

From: [Helen Webster](#)
To: [Planning](#)
Subject: FW: NYM/2018/0201/FL and NYM/2018/0204/LB
Date: 30 July 2018 10:40:14
Attachments: [2327.dwg 3 revA plan prop.pdf](#)
[2327.dwg 4 revA elevs prop.pdf](#)
[2327.dwg 5 revA site layout block plan.pdf](#)

From: Tony Turner
Sent: 27 July 2018 12:08
To: Helen Webster
Cc: Ruth Grayson
Subject: RE: NYM/2018/0201/FL and NYM/2018/0204/LB

Helen,

Please find attached amended drawings 2327:3A, 2327:4A and 2327:5A to supersede the submitted drawings. Amendments are:

1. alterations to the annex south elevation;
2. changes to the window design to include timber boarded lower panels;
3. confirmation that existing cast iron rainwater goods will be retained as far as possible (subject to condition);
4. confirmation the the mezzanine level above the bedroom will be retained;
5. confirmation that the pig troughs will be retained;
6. confirmation that the twin trod access road will be retained;
7. reduction in the area of gravelled car parking.

I can also confirm that the Applicant will work with your Area Ranger in respect of maintaining the public footpath across the site during the construction period. Issues relating to the changes in the route of the footpath cannot be fully resolved through this application because, as you are aware, the defined route crosses land outside the Applicants' ownership and control. However, the Applicant acknowledges the footpath exists and is in use and will ensure that it is maintained at all times during construction and beyond so far as it crosses land within their control.

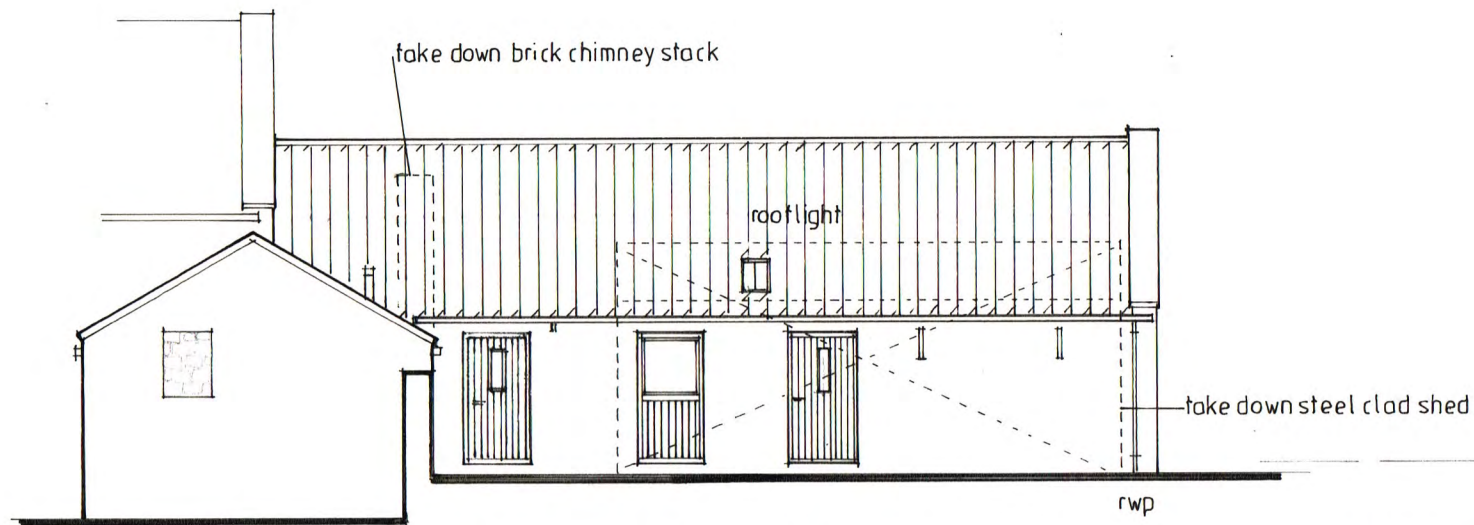
I trust these amendments meet with your approval. We can discuss further if necessary.

Regards,

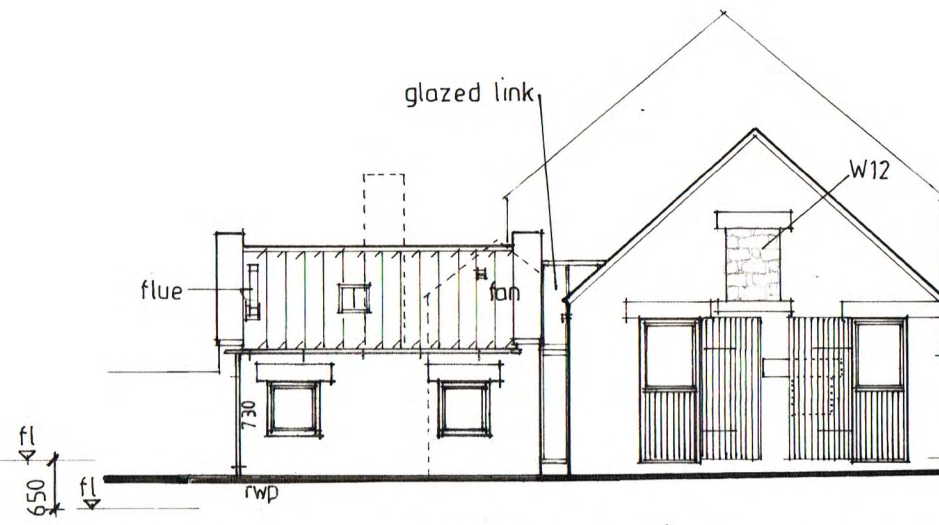
Tony

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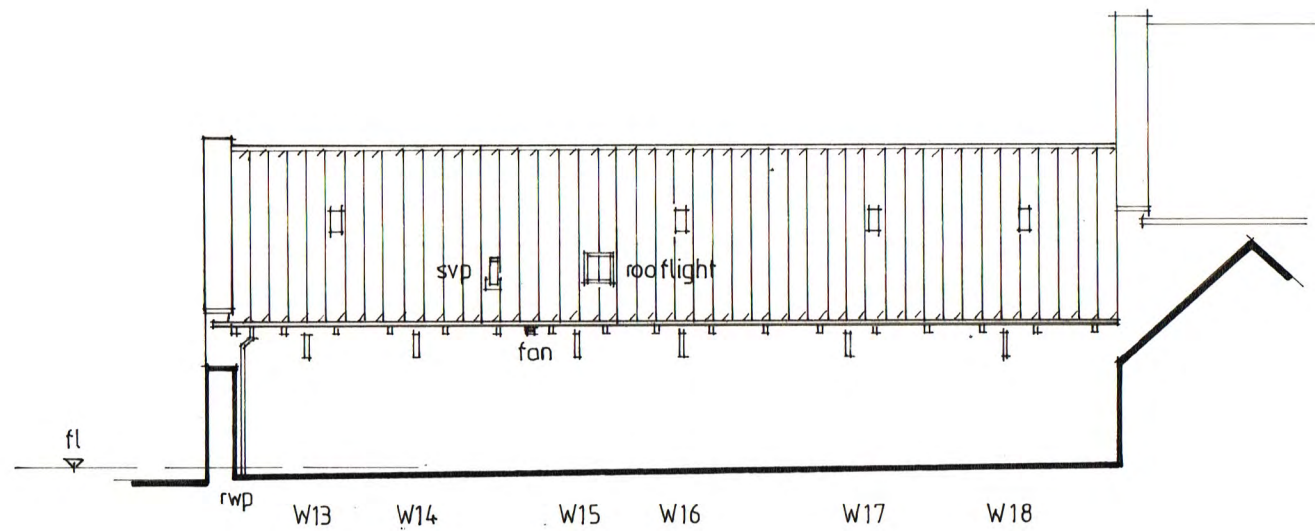
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West Elevation

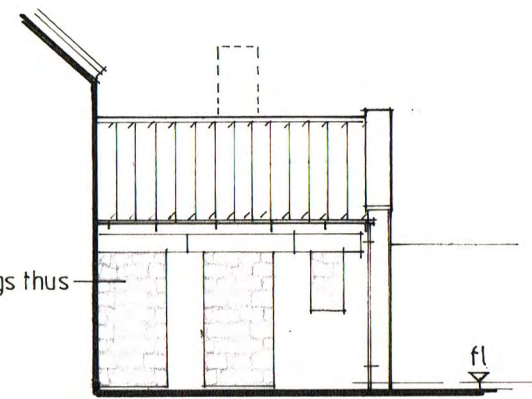


South Elevation



East Elevation

wall up existing openings thus in matching stonework



North Elevation

Read this drawing in conjunction with drawing 2327:3

External Materials
New external materials shall match existing materials in type, size, colour and texture and shall be to the specific approval of NYMNP and any condition of planning permission that may apply.

Roof Covering
Recover the existing roof in red, clay pantiles re-using as many existing reclaimed tiles as possible. Incorporate the existing glass pantiles. Ridge tiles in red clay bed and pointed on lime mortar.

Rooflights
Where indicated by The Rooflight Company in conservation pattern type Neo S2 with viewable area of 539x379mm.

Guttering and fallpipes
All guttering in half round cast iron onto stone corbels on the main building and onto steel rise and fall brackets on the secondary building. All fallpipes in 63mm diam. cast iron. Re-use the existing guttering and fallpipes as far as possible if in salvageable condition after removal. New fittings to match existing in pattern.

Walls
Repair all existing stonework on a like for like basis. Rake out and repoint the whole using a lime mortar mix. Walling up in coursed, local stone with bed and pointing in lime mortar. In walled up openings set the face of the wall into the reveals by 70mm. Repair works shall be carried out in matching and aligning stonework.

Windows and Doors
Replace all existing frames and doors. All new windows and doors in dark stained timber finish with frames set 70mm into reveals fitted with double glazed units and boarded lower panels where shown. Glazing to the slits shall be frameless fixed directly to the stonework.

revision	description	date
A	Door ED3 omitted windows W3 and W4 changed notes updated	07.18

The contractor shall check all dimensions on site and report discrepancies before work commences. No dimension shall be scaled off this drawing. ©Copyright of this drawing is retained by A L Turner

client	Mr & Mrs Grayson
project	Proposed Conversion of Redundant Storage Building at The Forge, Egton, YO21 1TZ
title	Elevations as Proposed

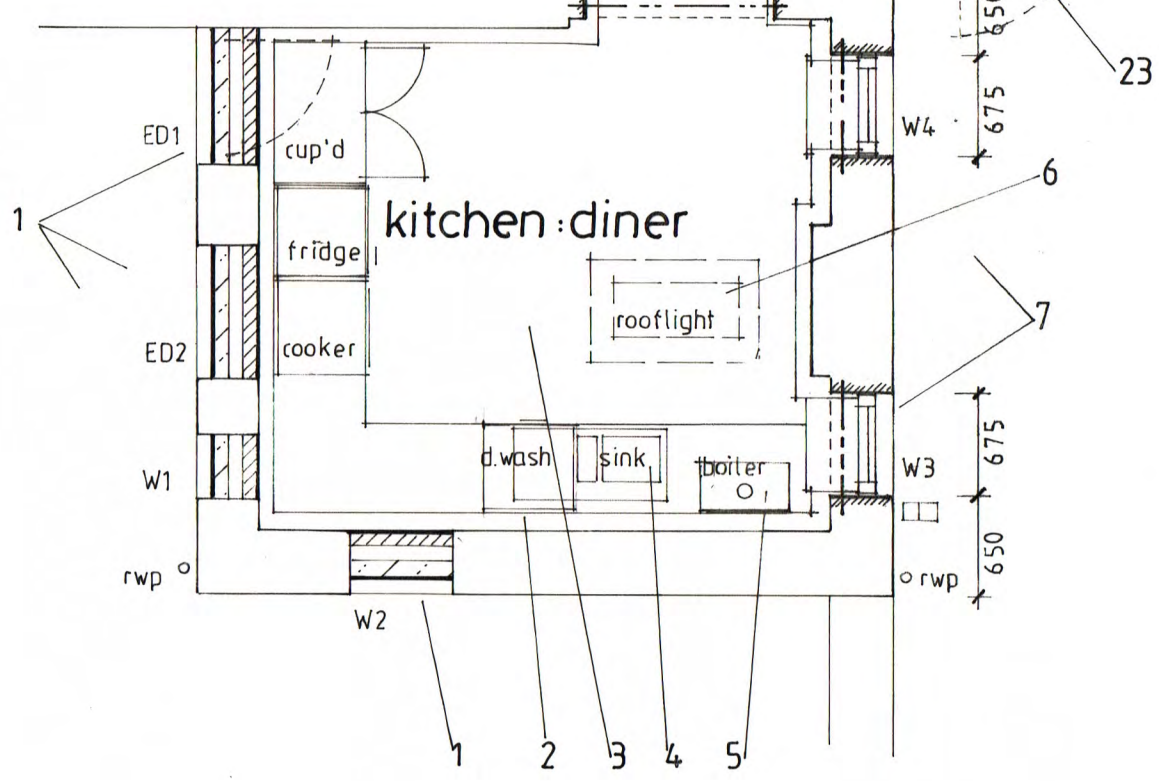
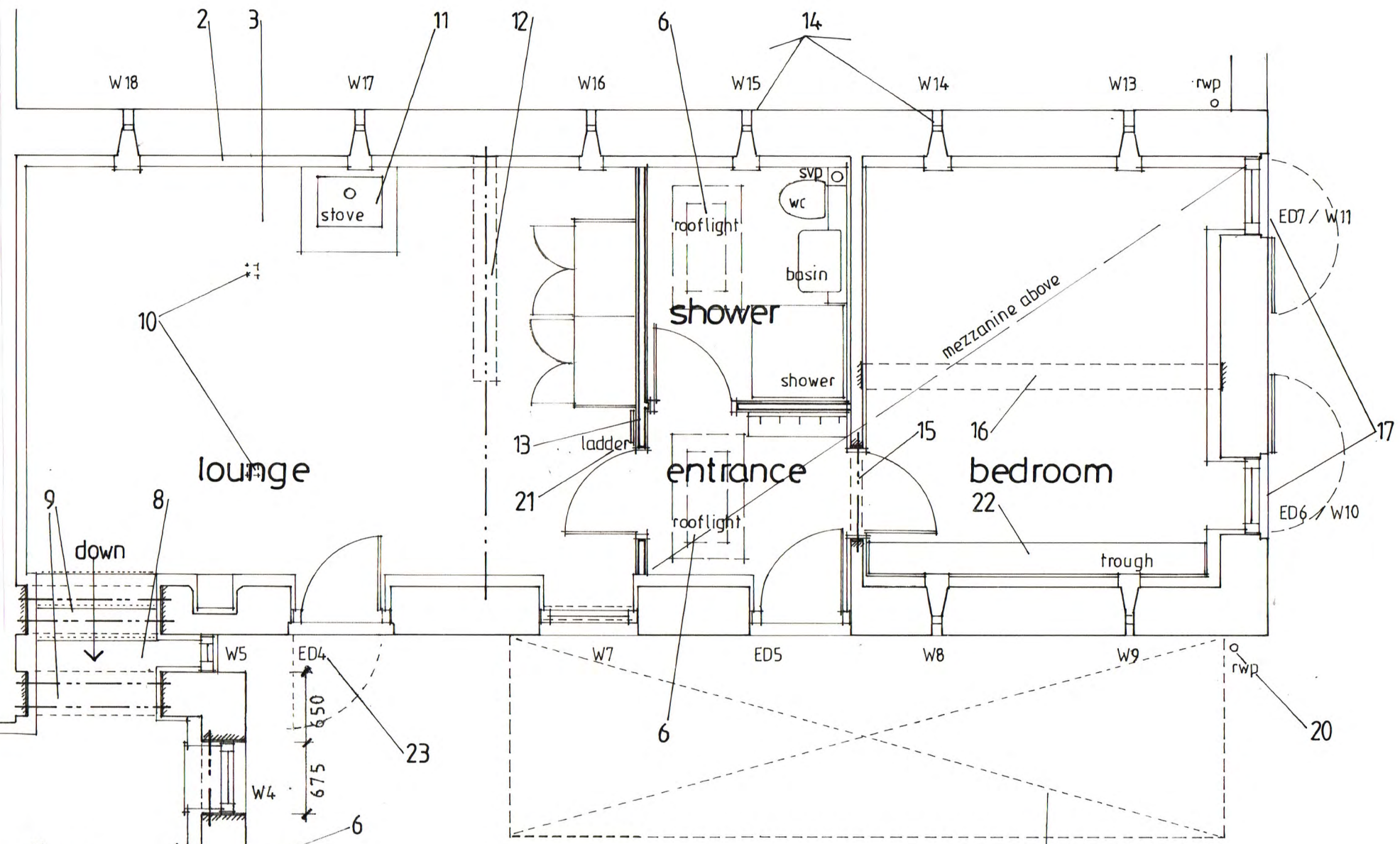
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date	scale	dwg size	drawn
02.18	1:100	A3	ALT
issue	planning	drawing no.	rev.
		2327:4	A

AMENDED

NYMNP
27/07/2018

- 1 Take off existing doors, windows and frames at ED1, ED2, W1 and W2 and wall up openings with matching stone clad panels set into the reveals x 70mm.
- 2 Line the existing walls internally with insulated plasterboard.
- 3 Replace the existing fragmented, loose stone floor with an insulated concrete floor.
- 4 Install fittings and appliances.
- 5 Install oil fired, wall hung central heating boiler with vertical flue taken through the roof covering.
- 6 Install Neo S2 type rooflight with viewable size of 539x379mm set between the rafters.
- 7 Break out and form openings at W3 and W4 inserting stone external lintel and pcc internal lintels. Install door and windows.
- 8 Infill gap with fully glazed W5 wall and roof.
- 9 Form openings in existing stone walls and insert pcc lintels. Form steps in insulated concrete integral with the floor.
- 10 Remove timber posts and strengthen the existing king post truss to Engineer's details.
- 11 Install multi-fuel stove and flue.
- 12 Take down internal wall and install timber king post truss to Engineer's details.
- 13 Install internal, timber framed partitions.
- 14 Install frameless glazing into existing slit openings at W8, W9, W13, W14, W15, W16, W17 and W18.
- 15 Break out existing masonry wall and insert pcc lintel.
- 16 Take down existing internal, non-loadbearing wall.
- 17 Change existing doors to windows and fit timber shutters.
- 18 Take down existing steel, corrugated shed.
- 19 Collect foul drains at new inspection chamber and run to existing foul drain at rear of The Forge.
- 20 Surface water drainage to make use of existing drainage runs as far as possible and to discharge into soakaways located by agreement on site with the BCB.
- 21 Retain the mezzanine floor above the bedroom and shower room and use for storage with access ladder from the lounge.
- 22 Temporarily remove the stone pig troughs to allow for installation of the wall insulation. Re-fit troughs in bedroom.
- 23 Retain door opening ED4 but fit inward opening door and frame.



A	Door ED3 omitted windows W3 and W4 re-positioned descriptions updated	07.18
revision	description	date

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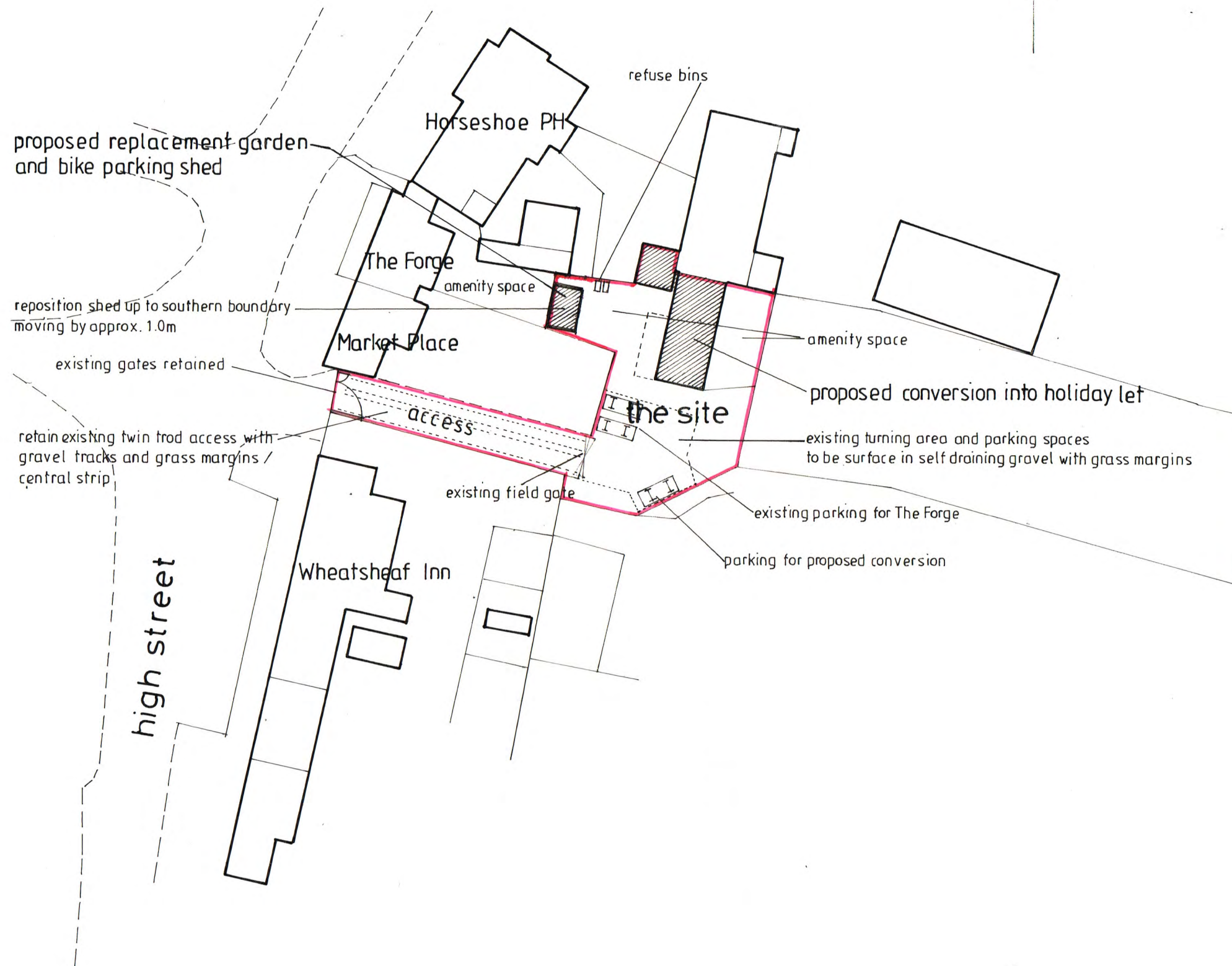
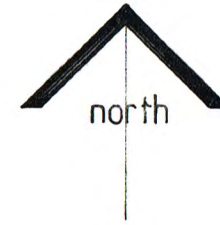
client	Mr & Mrs Grayson
project	Proposed Conversion of Redundant Storage Building at The Forge, Egton, YO21 1TZ
title	Plan as Proposed

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date	scale	dwg size	drawn
02.18	1:50	A3	ALT
issue	planning	drawing no.	rev.
		2327:3	A

AMENDED

NYMNPA
27/07/2018



revision	description	date
A	Parking area reduced in extent twin trod access confirmed	07.18

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client	Mr & Mrs Grayson
project	Proposed Conversion of Redundant Storage Building at The Forge, Egton, YO21 1TZ
title	Site Layout / Block Plan

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date	scale	dwg size	drawn
02.18	1:500	A3	ALT
issue	planning	drawing no.	rev.
		2327:5	A

AMENDED

NYMNP
27/07/2018