

North York Moors National Park Authority

District/Borough: Scarborough Borough Council
(South)
Parish: Staintondale

Application No. NYM/2018/0271/CU

Proposal: change of use of husky trekking centre to dog boarding kennels

**Location: Meeting House Farm
Staintondale**

Decision Date: 25 July 2018

Extended to:

Consultations

Parish – No objections

Highways – No objections. The site has an existing wide, constructed access to the highway. Due to the undulating nature of the highway there are blind dips to either side of the existing access, which would briefly obscure a vehicle, restricting the northern visibility to 90 metres. This is less than the 160 metres required. This is an established access, there are no recorded personal injury collisions along this road, and the likely number of vehicle movements will not significantly change.

Environmental Health Officer – No comments

Site Notice Expiry Date – 27 June 2018

Director of Planning's Recommendation

Approval subject to the following condition(s):

1.	TIME01	The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.
2.	PLAN02	The development hereby approved shall be only carried out in strict accordance with the detailed specifications and plans comprised in the application hereby approved or in accordance with any minor variation thereof that may be approved by the Local Planning Authority.
3.	GACS00	Unless otherwise agreed in writing by the Local Planning Authority, no more than 15 dogs shall be boarded on the site at any one time.
4.	GACS07	No external lighting shall be installed in the development hereby permitted until details of lighting have been submitted to and approved in writing by the Local Planning Authority. The lighting shall be installed in accordance with the details so approved and shall be maintained in that condition in perpetuity.

Signature:



Date:

25/7/18

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Reason for Condition(s)

1.	TIME01	To ensure compliance with Sections 91 to 94 of the Town and Country Planning Act 1990 as amended.
2.	PLAN01	For the avoidance of doubt and to ensure that the details of the development comply with the provisions of NYM Core Policy A and NYM Development Policy 3, which seek to conserve and enhance the special qualities of the NYM National Park.
3&4	GACS01	In order to comply with the provisions of NYM Core Policy A which seeks to ensure that new development does not detract from the quality of life of local residents.

Background

Meeting House Farm is located some 500 metres north of the scattered group of properties that makes up Staintondale village and lies some 200 metres east of the Cloughton to Ravenscar minor coast road.

Planning permission was granted a number of years ago to convert a range of detached outbuildings into holiday accommodation. This permission has been implemented. Permission was also granted in 1995 for change of use and alteration to create a modest two bedroom residential annexe. In 2007, planning permission to create a Siberian husky trekking experience, open to the public, with a condition attached which restricted the number of dogs kept in connection with the enterprise to 12. Planning permission was subsequently granted in 2013 to increase the number of huskies allowed to be kept to 30, following the installation of sound insulation.

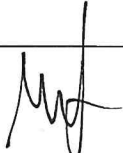
The husky trekking business has now ceased and this application seeks consent to change the use to boarding kennels.

It is proposed to reduce the number of dogs to 12, with all exercise areas within the farmstead and housed in the existing kennels.

Main issues

Core Policy A of the Local Development Framework seeks to ensure that new development conserves and enhances the Park's special qualities, with priority being given to ensuring development does not detract from the quality of life of local residents and supports the character of a settlement.

Core Policy H of the Local Development Plan seeks to strengthen and support the rural economy by providing local communities with a range of opportunities for entrepreneurship, education and training in various ways, including allowing new employment development in Whitby Business Park, service villages and local service villages.

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Development Policy 1 seeks to ensure that the special qualities of the National Park are conserved and enhanced, and consequently seeks to only permit development where, amongst other criteria, it will not have an unacceptable impact on surface and ground water, soil, air quality and agricultural land; where it will not generate unacceptable levels of noise, vibration, activity or light pollution; and stability can be achieved without causing unacceptable environmental or landscape impact. It goes on to state that the Park has many areas of cliffs and steep slopes, which may be affected by landslip, and consequently, ground stability may be a material consideration in determining a planning application, and it should be demonstrated that the land is stable or that any instability can be overcome.

Development Policy 13 seeks to support proposals for the diversification of existing agricultural businesses where the scheme will make use of existing buildings and the proposed scheme is compatible with the existing farm activity and is of a scale and nature which will not harm the character and appearance of the locality, and where the existing access arrangements are appropriate for the proposed use.

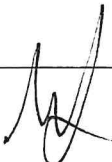
This is an established business and the change in the type and number of dogs and the reason, ie from Huskie Trekking to kennels is unlikely to result in a detrimental impact on the amenities of the area. However, it is considered that individual dogs being boarded could give rise to more barking than a group of dogs who are together all the time (ie with the huskie trekking business) so it is considered appropriate to condition a reduced number of dogs.

In view of the above considerations, approval is recommended.

Explanation of how the Authority has Worked Positively with the Applicant/Agent

Approval (No Amendments Required)

The Authority's Officers have appraised the scheme against the Development Plan and other material considerations and confirmed to the applicant/agent that the development is likely to improve the economic, social and environmental conditions of the area.

Signature:		Date:	25/7/18
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