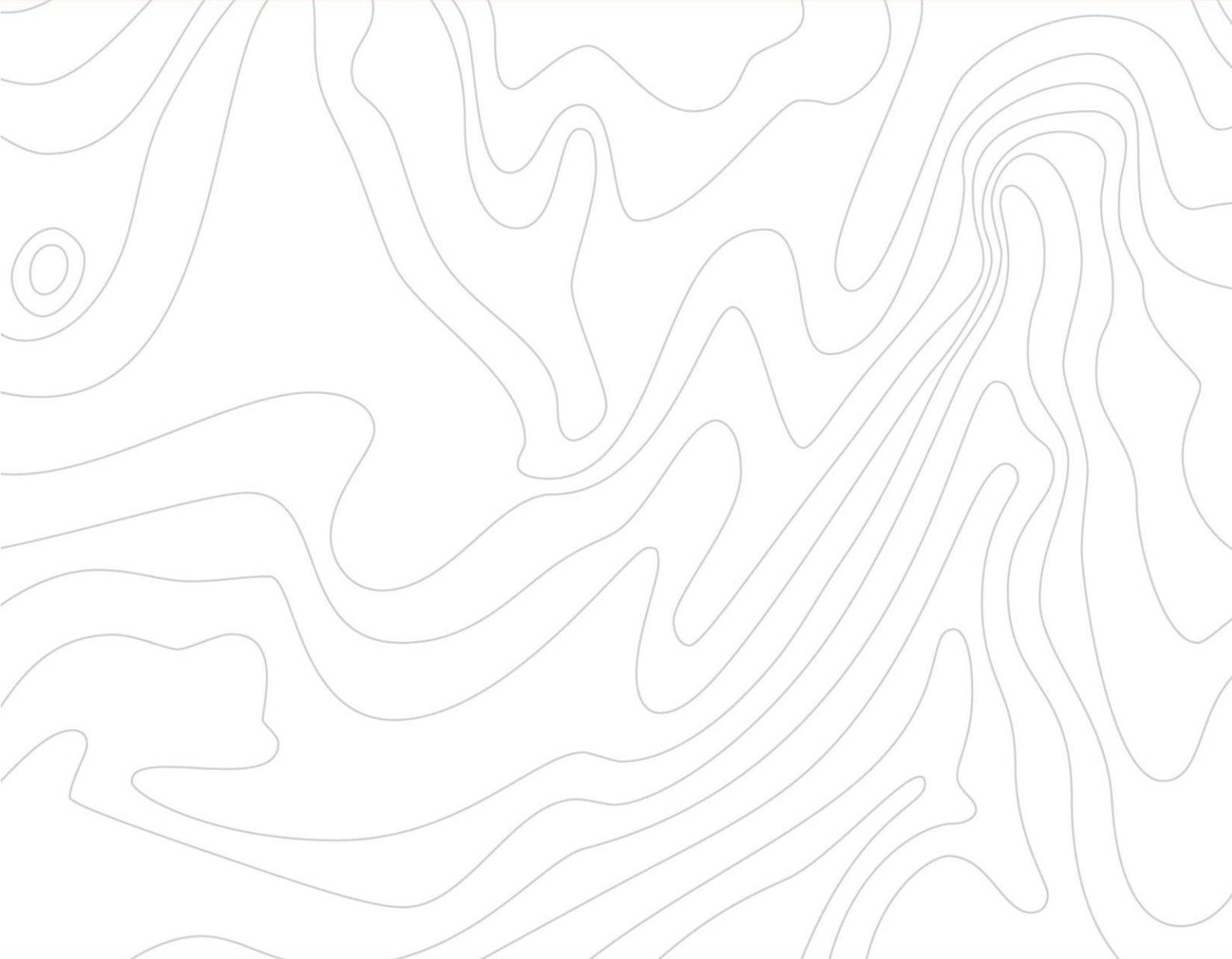
The entire project is based on enhancing the architectural features of the original building. Natural stone will form the facing of the rebuilt wall with the original flag stone paving on top. Metal railings providing a barrier to pedestrians falling from the higher level, will be reused along the entire length of the walkway.

There will be an additional benefit from the rebuilding work, in that the lower rendered area of the existing wall will not be reproduced. This creates a project that not only adds support to the wall but aesthetically returns the wall to it's original design.

#### **4. SITE ACCESS**

As the stone wall is contained within a courtyard, access is limited. There are however established entrances to the courtyard, both pedestrian and vehicular. The pedestrian access is from the north of the courtyard and the vehicular access to the south. A public road gives access to the school complex as well as to other properties to the south-east of the school site.

The contractor engaged for this project will be providing details on site deliveries, materials storage, welfare facilities and other essential uses of the courtyard area.



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# RIDGE

PROPERTY & CONSTRUCTION CONSULTANTS



**HERITAGE STATEMENT  
FYLING HALL SCHOOL, ROBIN HOODS BAY,  
NORTH YORKSHIRE.**

NYMNPA

17/07/2018

16<sup>th</sup> July 2018

**Prepared for**

**Fyling Hall School**  
Robin Hoods Bay  
Whitby  
North Yorkshire YO22 4QD

**Prepared by**

**Ridge and Partners LLP**  
Jupiter Court  
1A Dominus Way  
Meridian Business Park  
Leicester  
LE19 1RP

## 1. GENERAL DETAILS

Ridge and Partners LLP have been engaged by Insurers to undertake project management of the rebuilding of a section of courtyard wall within the Fyling Hall School complex. The wall, which supports a walk-way, has been affected by wet weather conditions at the beginning 2018 and is to be repaired on a 'like for like' basis. Peter Pickering (Senior Building Surveyor MRICS), carried out an initial inspection in April 2018 and recommended that the length of wall affected by water pressure causing movement within the stonework, should be rebuilt. Recently, further reports have indicated the wall is deteriorating and during the school holiday period the wall is to be rebuilt.

The wall is composed of natural stonework and located alongside a building, within a courtyard surrounded by school buildings and within the overall Fyling Hall School campus. The main building, Fyling Hall, has a 'Listed Building' status at Grade II. The proposed works, are within the curtilage and therefore require a formal application to be made to the North York Moors National Park Authority who have been approached regarding the proposed works. This document will form part of the submission for Listed Building consent to carry out the building works necessary to reinstate the courtyard walkway support wall.

Access to the site is from the main entrance roadway into the school site. The courtyard can be entered at both ends via a pedestrian gateway at one end and a wider vehicular access at the other. The buildings surrounding the courtyard are on different levels reflecting the gradient in the site. Steps are located at each end of the walkway to provide access to it and entrance to the buildings.

## 2. STATEMENT

The following is a description of the various aspects of this project:

### 2.1 Site Address

The site is located at Fyling Hall School, Robin Hoods Bay, Whitby, North Yorkshire. The subject of the 'Listed Building' application is a section of stone wall within a courtyard adjacent to a range of buildings. This is within the overall college complex adjacent to the main school building.

The wall extends to an approximate length of 30m and runs alongside the length of the courtyard. The height varies but is on average 1.3m high. In order to stabilise and maintain continuity of the wall, the stonework will be taken down to yard level and rebuilt off the existing lower wall and its foundation.

### 2.2 Significance of the asset

Fyling Hall is Listed as a Grade II building. It was built in 1810 as a high quality residence. It is now an independent co-educational establishment for both day and boarding students. The Hall is set in about 4.5 acres. The subject of this application is a stone wall within the courtyard near to the main building.

The stone wall forms part of the original complex and raises the access level in the courtyard giving a suitable platform to enter the adjacent buildings. (see photograph 1 in the Appendix) It is built in natural random stonework with a lime-based mortar and has a rendered section at low level. The rendering appears to have been a maintenance item from a number of years ago. The top of the wall has a natural stone flag capping and there is a vertical feature which conceals a drain. The drain is encased in a pre-cast concrete cover (see photograph 6 in the Appendix)

Rebuilding the wall to the original location is essential to provide the full support to the walkway. The proposed works will not affect any of the buildings within the complex.

## 3. PROPOSED WORKS

### 3.1 Demolition of the asset

The facing stonework of the complete length of wall is to be carefully taken down. Prior to this, the stone flags forming the walk-way will be lifted and recorded for their relocation, so that they can be put back in exactly the same position. The first operation will entail the removal of the metal railings. These will be retained on site for reinstating later.

Due to the recent increased movement within the wall face, the works have become urgent and therefore organised to coincide with the school holiday period. The school broke up on the 7<sup>th</sup> July and returns on the 4<sup>th</sup> September.

### 3.2 Rebuilding the asset

The design for the rebuilding work has completely matched the existing structure. All existing good quality stone will be put back into the wall and any shortfall in quantity, will be made up of matching stone. Behind the facing, a solid concrete block wall will be built to provide additional support. There will also be a 'French drain' included at the back of the wall and connected to the existing drain in the chamber which is below the walkway.

The base of the wall will remain as it is currently constructed and the new work will be built on top of the substructure. The stone face and blockwork backing will be tied together to provide additional stability. The current rendered area will be replaced by natural stonework which would have been used originally.

When the wall is rebuilt, the area behind will have consolidated hardcore put back to form a solid base. The stone flags will then be laid on top and fully bedded in mortar. The final operation will be to put back the metal railings

### 3.3 Related work to the asset

From the main school buildings, the reconstructed wall will not be visible or in any way affect them. The walkway benefits the out-building providing a 'level' means of access. This is a more appropriate way of forming access to the buildings bearing in mind the gradient of the site

There is a drain running beneath the adjacent building which takes storm water from the roadway. The outlet is contained in the vertical pre-cast concrete cover.

The walkway has a metal railing along it's length to protect pedestrians from falling over the edge. The railing is to be removed and re-fitted to match the existing.

## 4. MITIGATION

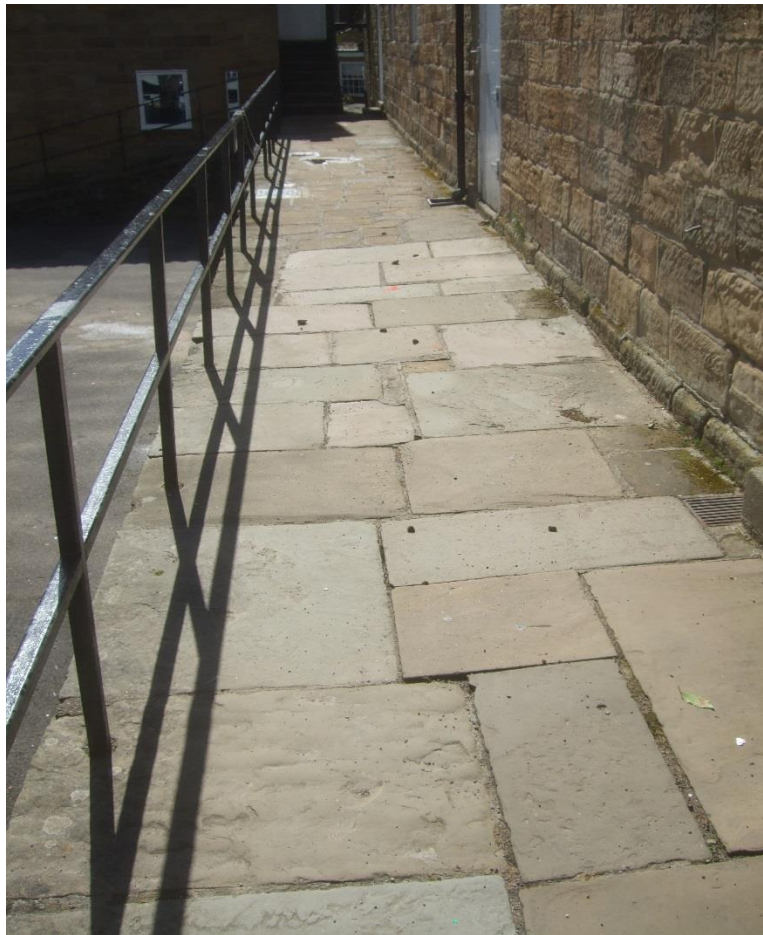
The essence of the reinstatement is to reuse all undamaged materials from the original construction. Where quantities are insufficient, matching materials will be obtained in colour, shape and size. The overall intention



of rebuilding is to undertake a scheme on a 'like for like' basis in recreating the walkway wall. The entire construction is designed to ensure the wall will once again visually respect the whole complex.

The new structure will however, have the benefit of an increased ability to withstand greater pressure and the likelihood that a situation of damage due to water force will not result in a future failure that has occurred this year.

## 5. APPENDIX - PHOTOGRAPHS



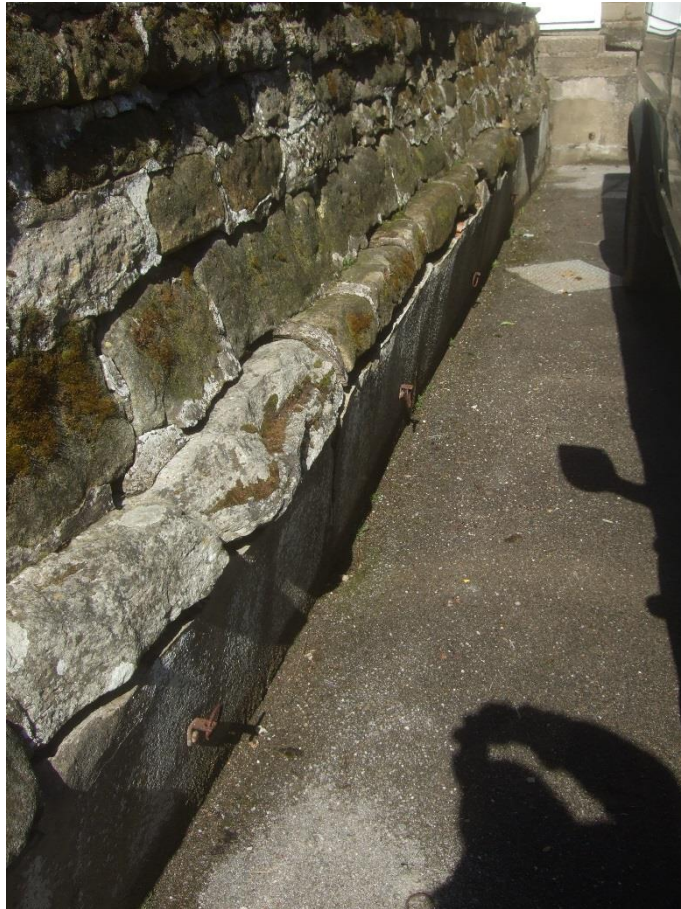
Photograph 1 – the raised walk-way with stone flag top and side railing



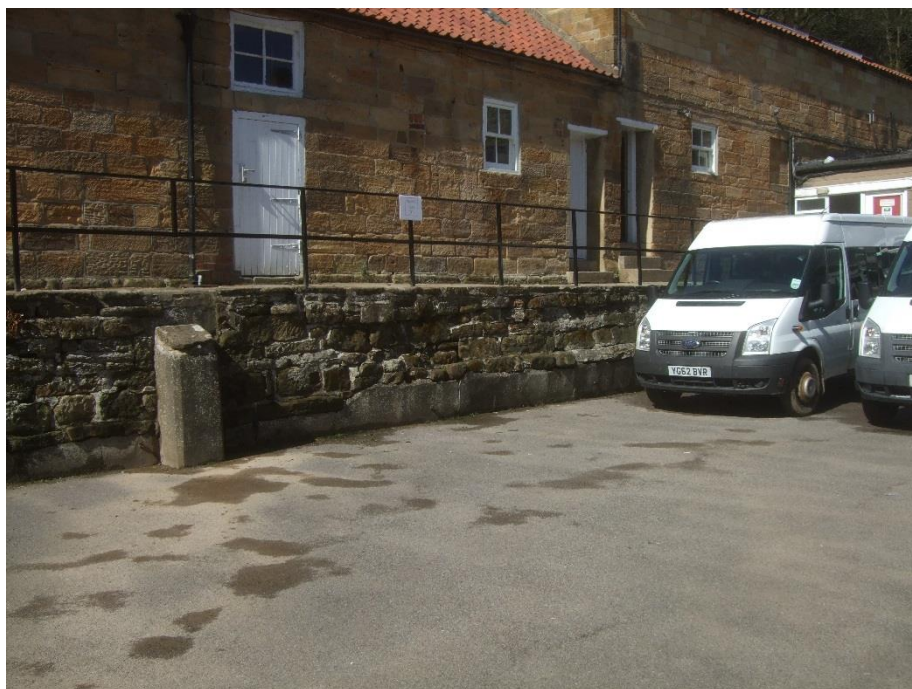
Photograph 2 – lower wall built in natural stone



Photograph 3 – outward movement at the base of the wall(recently increased)



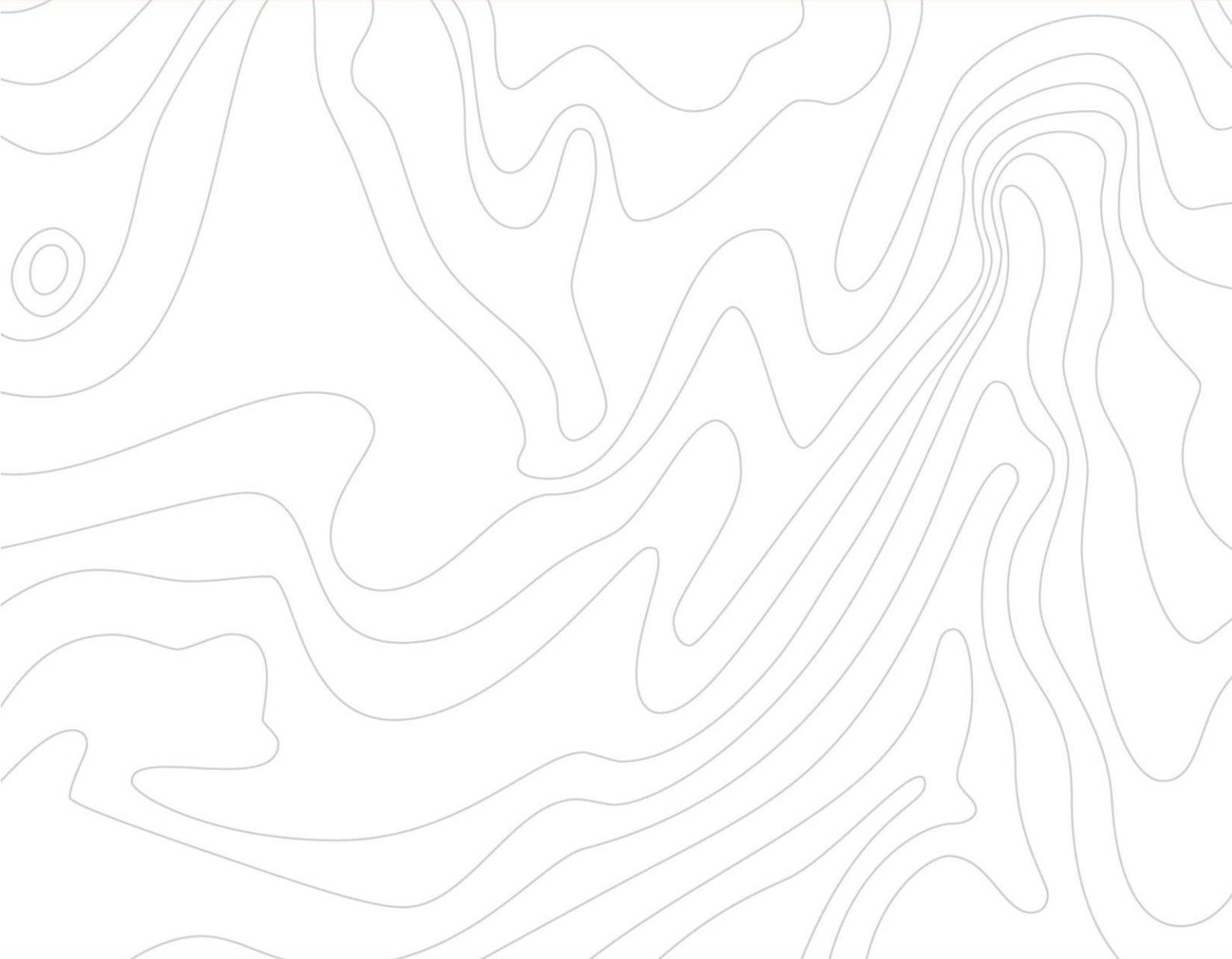
Photograph 4 – ‘creasing’ course with lower rendered section



Photograph 5 – general view of the stone wall and railings



Photograph 6 - cover to vertical drain run(drain runs below the building)



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Project Title : Rebuilding the courtyard wall at Fyling Hall School.  
Project Number: 5006262

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## GENERAL NOTES.

The following pricing document is a request for a tender to carry out the full rebuilding of a stone wall in the courtyard adjacent to the main building. The tender includes the following:-

1. Demolition of the current stone facing to a raised walkway along one side of the courtyard.
2. Rebuilding the wall to match it's former layout and appearance.

Please note that the new rebuilding is to match the original walling in appearance. Fyling Hall is a Listed Building, Grade II and consequently any work is required to match the aesthetic value of the original structure.

The preliminary items in this schedule are for general information and cover all parts of the full rebuilding work.

An R&D survey is not required for this project.

The contract administrator for the works will be Peter Pickering of Ridge and Partners LLP..  
Contact details are  
Address is as follows:-

Ridge and Partners LLP  
Jupiter Court  
1a Dominus Way  
Meridian Business Park  
Leicester  
LE19 1RP

NYMNPA

17/07/2018

The Client will be:  
Fyling Hall School Trust Limited  
c/o Quadra Claims Services Ltd  
86 Deansgate  
Manchester  
M3 2ER  
Contact: Janet Pritchard

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## **1.0 GENERAL PRELIMINARIES**

### **1.1 PROGRAMME/PHASING**

1.1.1 Work will be carried out on Mondays to Fridays between 7.30am to 6.00pm inclusive.

1.1.2 Weekend working and out of hours working, unless otherwise stated in the schedule of works, will only be permitted upon prior request and subject to approval by the Contract Administrator. The approval to any works outside of the normal hours is to be in full agreement with the School Authorities. Any associated costs relating to out of hours working including attendance by sub-contractors must be paid by the contractor and priced for accordingly.

1.1.3 It is anticipated that work will commence in July 2018 subject to agreement with the School Authorities.

1.1.4 The schedule of work must be fully priced as set out, and a full and final cost stated on the submitted 'Form of Tender'.

### **1.2 HEALTH & SAFETY**

1.2.1 Health and Safety (to be read in addition to the preliminaries, pre-construction health & safety plan and designers risk assessments).

1.2.2 Allow to provide a full time appointed appropriately trained person on site to be the nominated health and safety supervisor and to act as banks-man during all times of demolition, temporary propping of the structures, working on live services, movement of vehicles, plant and machinery, etc as applicable. Also monitor and ensure the safe use of fixed and hand held cutting, abrasive and drilling equipment, where applicable.

1.2.3 Allow to assess and collate a full COSHH (Control of Substances Hazardous to Health) risk report including the issue of warning notices on site as required, prior to commencement of works.

1.2.4 The Main Contractor is to be responsible for the provision as necessary of all tested, certified and approved protective clothing, equipment and safety instruction to all trades people and site visitors at any time.

### **1.3 VERIFICATION OF DETAILS**

1.3.1 The Contractor at the time of tendering shall have examined fully the specification and any proposed plans and shall bring any discrepancies/or duplication to the attention of the Contract Administrator during the tender period, otherwise it shall be accepted that all items in the Specification have been included in

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the tender price.

1.3.2 The contractor is to include for all works shown on any drawing with reference to this project and include them in the returned tender price, even if they are not directly referenced in the following clauses.

1.3.3 The Contractor shall also acquaint himself with the site and space for any site storage/compound area and the limited availability for vehicle parking, on site. A dedicated area will be allocated for contractors use.

1.3.4 The access roads are to be kept clear at all times. Access must be maintained for visitors/deliveries and refuse collection.

## 1.4 SITE VISIT

1.4.1 Before tendering, the Contractor shall ascertain the nature of the site, access thereto and all local conditions and restrictions likely to affect the execution of the works.

1.4.2 Access during the tender stage is via the Bursar, Jane Brine. Telephone number: 01947 880353. Access to site without prior notification will not be permitted.

## 1.5 PHOTOGRAPHIC SCHEDULE OF CONDITION

1.5.1 The Contractor is to take a series of photos before the works commence to indicate the original condition before commencement.

## 1.6 SKIP AND STORAGE

1.6.1 The Contractor can allow for the placement of skips and a storage container on the site, for the duration of the works and remove from site no later than the last day of the Contract, as deemed necessary. These items must be located within the designated site area. The proposals for the skip and storage layout will be agreed with the contractor at a pre-start meeting.

1.6.2 The skips provided **MUST** be a covered/lockable type. The skip and storage container must be placed on boards to protect the existing surface.

1.6.3 Heras fencing or similar approved hoarding (approx. height 2.4 metres) is to be provided around the perimeter of the skip and container, as appropriate, with all mandatory warning and H&S signage to both the public and site operatives and trades people.

1.6.4 No materials are to be stacked on site or left in the public areas impeding any fire escape route for the duration of the works.



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- 1.6.6 The on-site WC facilities will not be available for use by site operatives. It is therefore necessary to allow for a temporary welfare facility with WC.
- 1.6.7 The temporary site accommodation is to provide eating/rest room facilities for the site operatives with washing / water drinking facilities / drying facilities. No on-site areas are available for this purpose.
- 1.6.8 Removal of site debris and deliveries of materials must be undertaken so that they do not clash with refuse collection or deliveries. Such information to be advised by the Client upon the award of the contract.
- 1.6.9 As a minimum, the Contractor must allow to undertake the following as detailed below, and confirm the details of the site manager, to be in attendance on site every day from commencement to completion.
- Liaise with the delegated representative of the client to agree any delivery times for the day.
  - Update the CA regarding any changes to the agreed programme.
  - Restrict any deliveries to or movement of site vehicles during site events.
  - Ensure that all deliveries to and from the site are adequately supervised and carried out.
  - Ensure that the works are left in a safe, weather tight and secure manner at the end of each working day.
  - Ensure that all activities are carried out in a safe and workmanlike manner.
  - **Supply a Risk Assessment and Method Statement for the proposed works.**
- 1.7 SITE RULES**
- 1.7.1 No smoking permitted on site unless in a designated area. Breach of this rule will result in immediate removal from site.
- 1.7.2 All Contractors operatives are required to wear appropriate PPE at all times.
- 1.7.3 Any access limitations to the site will be confirmed during the Pre-start meeting.
- 1.8 SITE ACCESS ROUTE**
- 1.8.1 Vehicular access on to the site will be via the main entrance road and a designated route from this to the courtyard will be confirmed at the pre-start meeting.
- 1.8.2 All emergency escape routes are to be maintained and kept clear

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- 1.8.3 at all times.  
Any damage caused by vehicles to the surface or kerbs, identified at the works completion and not recorded as damaged in the photographic schedule of condition, will be made good by the contractor at no additional cost to the client.

## **1.9 SITE MANAGER RESPONSIBILITIES**

- 1.9.1 Any Contractors trying to access the site via any other entrance, except via the designated route MUST be challenged and redirected.

## **1.10 ASBESTOS**

- 1.10.1 A demolition and refurbishment asbestos survey is not required.
- 1.10.2 The Contractor will be responsible for notifying all relevant site operatives, the client, authorities and the CA should asbestos be found during the course of the works.

## **1.11 DRAIN SURVEY**

- 1.11.1 Prior to the commencement of the demolition works, the Contractor is to organize a drain survey of all the localized areas and provide a camera survey report. The report is to be sent to the CA for consideration. There are drains in the vicinity of the works and the survey is to establish their precise location and condition.

## **2.0 THE WORKS**

### **2.1 Demolition of wall**

- 2.1.1 Carefully loosen the railing supports where connected to the stone flags and take them off. Retain on site for later re-fitting.
- 2.1.2 Carefully take up the flag stones along the walkway providing identification to each stone for relaying in their original position later. Dig trial holes in 3 locations against the adjoining building, up to 1.2m deep, in order to establish the depth of the foundations. Submit details to the CA for further instructions.
- 2.1.3 Fully assess and disconnect all services connected to the building if found within the working zone. Where services are live, cap off at an appropriate point and make safe.
- 2.1.4 Take down the existing vertical cover stonework section in which it is assumed there is a drain pipe. Set aside for refitting once the wall has been rebuilt. Take off the two inset metal inspection chamber covers and gully grids to the downpipes and retain on site for refitting.

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- 2.1.5 Take down the entire length of stone walling to the walkway and inspect and retain all stone sections that are without any defect such as splitting or serious weathering. Stack neatly within the courtyard and adjacent to the location of the wall, but allow sufficient space for excavating the backfill. Only remove sufficient backfill to facilitate the rebuilding of the wall by raking back all loose material. Allow to remove all surplus spoil.
- 2.1.6 Expose the wall foundation and report the findings to the CA. Subject to the exposure, it is to be assumed for the purpose of this tender that the foundations will be replaced and the Contractor is to price for excavating and laying a new concrete strip footing 200mm deep and 450mm wide to the complete wall length.
- 2.1.7 Rebuild the walkway wall to its original height (approx. 1.3m) with a dense concrete block inner skin tied to the reclaimed stonework facing. Fit stainless steel ties in every block course at 600mm centres horizontally. Ties to be Ancon double triangle ties 300mm long.
- 2.1.8 Mortar for the rebuilding of the stonework is to consist of HLM5 class 1 lime mortar mix in the ratio of 1:4.5, lime to sand as supplied by Limetec or similar approved specialist producer. Ensure a constant mix and recess the joints at the exposed face. Use a cement based mortar for the blockwork in 1:4 mix, OPC to sand.
- 2.1.9 Prior to backfilling behind the rebuilt wall, install a perforated land drain fully surrounded in pea gravel. Use a plastic drain 100mm in diameter with a 100mm full bedding of gravel. Connect the drain to the storm system located within the walkway.
- 2.1.10 Backfill behind the block skin with suitable excavated material and make up the quantity with crushed stone hardcore before finally blinding with sand after consolidation.
- 2.1.11 Relay the stone flags along the side of the building at the original level. Include a lean mix mortar bed and mortar pointing between the flag joints. Re-set the inspection chamber covers and drain grids in their previous locations. Finally, erect the railings in their previous locations and secure into flank walls and the flags as originally fitted.
- 2.1.12 Provisional sums:
- a) Include a provisional sum of £5000-00p for additional stone to face the wall and any flag stones that are

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damaged during their removal

- b) Allow a provisional sum of £1000-00p for repairs to the metal railings
- c) Include a contingency sum of £2500-00p for unforeseen work to be notified to the CA for approval prior to any work being carried out.

Total to Tender

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