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NYMNPA

03/08/2018

Hern Head House

Troutsdale, Snainton
YO13 9PS

Design & Access Statement
& Heritage Asset Assessment
& Flood Risk Assessment

1 Introduction

- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 Scheme Drawings

1.0 Introduction

1.1 This document accompanies an application that seeks permission to extend a single private dwelling at Troutdale, North of Snainton (Fig. 1). The property is in a private and rural location 3 1/2 miles to the North of the A170 accessed via a private drive from Snainton Lane. A mixture of farm land and mature woodland boundary the site.

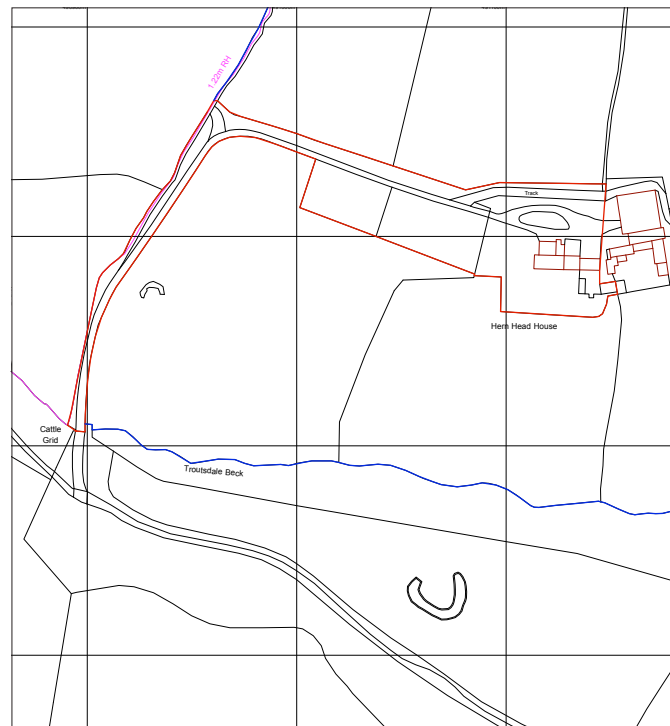


Fig 1: Site Location (not to scale)



Fig 2 : Extract from Google Maps (not to scale)

- 1 Introduction
- 2 Site Existing**
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 Scheme Drawings

2.0 Site Existing

2.1 The building to be extended appears to be present on the 1854 Ordnance Survey map (Fig. 3), and is clearly visible on the 1892, 1911 & 1973 Ordnance Survey maps in their current form (Fig. 4, 5 & 6). There are no signs that the building has been significantly altered to the front elevation. The rear elevation shows signs of modernisation and alterations.



Fig. 3: Extract from 1854 OS

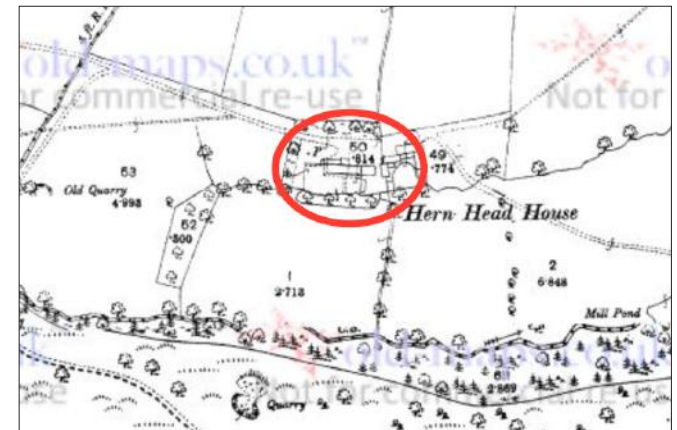


Fig. 4: Extract from 1892 OS

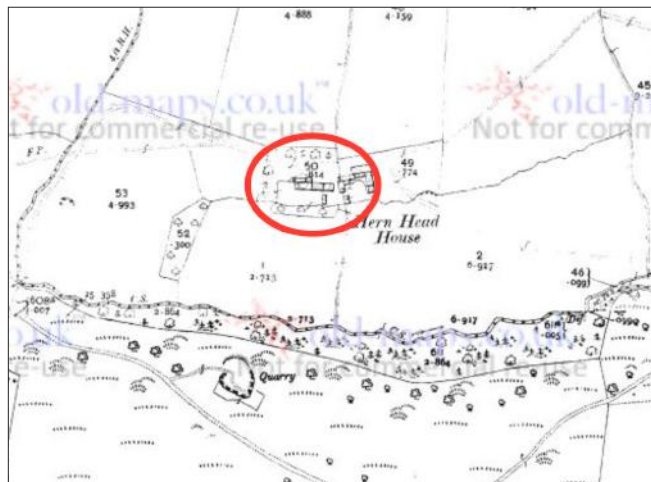


Fig. 5: Extract from 1911 OS

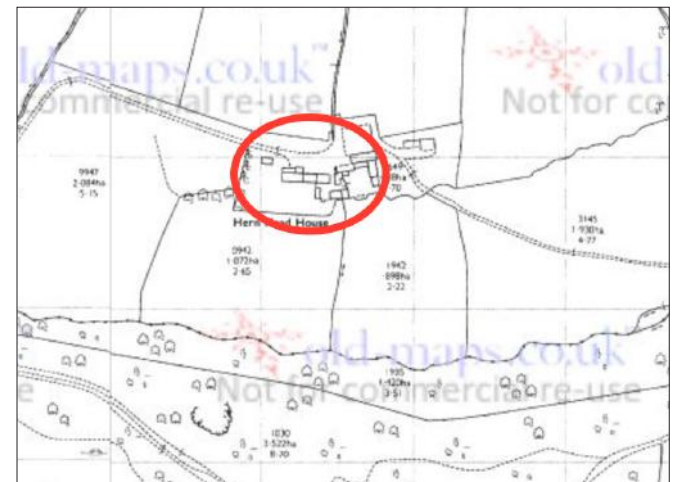


Fig. 6: Extract from 1973 OS

- 1 Introduction
- 2 Site Existing**
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 Scheme Drawings

2.2 Hern Head House is not Listed or in a Conservation Area. It sits in open countryside within the North Yorkshire Moors.

Notwithstanding the inconsistent dormer windows, this is a traditional isolated farmhouse with adjacent range of agricultural buildings to the East located in Troutsdale within the National Park. Traditionally built in stone with a red clay pantile roof covering, low eaves height and water tabling to gables, the house is typical of the local vernacular. Another characteristic of this type of building is the fact that the front / South elevation is proportioned and considered whereas the rear / North has been extended and altered to accommodate the owners and various functions of the building across its lifespan. As a result the North elevation is a collection of modern extensions and alterations. Whereas the original house is constructed in large dressed stonework, later extensions are in lesser quality random stonework highlighting the significance of the main elevation.



Fig. 7: View of South West / front elevation



Fig. 8: View of dwelling from the approach to the building from the North West



Fig. 9: View of the North elevation with lean-to kitchen elevation in the centre to be removed



Fig. 10: View from garden of North elevation in a South West direction



Fig. 11: View of rear / North West elevation of dwelling with agricultural buildings beyond



Fig. 12: Internal view of kitchen extension - proposed to be removed / replaced. Image shows low roof pitch and eaves height.

Site Existing

- 1 Introduction
- 2 **Site Existing**
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 Scheme Drawings

2.3 The kitchen extension is the most recent to the North of the existing dwelling. Although constructed in stone with a red clay pantile roof covering, the roof is constructed with low eaves and a very low pitch to the horizontal. Although it is typical that roof pitches do not always match across a building of this age, such a shallow pitch compared to the remaining dwelling is a clear statement of its age.

2.4 Due to the topography of the site and surrounding Troutsdale it is difficult to see this site or buildings from any public highway. An area of existing woodland between the site and Troutsdale Beck to the South means that it is only possible to remotely view the buildings from afar.



Fig. 13: Extract from Google street view from public highway (Snainton lane South East of the site with the only view of the site in the distance

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment**
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 Scheme Drawings

3.0 Heritage Asset Statement

3.1 Although the building is not Listed it is recorded on the 1854 first edition Ordnance Survey. It contains some traditional features and we have therefore assessed the building as a nondesignated heritage asset.

The form and footprint of the existing property has seen little change in its lifetime but it has been subjected to several ongoing alterations and modernisations.

Existing windows and doors are a mix of UPVC and timber casements and the rear elevation shows signs of altered and new openings being made. At some point in recent history the roof covering has been replaced and although the red clay pantiles probably match the original style, they are clearly newer. Black UPVC rainwater goods are fitted via brackets fixed to painted timber fascia boards.

Although the South elevation is the most significant, it too has been altered with additional rooflights and a steel flue pipe.

Stonework on rear elevations is more coursed rubble than hammer-dressed, although slightly dressed quoins and shaped kneelers are evident on the two-storey gable.

A recent single storey extension has been added to the rear which has a green flat roof and skylight.

We consider that there would only be a minor impact on the existing building as a result of these works. The new west extension is a modern form but the materials are in keeping with the vernacular and historic nature of buildings within this environment.

-
- 1 Introduction
 - 2 Site Existing
 - 3 Heritage Asset Assessment
 - 4 Site Proposed**
 - 5 Planning Policy
 - 6 Access & Accessibility
 - 7 Flood Risk Assessment
 - 8 Scheme Drawings

4.0 Proposed

The existing dwelling has a very low eaves line and small windows, typical of farmhouses of the area. The applicants have a large family and wish to extend the space to gain additional bedroom and ground floor accommodation, which can more easily access the gardens.

The property also suffers from not having an easily identifiable 'front' door as this is situated on the south elevation which cannot be seen on the approach to the dwelling.

Our proposals are for a 'double pile' extension to the west of the existing dwelling which is open land and away from the original farm outbuildings. The form keeps the ridges lower than the existing building which – coupled with reduced floor levels – render the extension subservient to the original building.

Both gables are predominantly glazed, but the glazing will be set to the rear of a green oak frame. This will limit reflections and leave the structure exposed making reference to the open nature of the group of barns to the north east of the house. These two elements neatly form a recessed entrance between which is the new front door – again set back behind a thin canopy.

The materials are otherwise a combination of the existing house with coursed rubble walls and a pantile roof.

Windows to the north and south elevations will be painted softwood casements to match the existing house.

-
- 1 Introduction
 - 2 Site Existing
 - 3 Heritage Asset Assessment
 - 4 Site Proposed
 - 5 Planning Policy**
 - 6 Access & Accessibility
 - 7 Flood Risk Assessment
 - 8 Scheme Drawings

5.0 Planning Policy

An application was approved in 2017 for a single storey extension to the east side of the building to form a new kitchen. This is presently under construction.

In formulating our proposals we have considered the planning history, made reference to National Planning Policy by means of the NPPF and also the North York Moors National Park Authority Local Development Framework document 'Core Strategy and Development Policies'.

At the heart of the NPPF is a 'presumption in favour of sustainable development' (para 14) where sustainable means that making decisions for today does not compromise the situation for future generations, paragraph 58 identifies that innovation and good design should not be prevented in situations where local character and history defines the area.

The NPPF makes several references to historic assets in section 12. We believe that in particular paragraph 132 supports conservation of the asset if harm is minimal and there are benefits in enabling other work.

Core Policy G of the Local Development Framework is most pertinent to our proposals. DP3 sets out the principal design considerations.

We have 'stepped in' the extension from the front (south) and rear (north) wall as well as reduced the height of the ridge so that the extension is subservient to the existing dwelling. The extension has a footprint of 88m². The existing house (excluding outbuildings and the annex is 308m². The extension is therefore approximately 28% bigger.

In our section 4. we have set out why we feel that the materials and design are consistent with the local vernacular and architectural language used in the vicinity. The project will be detailed and realised with the highest standards of craftsmanship. We submit that this will be an enhancement of the existing grouping and of the wider area.

Access / Flood Risk Assessment

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility**
- 7 Flood Risk Assessment**
- 8 Scheme Drawings

6.0 Access & Accessibility

The property has been designed to meet the requirements of Part M of the Building Regulations (*Access to and Use of Buildings*) as a minimum standard. Level access from car parking to primary entrances and external areas has been prioritised.

7.0 Flood Risk Assessment

From information available on the Environment Agency website, it has been determined that the property falls outside the area prone to significant flooding risk as demonstrated below on the Environment Agency flood risk map (Fig. 15).

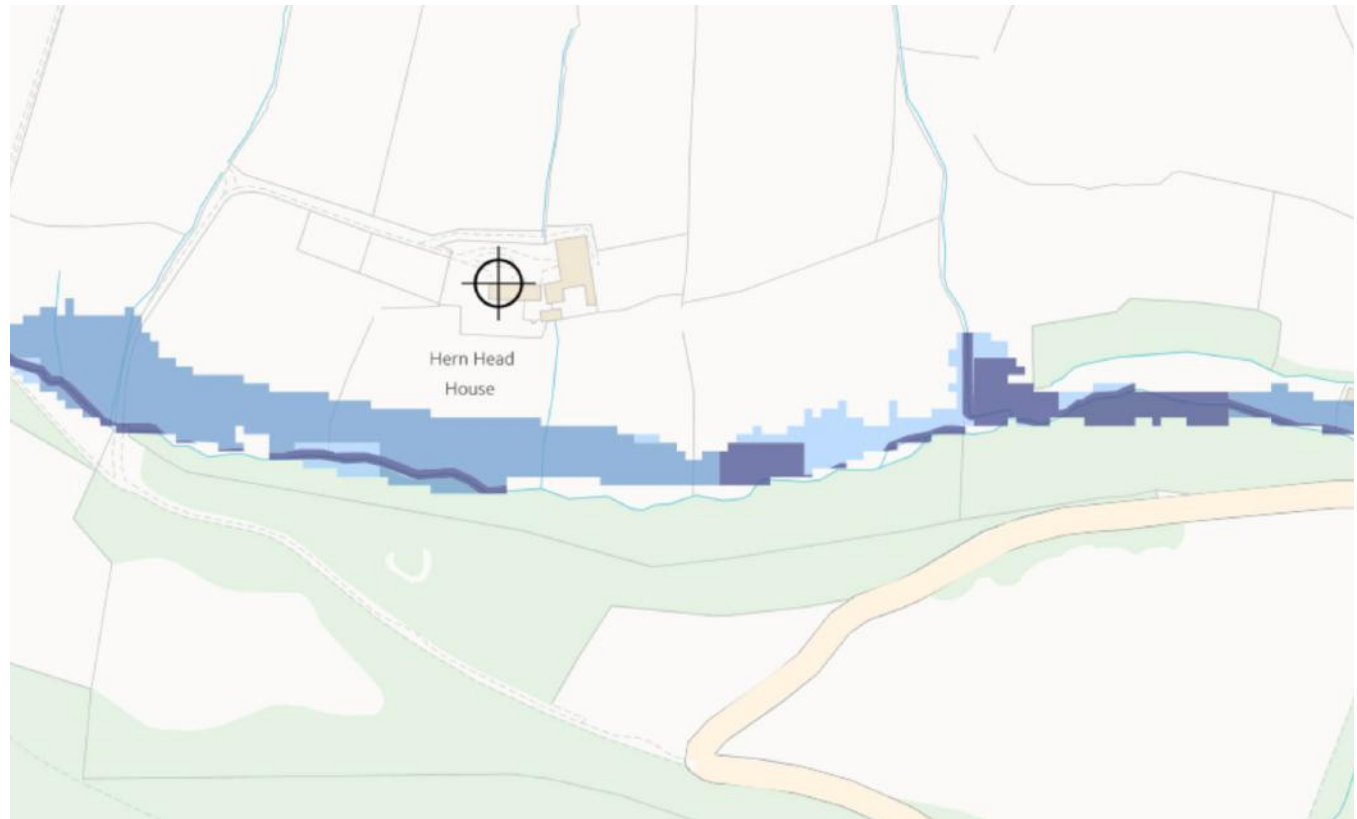


Fig. 14: Flood risk map extract from Environment Agency website

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 **Scheme Drawings**

8.0 Scheme Drawings

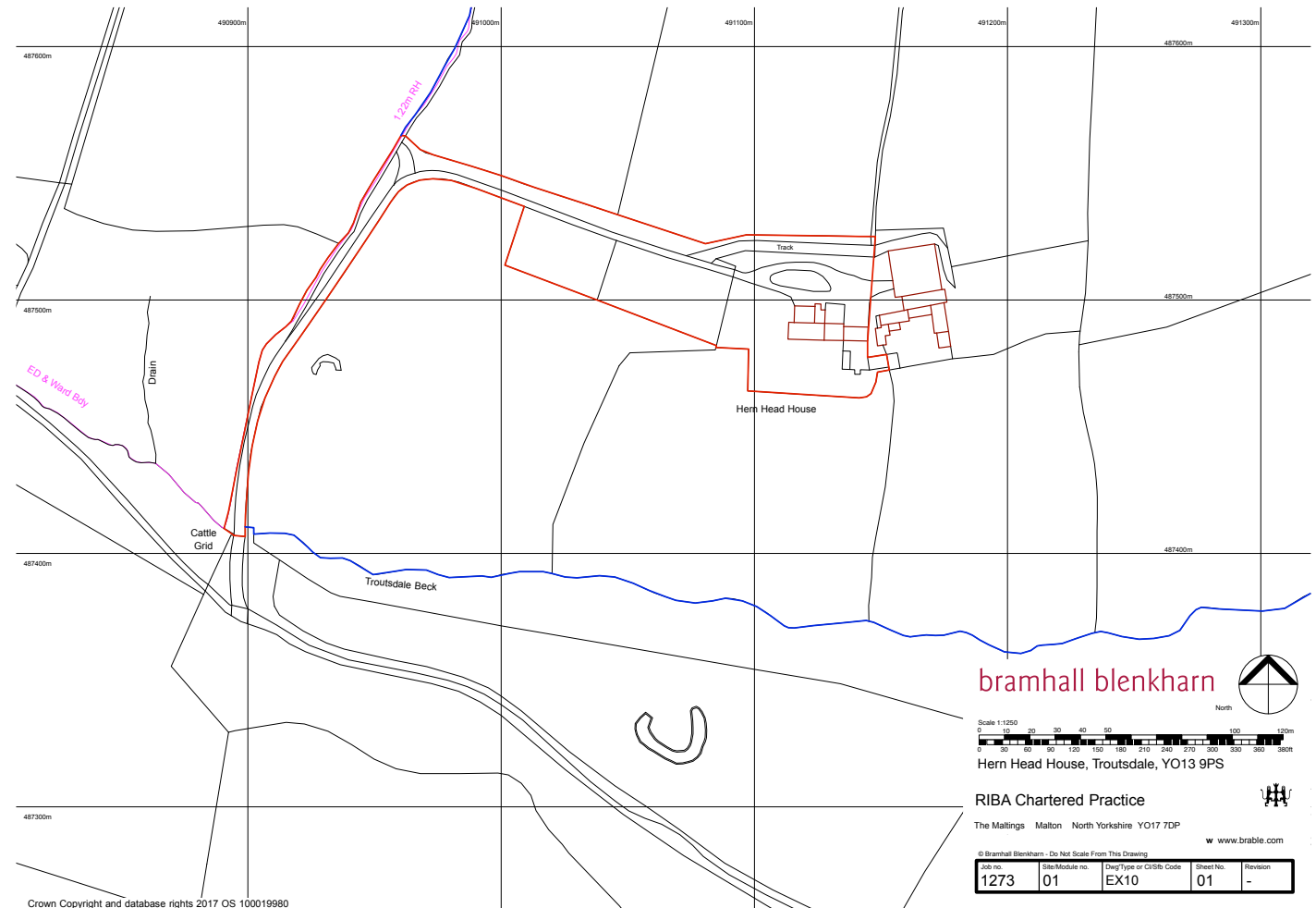


Fig. 15: OS Extract Site location plan

Scheme Drawings

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 **Scheme Drawings**

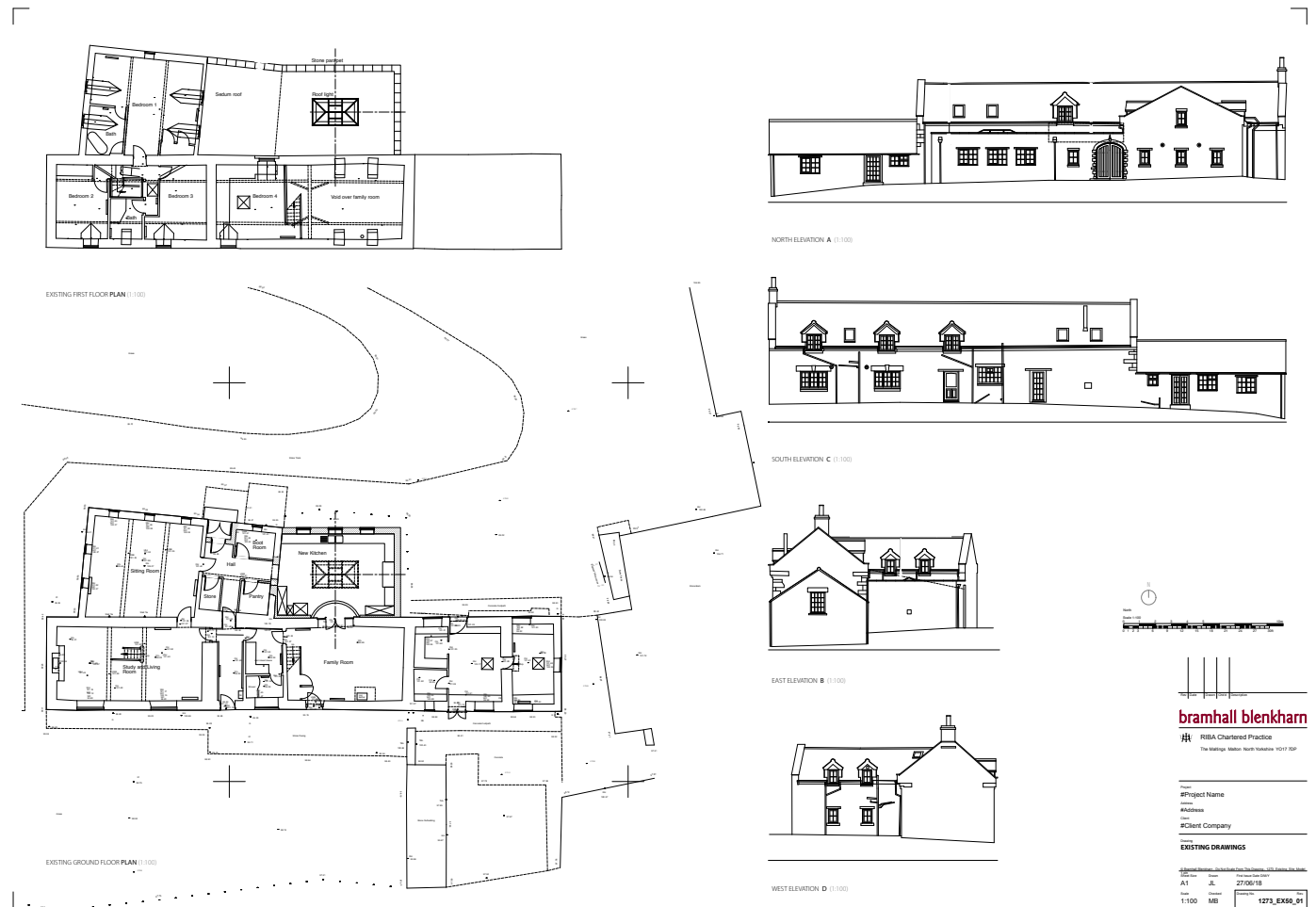


Fig. 16: Existing drawing

bramhall blenkharn
 RIBA Chartered Practice
 The Millgate Station North, London N19 1EP

#Project Name
 #Address
 #Client Company

EXISTING DRAWINGS

A1 JL 27/06/18
 1:100 MB 1273_EX50_01

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 **Scheme Drawings**

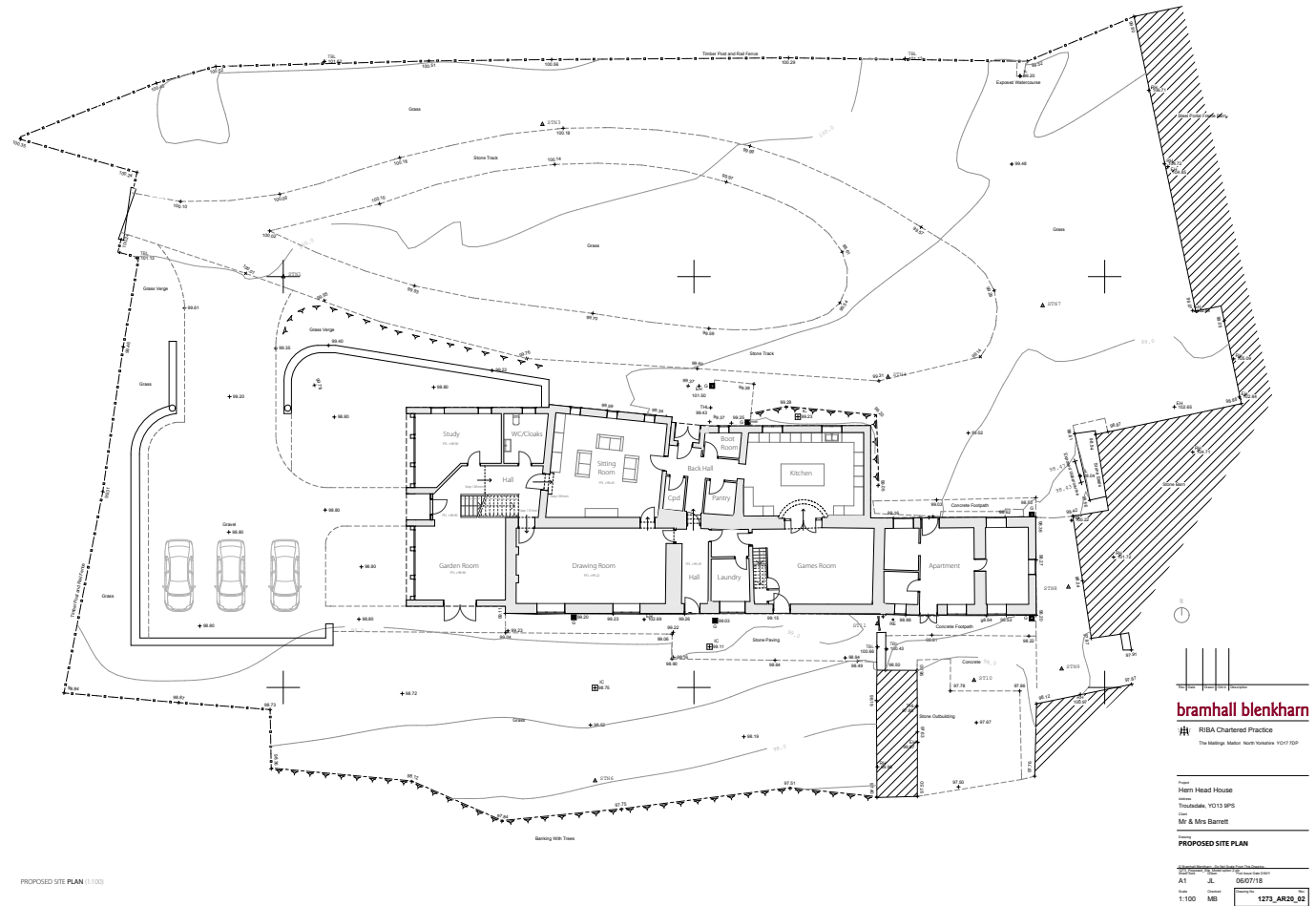


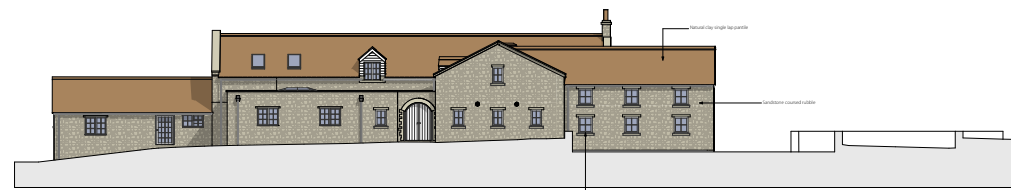
Fig. 16: Survey drawing

Scheme Drawings

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 **Scheme Drawings**



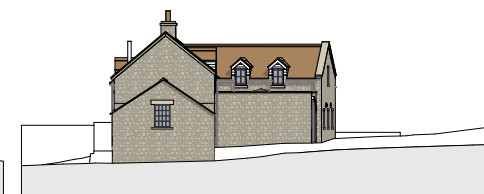
ELEVATION A (SOUTH) (1:100)



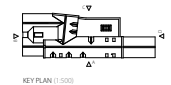
ELEVATION C (NORTH) (1:100)



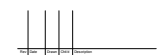
ELEVATION B (WEST) (1:100)



ELEVATION D (EAST) (1:100)



KEY PLAN (1:500)



bramhall blenkharn
 RIBA Chartered Practice
 The Millings, Millers, North, Newcastle, V017 7DP

Project:
 Fern Head House
 Location:
 Tinsdale, YO13 9PS
 Client:
 Mr & Mrs Barnett

PROPOSED ELEVATIONS

Drawn by:
 J. Blenkharn
 Checked by:
 J.L.
 Date:
 06/07/18
 VARIES: MB 1273_AR30_02

Fig. 16: Survey drawing

Scheme Drawings

- 1 Introduction
- 2 Site Existing
- 3 Heritage Asset Assessment
- 4 Site Proposed
- 5 Planning Policy
- 6 Access & Accessibility
- 7 Flood Risk Assessment
- 8 **Scheme Drawings**

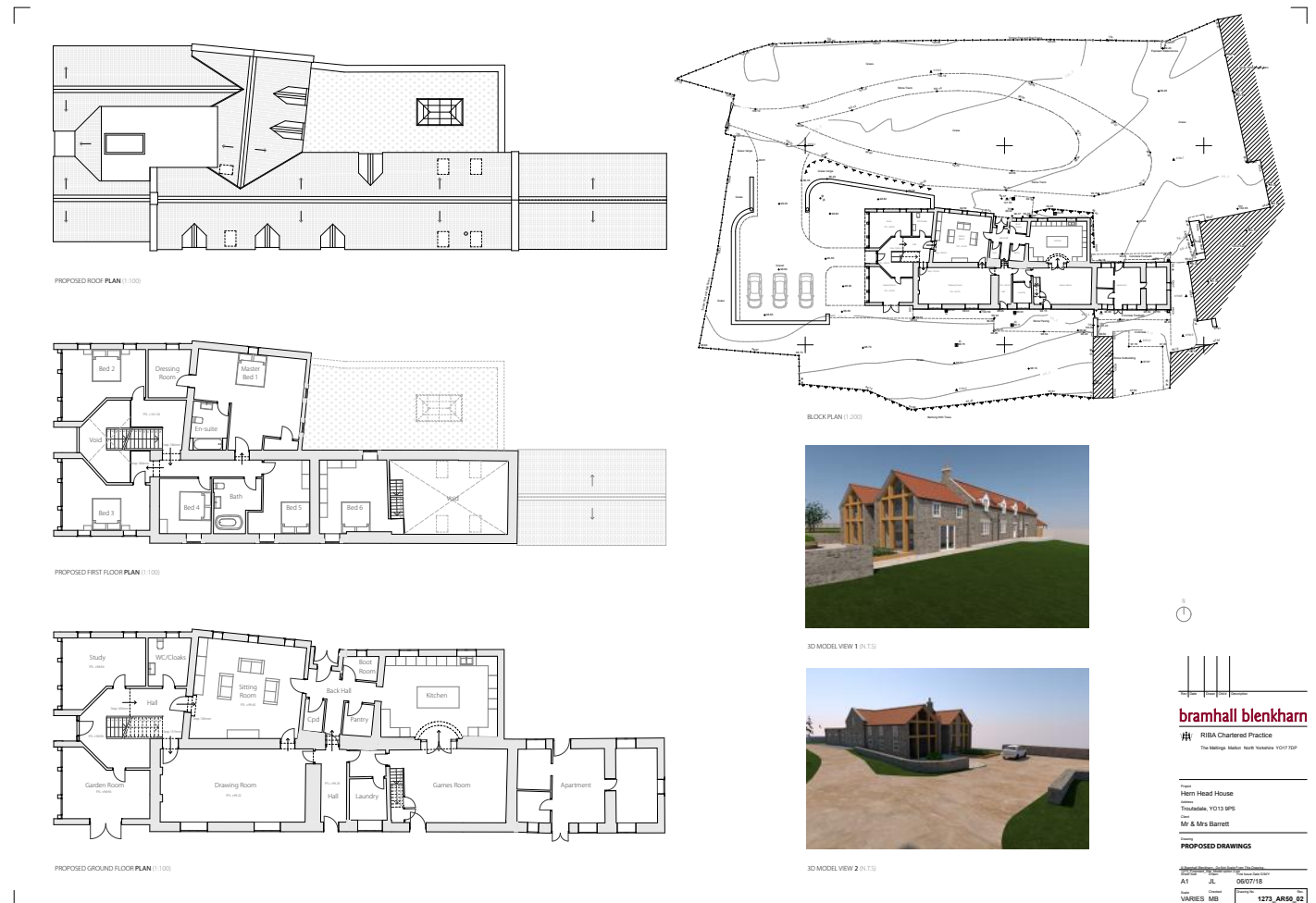


Fig. 17: Proposals drawing