

**From:** [Helen Webster](#)  
**To:** [Planning](#)  
**Subject:** FW: NYM/2018/0344/NM - Keepers Cottage, Rear of Park Hall, Aislaby  
**Date:** 29 August 2018 09:58:08  
**Attachments:** [Impact Assessment - Keepers Cottage.pdf](#)

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From: David Fairley  
Sent: 28 August 2018 17:13  
To: Helen Webster  
Subject: RE: NYM/2018/0344/NM - Keepers Cottage, Rear of Park Hall, Aislaby

Hi Helen

Apologies for the delay in responding, but we have been finalising tenders and costs etc.

Further to your email below, I can confirm that we will be installing a timber conservatory as indicated on the previously attached drawings. Please therefore ignore any references that I have made to aluminium/upvc. We will obviously need to agree the colour for the finish and I will propose this in due course.

I have also attached the updated impact assessment with associated drawings and structural engineers report.

We propose to commence work on Monday with a 16 week contract period taking us up to 21 December. I am conscious that there are a number of materials that will require your approval prior to installation. I am meeting with the contractor this week and we will detail out those elements in order that they can be issued for your approval in due course.

In the meantime, I trust that the enclosed is self explanatory and confirms the material for the conservatory.

If however you need any further detail, then please let me know.

Kind regards

David Fairley MRICS. Accredited Non Domestic Energy Assessor  
Partner  
Building Consultancy

# **Keepers Cottage**

Impact Assessment of Development Affecting  
Heritage Asset

**Dr and Mrs Stevenson**  
**June 2018**



**Sanderson  
Weatherall**

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# 1. Introduction

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## 1.1. Listed Building Consent Proposal

Application for Listed Building and Planning Consent for internal and external repairs and alterations to Cottage together with reinstatement of conservatory and entrance canopy

## 1.2. Location/Heritage Asset/Listed Building

Keepers Cottage to the rear of Park Hall, Main Road, Aislaby, Whitby YO21 1SW

Grid Reference 86072 8702

The cottage stands wholly within the curtilage of Grade II Listed Park Hall

## 1.3. Application

Dr and Mrs Stevenson

## 1.4. Local Planning Authority

North York Moors National Park Authority

## 2. Preface

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This report arises out of specific instructions given by Dr and Mrs Stevenson to apply for both planning and listed building consent for internal and external alterations together with reinstatement of a conservatory at Keepers Cottage to the rear of Park Hall, Main Road, Aislaby. There is no specific listing for the property itself identified as Keepers Cottage however this is to the rear of a Grade II Listed Building being Park Hall.

### 3. Proposed Development

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The principle aim of the proposals are to improve Keepers Cottage to provide a comfortable home. The property has not been occupied for some years due to issues affecting the floors, the stairs and the inside faces of the external walls.

The aim of the works is to reintroduce various features where they existed previously including, a conservatory in place of the previous greenhouse and a useable wash house incorporating WC facility, and within the dwelling to enhance the features where some of the original character and quality of the building has been diminished.

Keepers Cottage was originally used as a gardener's cottage and store for many years. During its period of use, various sections fell into disrepair including a former greenhouse which is to be reconstructed in a similar manner but utilised as a conservatory. The aim is to provide a cottage with a good standard of accommodation but still to retain the vernacular architectural quality of the original dwelling

## 4. The Listed Building/Heritage Asset

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The premises are in the grounds of a Grade II Listed Building detailed as follows:-

NZ8608 Aislaby Main Road (south side) 17/22 No 11 (Park Hall) 6.10.69 (Formerly Listed as Park Hall) – II House, early C19 with extensions and alterations. Stone with slate roof, coped gable ends and stone chimneys and antefixae. Two Storeys, 2 windows in main block with long domestic wing to east. Sash windows with glazing bars. Garden front has 2 first floor windows in eared architraves; and 2 late C19 square bays below. Entrance on west front in one storey extension to south of full height canted stone bay with hipped roof and stone bracketed eaves. Windows also have eared architraves and bracketed sills.

This application relates to a cottage which sits within the grounds of the above mentioned listed building. Works are also proposed to repair a number of the adjacent traditional coursed sandstone boundary features due to structural damage from trees. A separate notice has been made in respect of the trees in close proximity.

Park Hall and all of its curtilage including Keepers Cottage was acquired by the applicant 3 years ago.

It is known that Keepers Cottage was last occupied as a separate free standing dwelling in 1962. Since the property was last used as a separate dwelling unit it has continued to be used as part of the residential use of Park Hall as a family home. It continues to be used for domestic storage purposes eg furniture and some gardening equipment together with books, packing cases and crockery etc.

Throughout the period of 1962 to the present day the property has been repaired and kept water tight. The building has remained secure and locked having the benefit of a new roof that was installed sometime in around 1985 when the original roof experienced problems.

It is known that the property always had a kitchen and WC. The bathroom facility was limited to a tin bath on a hook which was kept in the attached outbuilding at the rear of Keepers Cottage. It is now understood that this room, now used as a store, was originally the wash house utilised for bathing purposes. The WC is off this room in a separate cubicle section. Mains water, drainage and electricity were all connected to the premises at that time and there is also use of the adjacent well. The garden area to the rear was maintained as part of the curtilage of this dwelling. At the present time, the only service connected is drainage.

Water and electricity were known to have been connected in 2007-2008 and it was felt that there was a possible third party risk maintaining those connections therefore they were made safe.

The vehicular access to Keepers Cottage has been maintained by the application. This is a tarmac surfaced driveway which has been wholly maintained in a good useable order.

The dwelling is not registered for council tax but is included in the curtilage of Park Hall as part of its council tax banding.

On the basis of the above point it is considered that no consent for the use of the building for residential purposes is required. It was the applicant and his family's intention that the building would always be maintained in good order so that it can be used for residential/domestic purposes. The property has been maintained as such, the works to the roof being proof of this and since the dwelling was last occupied permanently it has been used consistently for residential purposes within interruption.



## 5. Development Management and Appraisal

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The drawings provided with the application clearly set out the proposals together with extensive specification notes both internally and externally.

During a part application for the property there was significant design input from the North York Moors National Park. This included involvement from both planning officers and members of the Conservation team. The details discussed and agreed at that time have been retained on the plans.

It is proposed that the external fenestration detailing will remain as existing but incorporate traditional good quality materials with slimlite double glazed units provided. There are numerous improvements including the reinstatement of a chimney to the east gable, as this has been previously removed at some point in the past. There are a number of vulnerable points to the building such as on the east gable where it is proposed to introduce some strengthening to the structure to ensure its continued stability. There are no major points in terms of the integrity of the building but incorporating some strengthening at this stage will be of benefit to the listed asset going forward.

The details of the works proposed both internally and externally also include the provision of new lintels concealed behind the existing stone details, again to preserve the appearance of the building but to introduce some additional strength.

The overall current condition of the property is fair for a structure that has been utilised as part of the residential occupation of Park Hall as a whole. The proposals will enable the building to be utilised for comfortable living accommodation ensuring that other statutory requirements such as building regulations are also satisfied with improved insulation levels and modern safe services.

Detailed on the proposals is the reconstruction of the boundary wall that lies to the north west corner. Of the property. The wall is 450mm thick and a free standing masonry structure. The full construction detailing in terms of its foundations are unknown but this type of wall is usually set on slightly wider stones at a modest depth just below external ground levels. The wall meets the gable of Keepers Cottage with a simple butt joint then stretches towards the principle highway in a northerly direction. Attached herewith is a copy of the original structural engineers report in respect of the garden wall that was undertaken by Richard Agar Associated Limited in 2008 (appendix 1). As a Chartered Building Surveyor I have reassessed the condition of the wall and this is found to be very similar at the present time to Mr Richard Agar's findings with only slight further deterioration and additional growth of the trees due to the 7 years that have elapsed since.

The conclusions from the initial structural engineer's report is that a 7m length of the wall adjacent Keepers Cottage is to be carefully dismantled following removal of the adjacent substantial Sycamore trees and root systems. The wall was then to be reconstructed on new concrete strip footing at around 900mm in depth with 50mm polystyrene roof protection placed on both sides.

Further to the above, we have commissioned a further report and specification from Maughan Reynolds for the work that is necessary to repair and reinstate the wall, leaving it structurally stable.

The proposed detail differs slightly from the initial report, albeit that the conclusion and detailing are broadly similar and will require a new foundation with heave protection. The relevant information is included within Appendix 2.

The works to the wall are indicated on the attached sketches, however the removal of the trees has been dealt with under a separate notice. Prior to any works being undertaken to the boundary wall, photographs of both sides of the wall to be dismantled with the stones numbered will be produced. The wall will then be re-erected in the same order and any replacement stones annotated. Following advice from the North York Moors National Park the stones will be numbered as shown on the photographs/drawings and carefully laid out in order to ensure re-erection creates the same aesthetic as the wall taken down. It is also appreciated that any replacement stones must match the existing in all respects including hand tooled dressings and their proportions. It is proposed that the mortar mix used for reconstructing the wall shall be a full lime mortar mix of 1.21/2 lime, sand (sand mix 50% sieved sharp sand and 50% builders sand) with a slightly recessed bagged finish.

Throughout the construction period it is proposed to use traditional methods of construction and repair wherever possible in order to retain the inherent vernacular character of this small dwelling. Undoubtedly there will be further interaction with the Conservation officers at the North York Moors National Park to ensure that repairs are carried out to the best of standards in line with modern day conservation practices.

## 6. Planning Policy Items

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### **Planning (Listed Buildings in Conservation Areas Act 1990)**

The subject application falls to be determined under the Planning (Listed Building and Conservation Areas Act 1990). Under this Act decisions on applications for Listed Building Consent are dealt with at Part 1, Chapter 2 of the Act and more specifically at Section 16 which states;

“16 Decision on application -

Item 1 Subject to the previous provisions of this part, the Local Planning Authority or, as the case may be, the Secretary of State may grant or refuse an application for Listed Building Consent and, if they grant consent, may grant it subject to conditions.

Item 2 – In considering whether to grant Listed Building Consent for any works the Local Planning Authority or the Secretary of State should have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Item 3 Any Listed Building Consent shall (except in so far as it otherwise provides) endure for the benefit of the building and of all the persons for the time being interested in it”

Subsection (2) is the key to this act in terms of this application as it sets out what the decision maker should consider when determining whether or not to grant Listed Building Consent. This states the following:-

“the desirability of preserving the building or its setting or any features of special architectural or historic interests which it possesses.”

This application relates to items of improvement, repair together and re-establishing previous features. The proposals put forward will help in preserving the building and the adjacent boundary structures for the long term. This is not only to the benefit of the listed asset itself but also the wider conservation area and the village of Aislaby.

### **National Planning Policy Framework**

The National Planning Policy Framework (NPPF) promotes the conservation and enhancement of Heritage Assets and the historic environment for the enjoyment of the wider public and the contribution they bring to the wider environment. It is recognised that Heritage Assets are an irreplaceable resource and they should be conserved in a manner appropriate to their significance. Under paragraph 134 there is reference to instances where the development would lead to “less than substantial harm” to the assets and states “where a development proposal will lead to less than substantial harm to the significance of a designated Heritage Asset, this harm should be weighed against the public benefits of the proposal, including securing its optimal viable use”.

The proposal will create modern comfortable living accommodation bringing a building back into full use and also safeguarding its long term stability and condition. The proposals set out are concluded to be far less than substantial harm and going forward will be of benefit to both the cottage itself and also the Listed Asset of Park Hall and any future occupants. Rather than just been "less than substantial harm" they are actually of "substantial benefit." The optimal viable use of the subject dwelling is for it to continue to be residential.

### **The Development Plan**

The Development Plan for the North York Moors National Park is established through the core Strategy and Development Plan Document which was adopted on the 13<sup>th</sup> November 2008. Within the Development Plan there are 2 principle policies that bear relevance to the subject Listed Building Consent Application. These are Core Policy G and Development Policy 5.

Core Policy G – Landscape, design and Historic Assets states:-

"the landscape, Historic Assets and cultural heritage of the North York Moors will be conserved and enhanced. Particular protection will be given to those elements which contribute to the character and the setting of Listed Buildings."

Development policy 5 refers specifically to listed building and states "proposals for the alteration, extension or change of use of a Listed Building or the construction of any structure within its curtilage will only be permitted where they will not have an unacceptable impact on the special historic or architectural interest of the building. Any development which would have an unacceptable impact on setting of a Listed Building will not be permitted."

Paragraph 7.17 states "whilst often the best use of a Listed Building will be that for which it was originally built, the Authority recognises that ensuring its continued upkeep and active use will at times require it to accommodate change." No change in use is proposed however the alterations will help ensure the cottage is actively used and kept in good condition for many years to come.

## 7. Conclusion

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The proposals set out in this application will safe guard the cottage and boundary features, whilst also providing comfortable living accommodation. The plans and proposed specification in no way prejudice the setting of the Grade II Listed Park Hall which is a high quality listed building. They seek to enhance the existing cottage and compliment Park Hall itself.

Where changes and modifications have been proposed, they are of the type that is in keeping with the historic and architectural character, setting and appearance of the building. Items such as conservatory are reinstatements of past features as opposed to new additions.

The scheme is not only to the benefit of Park Hall but also the village of Aislaby. Seeing the cottage brought back into good repair and being used for its optimal viable use, will enhance the feature within the conservation area. The proposals are certainly far less than substantial harm to a listed asset and are in reality, of significant benefit to a listed asset and the wider landscape.

Overall the works proposed satisfy all local area planning policies together with the National Planning Policy Framework which seeks to enhance heritage assets for the enjoyment of the wider public and the contribution they bring to the environment.

## Appendix 1 – Structural Appraisal

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Ref 2.106

December 2008

NYMNPA  
- 9 JUL 2015

**STRUCTURAL APPRAISAL**  
OF  
**GARDEN WALL**  
AT  
**KEEPERS COTTAGE, PARK HALL, AISLABY**  
WHITBY  
FOR  
**MR DALGLISH**

Prepared by

**Richard Agar**  
Associates Limited  
*Consulting Civil & Structural Engineers*  
Established 1999



**STRUCTURAL APPRAISAL  
OF  
EXTERNAL GARDEN WALL  
AT  
KEEPERS COTTAGE, PARK HALL, AISLABY  
WHITBY, NORTH YORKSHIRE  
FOR  
MR DALGLISH**

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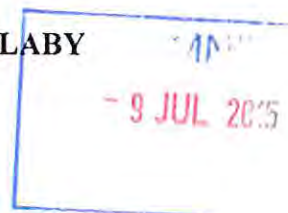
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NPA

9 JUL 2015



**STRUCTURAL APPRAISAL  
OF  
EXTERNAL GARDEN WALL  
AT  
KEEPERS COTTAGE, PARK HALL, AISLABY  
WHITBY, NORTH YORKSHIRE  
FOR  
MR DALGLISH**



**1.0 BRIEF:-**

This report has been prepared on the instruction of Mr Dalglish.

Our client, Mr Dalglish, is concerned at the condition of the garden wall immediately joining the Keepers Cottage at Park Hall, Aislaby and has requested a structural engineers appraisal.

This report is a structural appraisal of the current status of the structure and is NOT a full specification for carrying out any remedial works.

We have not inspected the woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are, therefore, unable to report that any such part of the property is free from defect.

Dimensions noted in this report are rough visual estimates for identification purposes only. No actual measurements have been taken at the site.

**2.0 INTRODUCTION:-**

The structure is a free standing masonry wall which forms the northern boundary of the garden to Keepers Cottage. The wall joins onto Keepers Cottage at the north-west corner of the cottage. See sketch 2.106-sk1 in appendix of this report.

The age of the structure is not known, but we anticipate that it is well in excess of 200 years.

**2.1 Date of Visit:-**

The property was visited for the purpose of this report on the 21<sup>st</sup> August 2008.

**2.2 Weather:-**

The weather was mild and wet. There have been some significant periods of wet and windy weather recently.

**2.3 Topography:-**

The site is in a rural village. Land slopes gently down towards the south. Adjacent gardens are of generous size and well kept.

There are a number of large mature trees (over 20 metres high) along the western boundary of the parent property, Park Hall. Immediately adjacent to the garden wall that is the subject of this report are 2 large mature trees.

The site is reasonably exposed to inclement weather from the North Sea.

### 2.5 Geology:-

The British Geological Survey one inch series sheet 44 indicates that the subsoil should comprise Boulder Clay overlying Sandstone beds of the Lower Oolite series.

At this stage no subsoil investigations have been carried out.

NYM  
- 9 JUL 2015

### 3.0 GENERAL:-

The wall is a 450mm thick free standing masonry structure. Foundation details are not known, but this type of wall is usually set on slightly wider stones at a modest depth.

### 3.1 Western Side (adjacent keeper's cottage):-

The wall curves in a small arc to meet the gable of keeper's cottage with a simple butt joint.

The junction is opening up at the top and past movement indicates that the wall is leaning towards the South.

There is a large tree immediately adjacent to this location and it is visually apparent that roots are physically displacing and causing rotation of the foundations.

Immediately North West of the tree, (towards the entrance gate), there is evidence of at least 2 nr., predominantly vertical, cracks which have resulted from the rotation movement of the section of wall adjacent to keeper's cottage.

The remaining length of wall, (approximately 5 lin.m.), leans over to the North noticeably. There is a second large, mature tree adjacent to this Northern end. The roots from the second tree are physically displacing the foundations of the wall and causing the general rotation/lean.

### 3.2 Eastern Side (viewed from garden of Keepers Cottage):-

Over the short length of wall adjacent to the NW corner of the cottage (approximately 7 lin.m.) there are at least 7nr., predominantly vertical cracks. All the cracks relate to damage done to the wall leaning over to the North. This movement is caused by mechanical action between the roots of the two large, mature trees and the foundations of the wall.

See photo in appendix this report:

Adjacent to the cottage there is a vertical crack. This was difficult to assess due to various garden items/limbers being stacked in this area.

Approximately one metre from the cottage a vertical crack runs the full height of the wall. Several individual masonry units are fractured.

Approximately 3 metres from the cottage is another full height vertical crack. Several individual masonry units are fractured. Crack widths are typically greater than 15mm.

Approximately 4 metres from the cottage a thin (less than 1mm) vertical crack runs effectively the full height of the wall.

To the North of this latter crack is another predominantly vertical crack. The crack runs effectively the full height of the wall and generally follows mortar bedding and joints. The crack is noticeably wider at the top than at the base.

Adjacent to the Northern corner there is a diagonal crack at high level. At this location the general leaning to the North of the wall is being restrained by the corner masonry.

VINP  
- 9 JUL 2015

### 3.3 Wall adjacent Main Road.

A brief inspection was made of the remaining length of wall (approx 18 lin. metres) running to the north alongside Main Road, Aislaby. This length of wall did not appear to show any significant signs of serious distress nor significant recent movement.

### 4.0 CONCLUSIONS:-

Damage assessment has where possible been made in accordance with Building Research Establishment digest No.251 (BRE 251), "Assessment of damage to low-rise buildings". The digest has six categories '0' (negligible) to '5' (very severe).

It is not unusual for trees to cause damage to structures, usually as a result of roots affecting the moisture content of shrinkable foundation soils. In this case, due to the extreme close proximity of 2 particular and substantial trees and the surface extent of their root systems, the soil conditions are almost irrelevant. Damage is being caused by mechanical action between the surface root systems and the foundations of the wall (i.e. roots are physically pushing shallow foundation stones).

The approximately 7 metre length of garden wall adjacent to the Keeper's Cottage is being physically pushed over by the roots of 2nr., mature trees. As a result there are at least 7nr. significant vertical cracks in the wall (on one side alone!).

In it's current state the continuity of strength to the masonry units has already been lost. Several individual units have been completely fractured. The wall needs carefully dismantling and re-building in order to restore its integrity. However, in this case, the presence of large roots at shallow depth is causing direct damage by mechanical/physical action and, therefore, even with rebuilding this damage will continue.

New foundations or underpinning are unlikely to significantly reduce the tendency for continued damage. Common solutions that include reinforced concrete foundations with heave protection measures for foundations near trees would have very little benefit in this case. The trees are too close for such measures to be effective.

It is very unlikely that future stability of the wall will be achieved without removal of the two main trees and their roots.

The soil conditions are having very little influence on the wall, it is physical contact with root system that is causing the problem.

In accordance with BRE 251 we would classify the visible evidence of damage on this elevation as category 4 (severe) for which the digest remarks "...*Extensive repair work involving breaking-out and replacing sections of walls,...* ...".

- 9 JUL 2015

#### 6.0 **RECOMMENDATIONS:-**

Approximately 7 metre length of wall adjacent Keepers Cottage to be carefully dismantled, individual stones numbered and recorded to ensure rebuilding as existing. (length of wall to be dismantled identified by 'A' - 'A' and cross-hatched on attached sketch.

Two trees indicated with 'X' on attached sketch to be felled and root systems adjacent to wall to be removed.

New concrete strip footing at 900mm depth with 50mm polystyrene heave protection placed both sides.

Carefully rebuild wall, replacing individual units that have already fractured.

Signed for  
**Richard Agar Associates Limited**

Eur Ing RICHARD AGAR  
BSc(Hons) MSc CEng MStructE MICE MCS MCI Arb FConsE  
Chartered Structural Engineer  
Chartered Civil Engineer  
Director

APPENDIX

- Photographs
- Sketch

MN  
- 9 JUL 2015

## Appendix 2 – Wall Details

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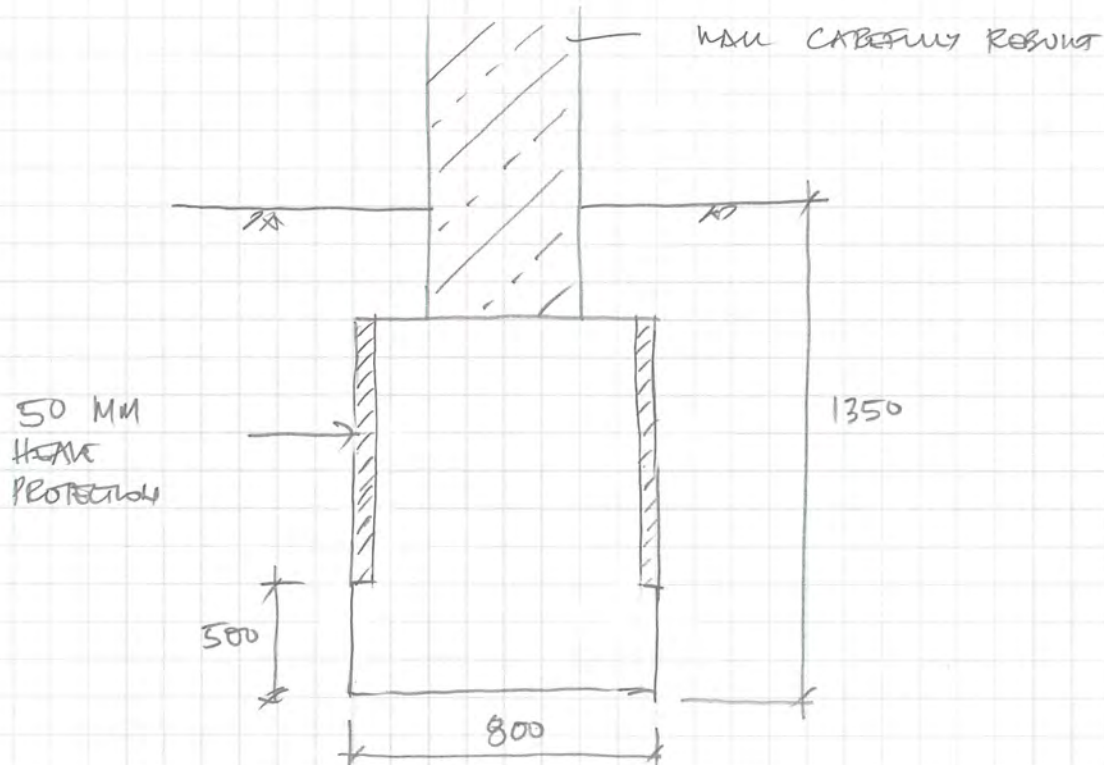
WALL REBUILD.


FROM S.I. W501 soil is classified as CI with  
a plasticity index of 20, 90% passing 425  $\mu$ m.

Trees T1 + T2 from Report by TESSDAW HERITAGE TREES  
are to be removed.

FROM M FOUNDATIONS TO BE 1.35 m DEEP.

PROVIDE 800 GUE 1 TRENCH FULL FOOTING  
WITH 50 MM HEAVE PROTECTION BOTH SIDES



 <b>Tekla</b> Tedds <b>Maughan Reynolds Partnership</b> 3 Gladstone Terrace Gateshead NE8 4DY	Project				Job no.	
	KEEPERS COTTAGE				14218	
	Calcs for				Start page no./Revision	
A1				1		
Calcs by	Calcs date	Checked by	Checked date	Approved by	Approved date	
JRS	12/07/2018					

**FOUNDATIONS NEAR TREES**

In accordance with Appendix B of NHBC Part 4: Foundations - Chapter 4.2

Tedds calculation version 2.0.02

**Site Details**

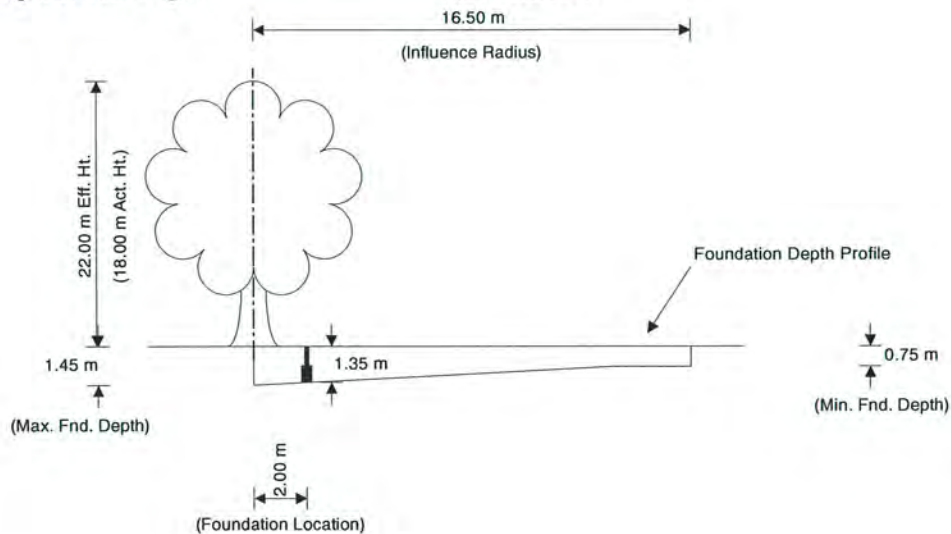
Site location York  
 Reduction depth due to climate variations - Fig. 13  $Z_c = 0.15$  m

**Soil Details**

Plasticity index from lab tests  $I_p = 20$  %  
 Percentage of particles < 425  $\mu$ m  $p_{425} = 90$  %  
 Modified plasticity index - cl. D5(b)  $I'_p = I_p \times p_{425} / 100$  % = 18 %  
 Volume change potential - Table 1 Low


**Details for Tree - 1**

Species of tree Broad leaf - Sycamore  
*The tree is to be removed from the site, and  $H_{act}$  is greater than or equal to 50% of  $H_m$ , with no further planting allowed.*  
 Water demand of tree - Table 12 Moderate  
 Mature height of tree - Table 12  $H_{m1} = 22.00$  m  
 Influence radius - Table 2  $r_{inf1} = 0.75 \times H_{m1} = 16.50$  m  
 Measured height of tree  $H_{act1} = 18.00$  m  
 Distance from centre of tree to face of foundations  $D_1 = 2.00$  m  
 Effective height of tree - Fig. 1  $H_{eff1} = 22.00$  m



Minimum foundation depth - Table 5  $Z_{min} = 0.75$  m  
 Look up value for foundation depth - Chart 3 Soils with LOW volume change potential  
 $Z_{LookUp1} = 1.50$  m  
 Required foundation depth  $Z_{req1} = Z_{LookUp1} - Z_c = 1.35$  m



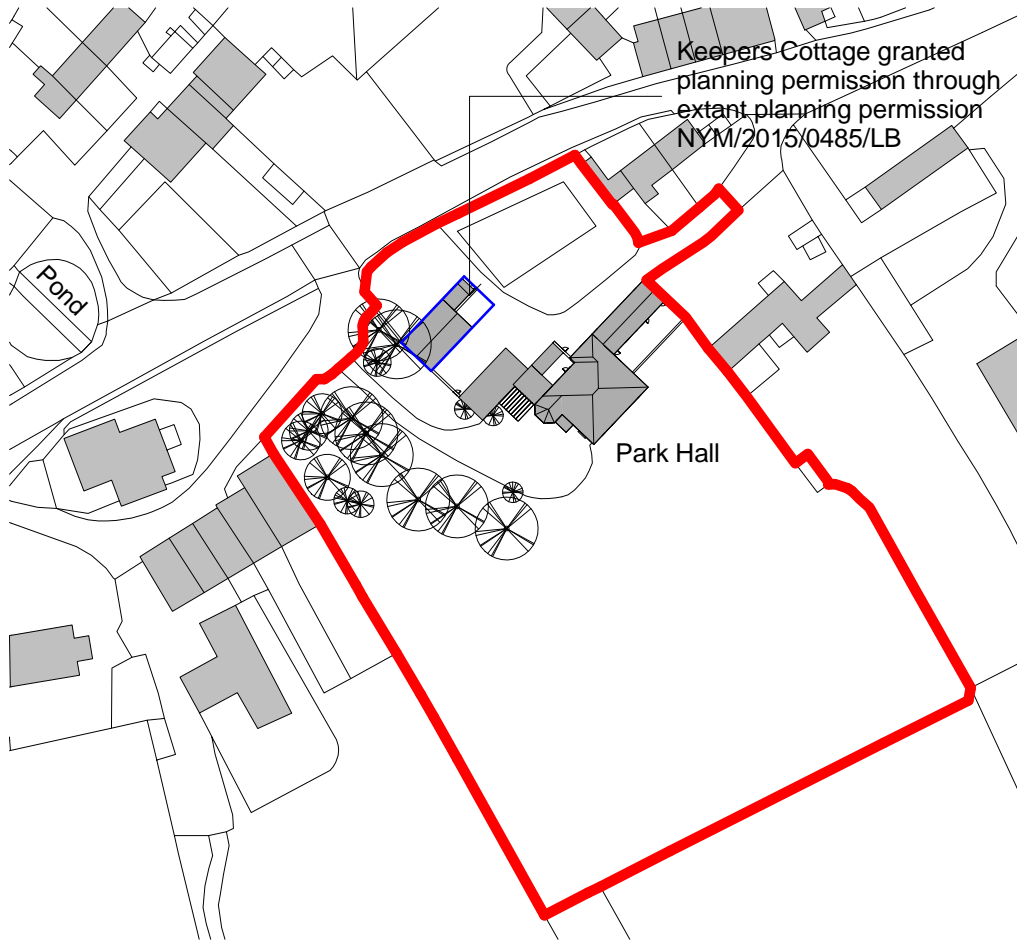
 <b>Tekla</b> Tedds <b>Maughan Reynolds Partnership</b> 3 Gladstone Terrace Gateshead NE8 4DY	Project				Job no.	
	KEEPERS COTTAGE				14218	
	Calcs for				Start page no./Revision	
A1				2		
Calcs by	Calcs date	Checked by	Checked date	Approved by	Approved date	
JRS	12/07/2018					

**Summary Table**

Tree	Name	Distance (m)	Measured Height (m)	Effective Height (m)	Tree to be removed	Required Foundation Depth (m)
1	Sycamore	2.0	18.0	22.0	Yes	1.35

## Appendix 3 – Sanderson Weatherall Drawings

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## Location plan, as existing

1 : 1250

Drawing :

Location plan, as existing



[www.sw-architecture.co.uk](http://www.sw-architecture.co.uk)

Job Ref :  
153092

Dwg No :  
150-01

Revision :

Client :

Dr. Alex Stevenson

Drawn :  
SRi

Checked :  
SRi

Scale : @A4  
1 : 1250

Status :

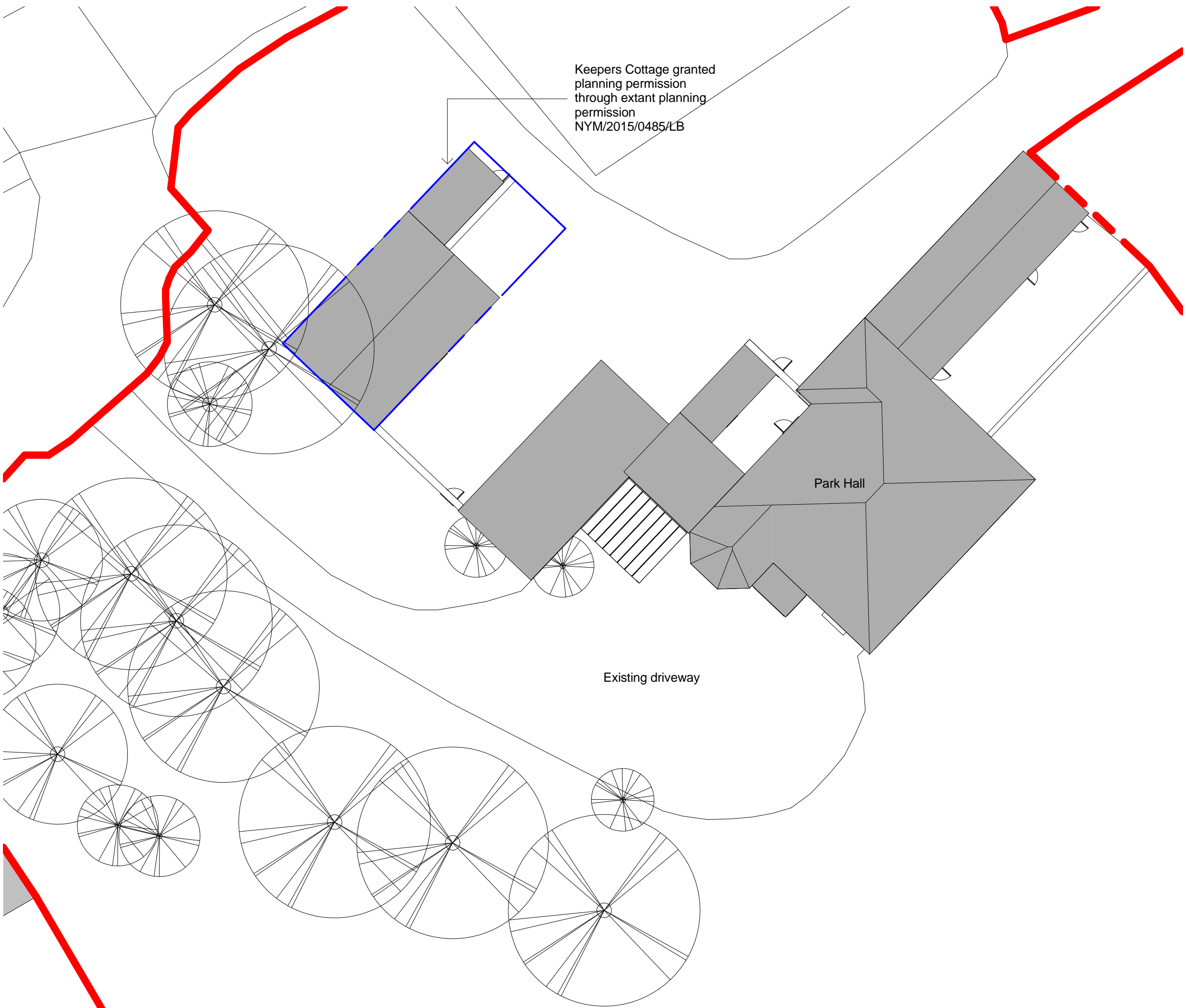
Address : Park Hall, Aislaby

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Revision : \_\_\_\_\_ Drawn : \_\_\_\_\_ Date : \_\_\_\_\_



Sanderson Weatherall LLP 22-24 Gray Street Newcastle upon Tyne NE1 6AD

[www.sw-architecture.co.uk](http://www.sw-architecture.co.uk)

Client :

Dr. Alex Stevenson

Address : Park Hall, Aislaby

Drawing :

Site plan, as existing

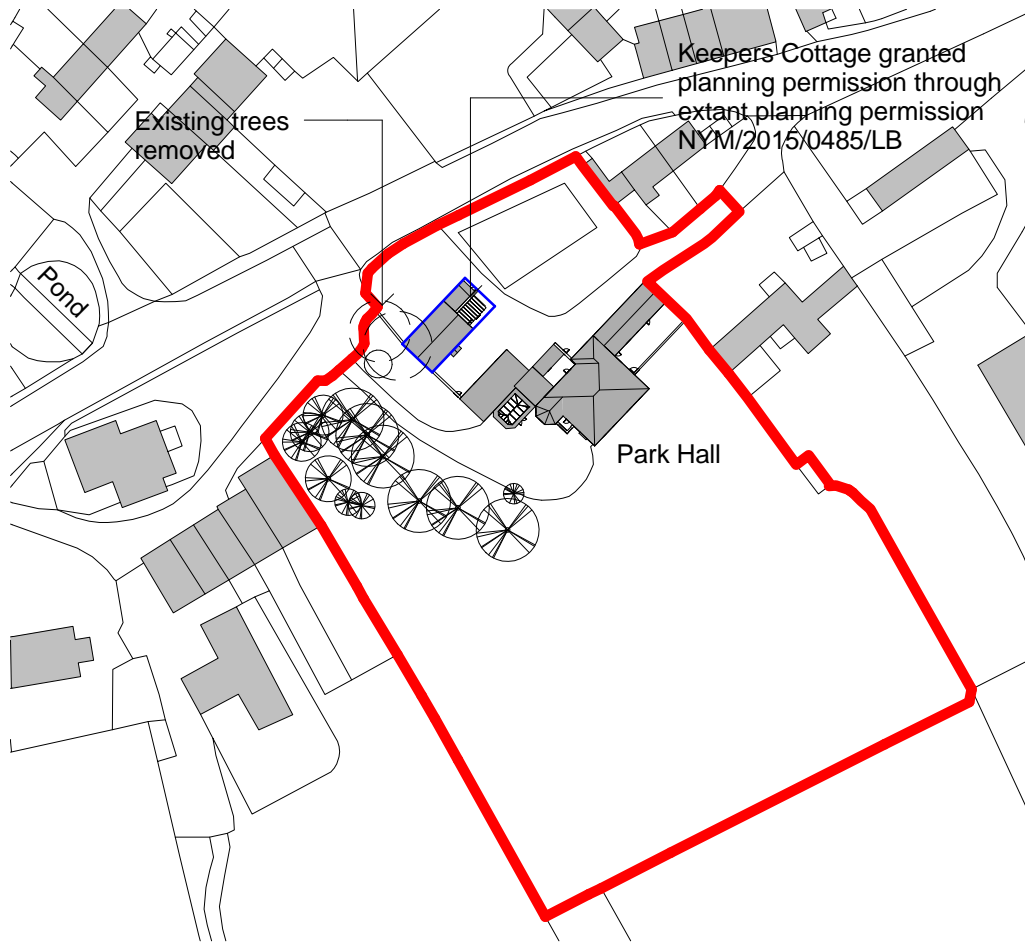
Job Ref : 153092 Dwg No : 150-02 Revision :

Drawn : SRi Checked : SRi Scale : @A3 1 : 200

Status :

**Site plan, as existing**

1 : 200



## Location plan, as proposed

1 : 1250

Drawing :

Location plan, as proposed



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Job Ref :  
153092

Dwg No :  
300-01

Revision :

Client :

Dr. Alex Stevenson

Drawn :  
SRi

Checked :  
SRi

Scale : @A4  
1 : 1250

Status :

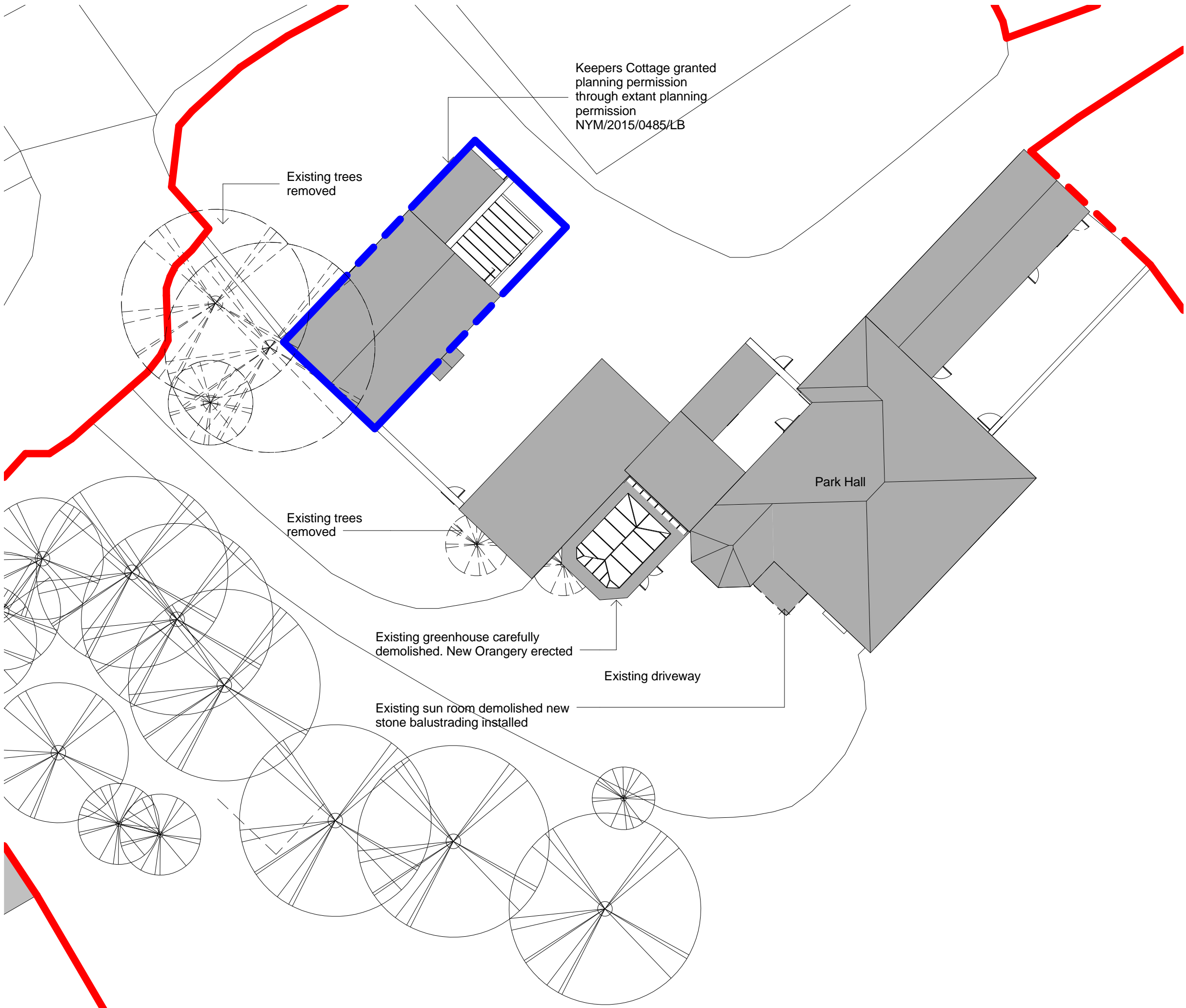
Address : Park Hall, Aislaby

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Revision : \_\_\_\_\_ Drawn : \_\_\_\_\_ Date : \_\_\_\_\_



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Client :  
**Dr. Alex Stevenson**

Address : Park Hall, Aislaby

Drawing :  
**Site plan, as proposed**

Job Ref : <b>153092</b>	Dwg No : <b>300-02</b>	Revision :
Drawn : <b>SRi</b>	Checked : <b>SRi</b>	Scale : @A3 <b>1 : 200</b>

Status :

**Site plan, as proposed**  
1 : 200

Existing boundary wall - This section of stone walling to be carefully taken down and reconstructed in line with the Engineers recommendations.

Existing lath and plaster ceiling to be retained and repaired.

Position of new combi wall mounted boiler in store room. New Flue outlet from combi-boiler

New rear door - new rear door opening formed (see elevation)

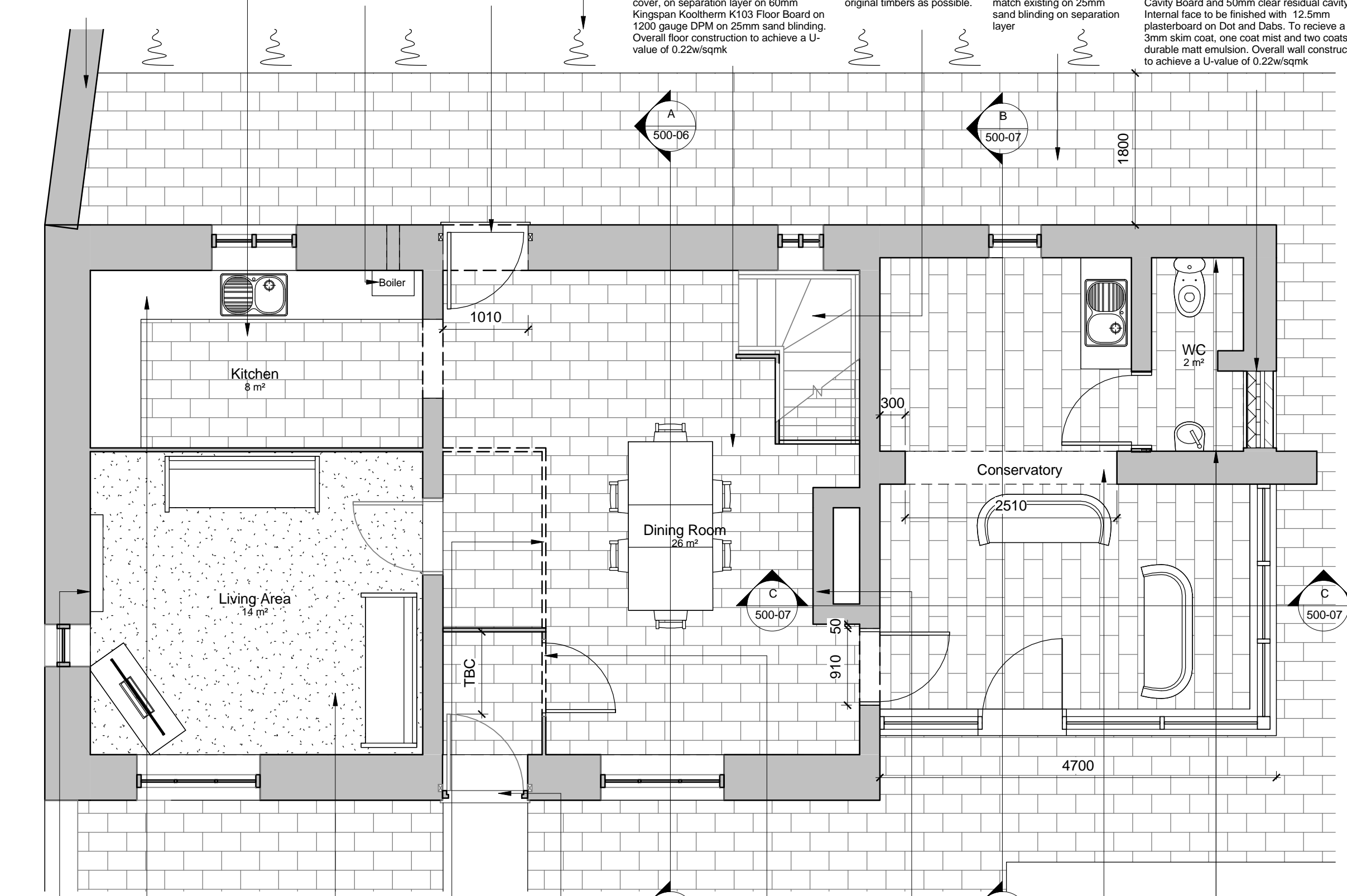
Reform existing landscape

Remove all existing floors to dwelling and out house. Yorkstone paving to match existing bedded on mortar on 100mm concrete slab with 30mm A142 mesh top cover, on separation layer on 60mm Kingspan Kooltherm K103 Floor Board on 1200 gauge DPM on 25mm sand blinding. Overall floor construction to achieve a U-value of 0.22w/sqmk

Staircase, cladding and balustrading to be retained as existing and refurbished retaining as much of the original timbers as possible.

Excavate out ground to the rear of the building, form new paved area consisting of yorkstone paving to match existing on 25mm sand blinding on separation layer

Block up existing doorway with wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk



Existing fireplace and grate to be replaced  
New Kitchen Units

Existing timber floorboards carefully lifted. 100mm Kingspan Kooltherm K103 Floor Boards laid between Joists. Make good floor. Overall floor construction to achieve a U-value of 0.22w/sqmk

Demolish and reuse existing timber panelling

Remove existing door and frame, set in new frame and provide a traditional boarded front door to match existing

carefully remove, clean down and treat for fungal and insect attack and replace in position after completion of new ground floor works using as much of the original timbers as possible.

Existing fireplace and grate to be retained and repaired

Form new opening in wall 2110mm above FFL, provide lintels/steelwork to fully support existing wall above.

Plastered finish to internal walls of the WC

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Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Door NE Elevation Removed	LGa	25/05/18
04 - Living/Kitchen updated	LGa	14/06/18
05 - Conservatory updated	LGa	28/06/18
06 - Floor build-up updated	LGa	28/06/18

**Internal Works to Walls**  
Remove all existing render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls of the main property to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths. Exposed walls in conservatory to be retained, repointed and cleaned.

**New internal doors**  
New ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

**Electrical Works**  
Remove all existing wiring and fittings from the property. A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations (see electrical layout for details and specifications).

**Mechanical Works**  
Remove all existing pipework and installations from the property. A new separate mains water supply is to be provided. Heating and hot water supply is to be provided. Heating and hot water supply is to be provided by an oil fired balanced flue boiler. A new oil storage tank is to be located to the rear of the building capable of being filled from the highway (see mechanical layout dwg for details and specifications).



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Client :  
**Dr. Alex Stevenson**  
Address :  
Park Hall, Aislaby

Drawing :  
**Keepers cottage, Ground floor, as proposed**

Job Ref :	Dwg No :	Revision :
153092	500-01	06
Drawn :	Checked :	Scale : @A3
LGa	DFa	1 : 50

Status :  
**TENDER**

# Keepers Cottage, ground floor, as proposed

1 : 50

Remove all existing wiring and fittings from the property. A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations (see electrical layout for details and specifications).

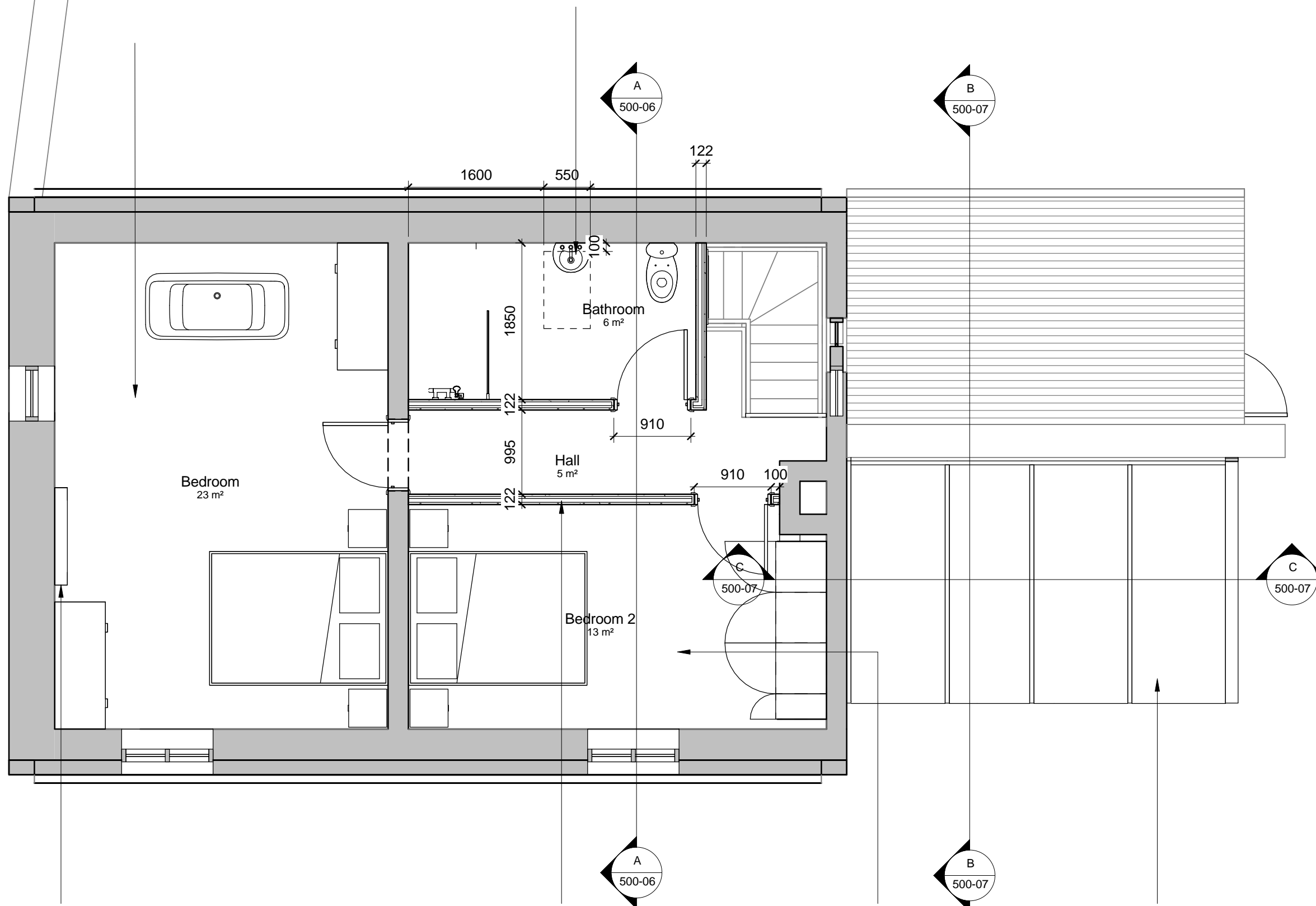
New velux CK04 conservation roof window, 550mm x 980mm with single glazing bar

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Revision : Drawn : Date :

01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03- Bathroom Updated	LGa	14/06/18
04- Conservatory Updated	LGa	28/06/18



**Internal Works to Walls**

Remove all existing render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls of the main property to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths. Exposed walls in conservatory to be retained, repointed and cleaned.

**New internal doors**

New ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

**Electrical Works**

Remove all existing wiring and fittings from the property. A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations (see electrical layout for details and specifications).

**Mechanical Works**

Remove all existing pipework and installations from the property. A new separate mains water supply is to be provided. Heating and hot water supply is to be provided by an oil fired balanced flue boiler. A new oil storage tank is to be located to the rear of the building capable of being filled from the highway (see mechanical layout dwg for details and specifications).

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Client :

Dr. Alex Stevenson

Address :

Park Hall, Aislaby

Drawing :

Keepers cottage, first floor, as proposed

Job Ref : 153092  
Dwg No : 500-02  
Revision : 04

Drawn : LGa  
Checked : DFa  
Scale : @A3  
1 : 50

Status :

TENDER

Existing fireplace and grate to be retained and restored.

New British Gypsum GypWall classic consisting of 2 layers of 12.5mm gyproc wallboard either side of gypframe 70 S 50 C Studs with 25mm Isover Acoustic partition roll in the void. Wall to be finished with 3mm skim finish and to receive 1 coat mist and 2 coats scrubbable matt emulsion

Existing exposed floor joists are generally to be retained. All joists are to be inspected and rotten sections/end are to be renewed with matching spliced timbers. All joists are to be made secure into external walls with MS galvanised straps and to have a minimum of 100mm of good bearing 2no joists parallel to gables to be nagged and strapped to masonry at 900mm. c/c. All straps to be built into walls as directed by CA. Original floor boarding is to be retained where ever possible and any rotten sections replaced with matching new boards. Living room ceiling strip all lime wash/point from joists and underside of floorboards.

Windows and door to be in high performance Slimlite Double Glazed Unit, softwood frames with hardwood cills. All frames to be completely factory finished in gloss finish white.

# Keepers Cottage, first floor, as proposed

1 : 50

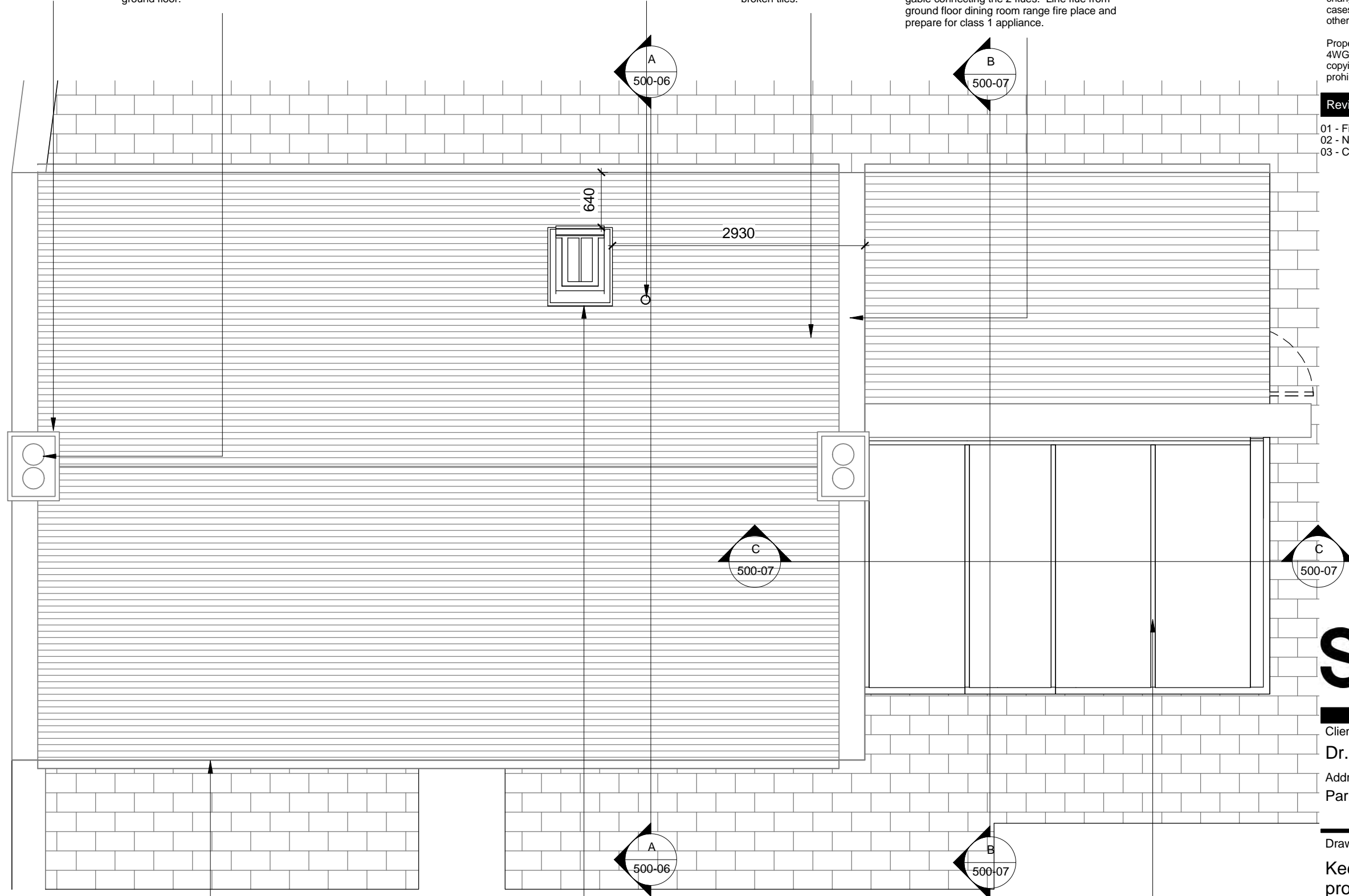


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- Fix new lead flashing to both chimneys
- Repoint existing chimney on west gable and re-bed pots. Reline flue to ground floor.
- New vent to first floor bathroom
- Clear all debris from roofs and replace any cracked or broken tiles.
- Remove upper gable coping stones to east gable and rebuild chimney to match that at the west gable connecting the 2 flues. Line flue from ground floor dining room range fire place and prepare for class 1 appliance.

Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Conservatory updated	LGa	28/06/18



Strip off existing rainwater goods and replace with cast iron rainwater goods fixed with gutter spikes, finished in black.

New velux CK04 conservation roof window, 550mm x 980mm with single glazing bar

New proprietary conservatory, double glazed

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Part of Sanderson Weatherall

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Client :  
**Dr. Alex Stevenson**

Address :  
Park Hall, Aislaby

Drawing :  
**Keepers cottage, roof plan, as proposed**

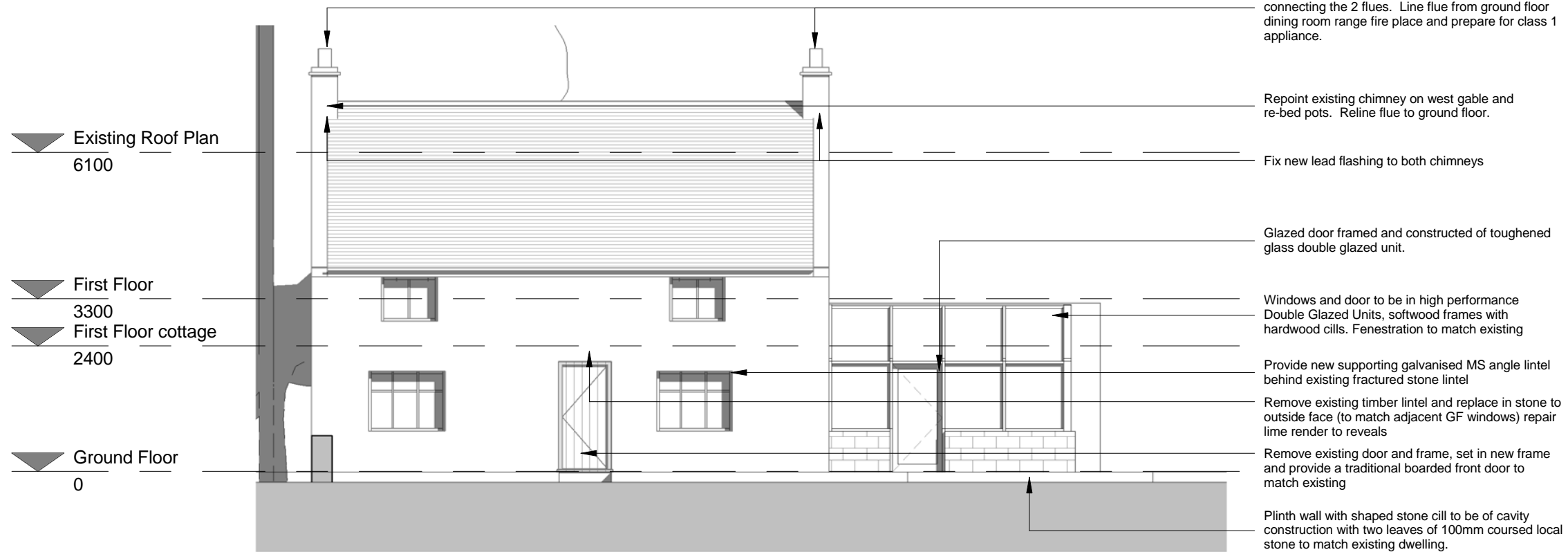
Job Ref : 153092      Dwg No : 500-03      Revision : 03

Drawn : LGa      Checked : DFa      Scale : @A3  
1 : 50

Status :  
**TENDER**

# Keepers cottage, roof plan, as proposed

1 : 50



Remove upper gable coping stones to east gable and rebuild chimney to match that at the west gable connecting the 2 flues. Line flue from ground floor dining room range fire place and prepare for class 1 appliance.

Repoint existing chimney on west gable and re-bed pots. Reline flue to ground floor.

Fix new lead flashing to both chimneys

Glazed door framed and constructed of toughened glass double glazed unit.

Windows and door to be in high performance Double Glazed Units, softwood frames with hardwood cills. Fenestration to match existing

Provide new supporting galvanised MS angle lintel behind existing fractured stone lintel

Remove existing timber lintel and replace in stone to outside face (to match adjacent GF windows) repair lime render to reveals

Remove existing door and frame, set in new frame and provide a traditional boarded front door to match existing

Plinth wall with shaped stone cill to be of cavity construction with two leaves of 100mm coursed local stone to match existing dwelling.

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Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Conservatory updated	LGa	28/06/18

## Keepers cottage, south-east elevation, as proposed

1 : 100



New vent to first floor bathroom

Clear all debris from roofs and replace any cracked or broken tiles.

New bathroom roof light. Roof light consideration type ref CR-1.

Strip off existing rainwater goods and replace with cast iron rainwater goods fixed with gutter spikes, finished in black.

Remove existing rotten roof structure completely and salvage all re-usable clay pan tiles. Construct new roof of cut softwood. Rafter with centre purlin, breathable felt counter battens, battens and replace original tiles plus additional (off site) salvaged material.

Remove brickwork sealing window and provide new window.

Provide new frame a ledged and framed door with toughened glass double glazed viewing panel to achieve a centre pane U-value of 1.8W/sqm.K

New Flue outlet from combi-boiler

Reduce existing external ground levels adjacent to the building to be a minimum of 150mm below finished floor levels.

### External to main outside walls

Rake out all mortar joints, wash with water and refill and repoint with recessed, bagged joints. Works of pointing, filling and bedding to be undertaken in a lime mortar mix of 1; 2 1/2 (lime; sand/ sand mix of 50% sieved sharp sand and 50% builder's sand) with a slightly recessed bagged finish.

### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimline double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

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Client :

Dr. Alex Stevenson

Address :

Park Hall, Aislaby

Drawing :

Keepers cottage, South-East and North-West elevation, as proposed

Job Ref : 153092      Dwg No : 500-04      Revision : 03

Drawn : LGa      Checked : DFa      Scale : @A3  
1 : 100

Status :

TENDER

## Keepers cottage, north-west elevation, as proposed

1 : 100

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Carry out remedial work to North east again to provide bond between east and north walls, re-bed existing stones and use new stone where necessary. Walls to be tied together using stainless steel rods bedded into the mortar joints where appropriate.

Remove climbing plant, strip off old greenhouse roof and flashings and replace and repoint to match existing. Provide new stone lintel over window to match existing and rebuild loose stone work around window.

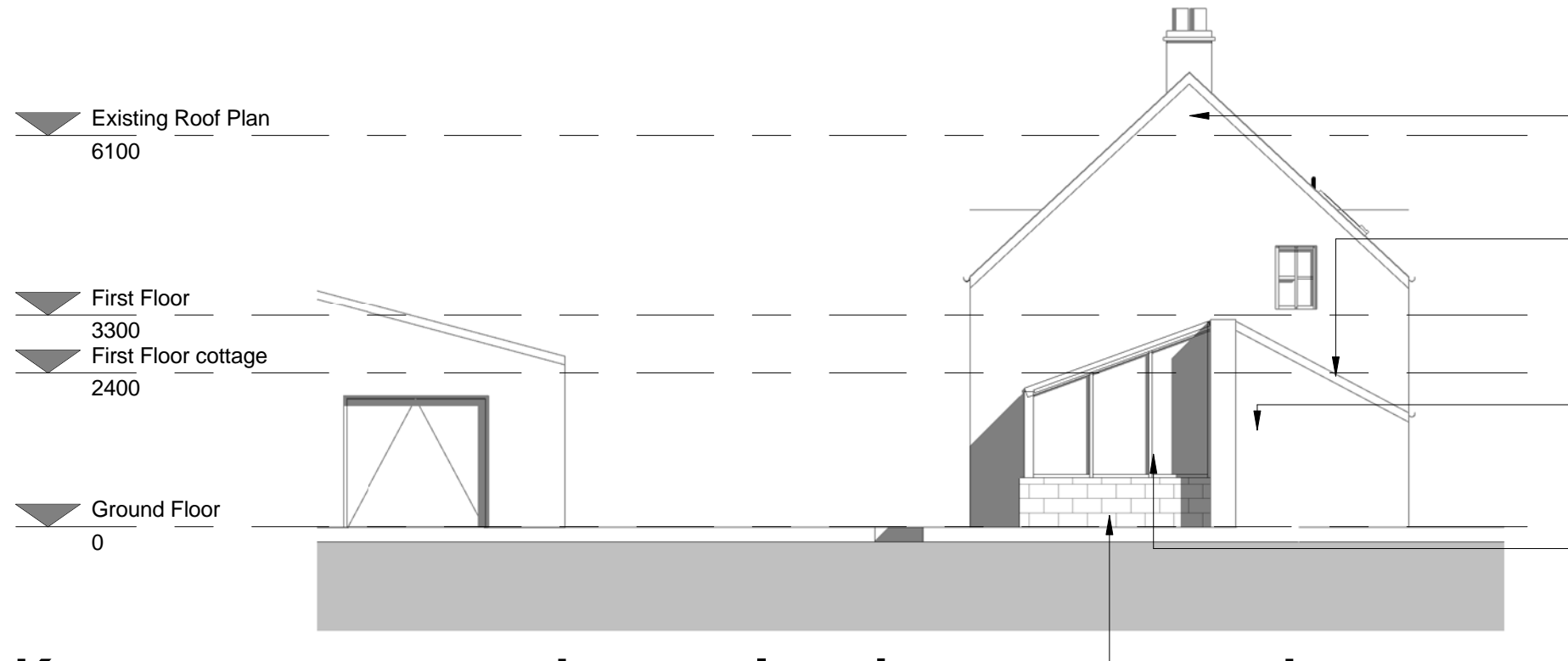
Block up existing doorway with wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqm

Windows and door to be in high performance Double Glazed Units, softwood frames with hardwood cills. Fenestration to match existing

Plinth wall with shaped stone cill to be of cavity construction with two leaves of 100mm coursed local stone to match existing dwelling. Glazed roof to be constructed with proprietary lead covered bars

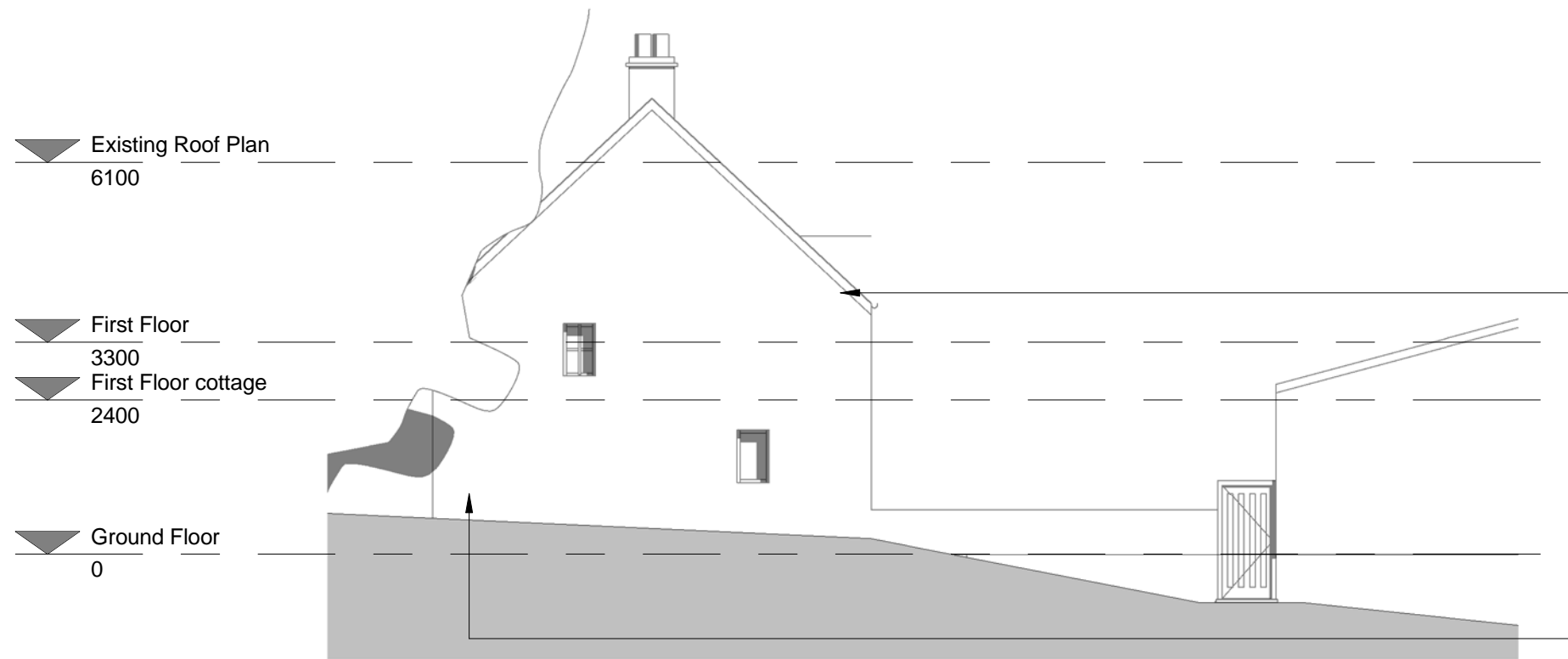
Re-bed existing copings using lime mortar on full width horizontal damp proof membrane. Provide lead soakers and flashings to extend down into the bowl of adjacent pantries.

Remove existing ivy and kill roots. Clear debris from base of wall and provide drain away from existing channel to discharge paint near gate to allow water to run away from structure.



## Keepers cottage, north-east elevation, as proposed

1 : 100



## Keepers cottage, south-west elevation, as proposed

1 : 100

### External to main outside walls

Rake out all mortar joints, wash with water and refill and repoint with recessed, bagged joints. Works of pointing, filling and bedding to be undertaken in a lime mortar mix of 1; 2 1/2 (lime; sand) sand mix of 50% sieved sharp sand and 50% builder's sand) with a slightly recessed bagged finish.

### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimlite double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

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Part of Sanderson Weatherall

[www.sw-architecture.co.uk](http://www.sw-architecture.co.uk)

Client :

**Dr. Alex Stevenson**

Address :

Park Hall, Aislaby

Drawing :

**Keepers cottage, North-East and South-West elevation, as proposed**

Job Ref : 153092      Dwg No : 500-05      Revision : 04

Drawn : LGa      Checked : DFa      Scale : @A3  
1 : 100

Status :

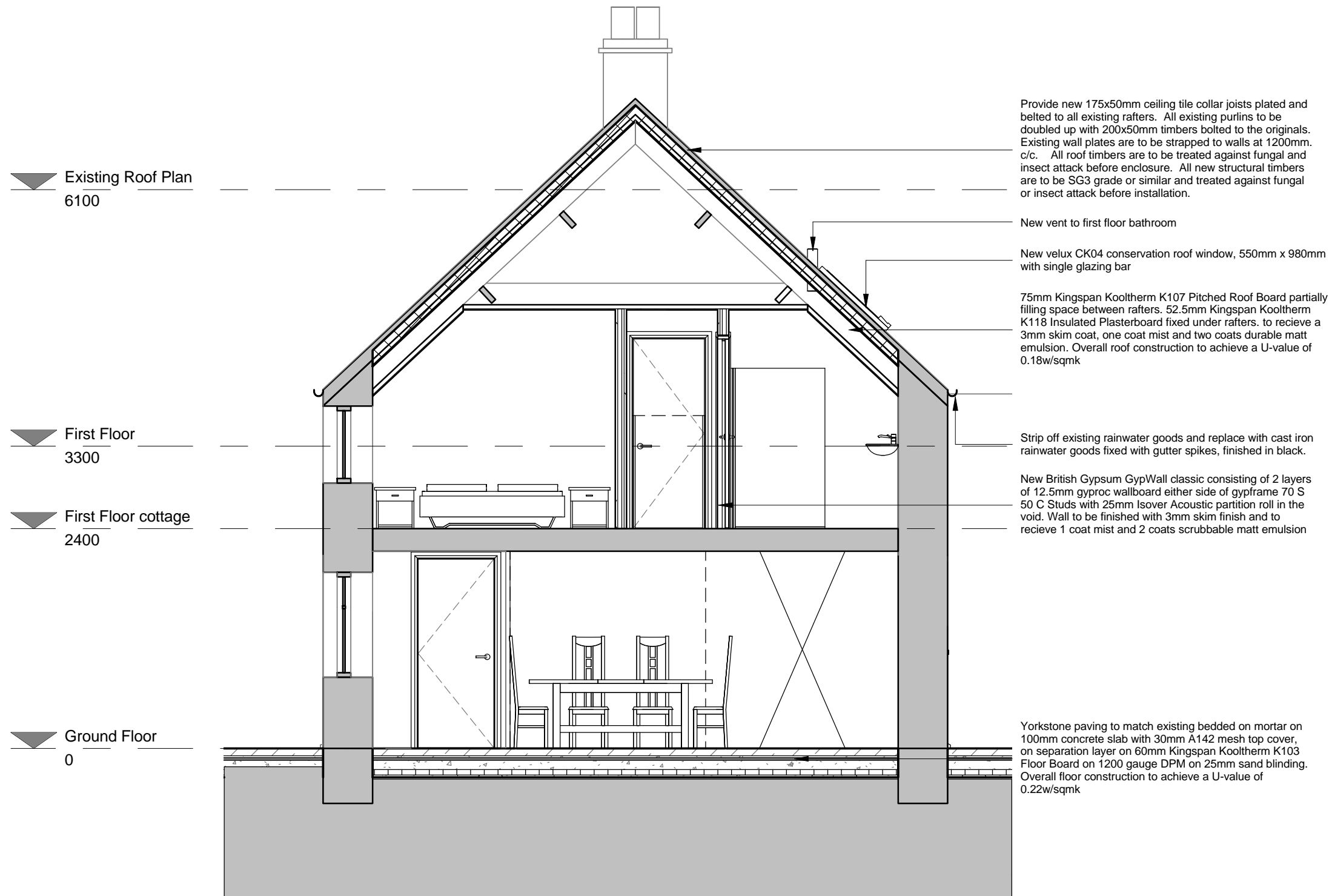
**TENDER**

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Revision : Drawn : Date :

01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Existing roof structure updated	LGa	18/06/18
04 - Floor build-up updated	LGa	28/06/18



#### Internal Works to Walls

Remove all existing loose render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths.

#### New internal doors

New framed, ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

#### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimline double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

Carefully remove and retain all existing window hinges, cill boards and window seats and replace using new material to replicate the original construction where necessary. All windows to have molded architraves to match existing.

**SW Architecture**  
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Client :

Dr. Alex Stevenson

Address :

Park Hall, Aislaby

Drawing :

Keepers cottage, Section A/a, as proposed

Job Ref : 153092 Dwg No : 500-06 Revision : 04

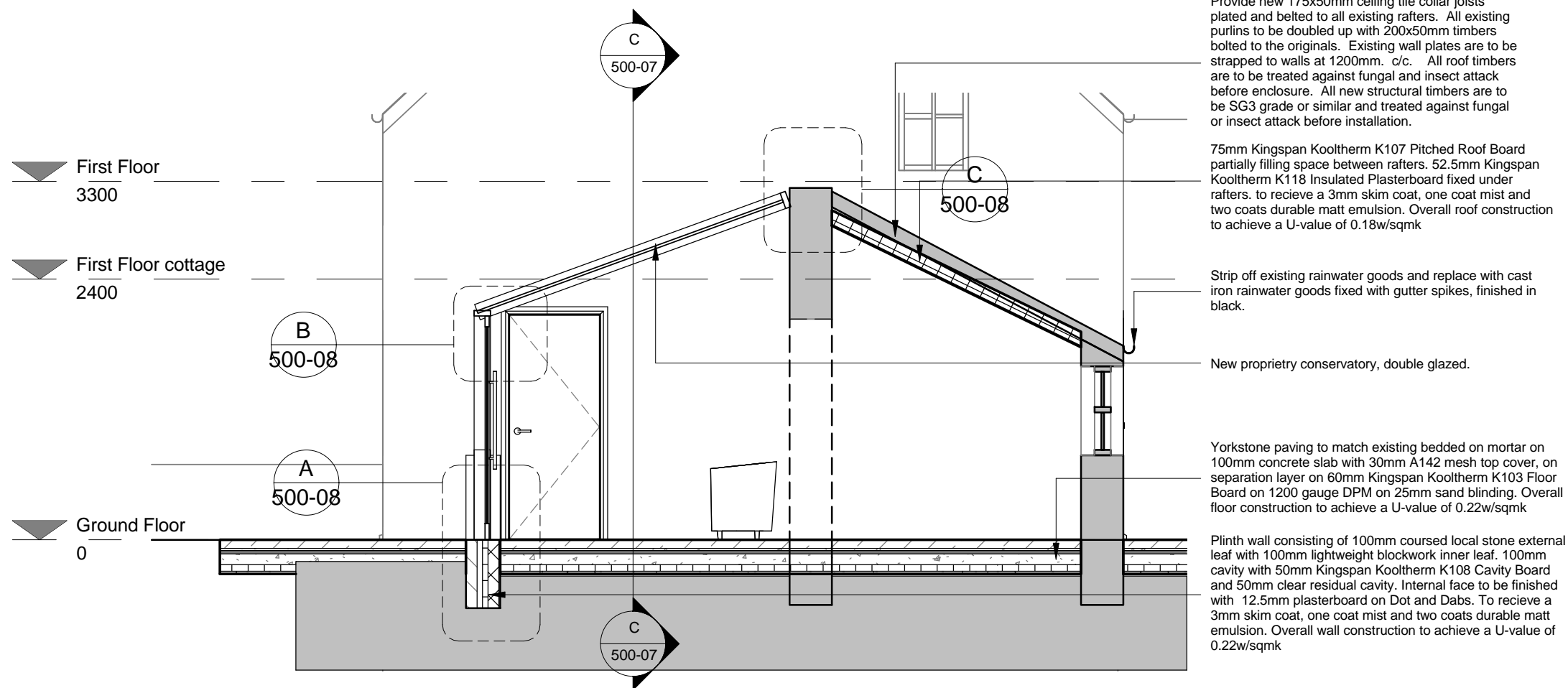
Drawn : LGa Checked : DFa Scale : @A3 1 : 50

Status :

TENDER

# Keepers Cottage, Section A/a, as proposed

1 : 50



Provide new 175x50mm ceiling tile collar joists plated and belted to all existing rafters. All existing purlins to be doubled up with 200x50mm timbers bolted to the originals. Existing wall plates are to be strapped to walls at 1200mm. c/c. All roof timbers are to be treated against fungal and insect attack before enclosure. All new structural timbers are to be SG3 grade or similar and treated against fungal or insect attack before installation.

75mm Kingspan Kooltherm K107 Pitched Roof Board partially filling space between rafters. 52.5mm Kingspan Kooltherm K118 Insulated Plasterboard fixed under rafters. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall roof construction to achieve a U-value of 0.18w/sqmk

Strip off existing rainwater goods and replace with cast iron rainwater goods fixed with gutter spikes, finished in black.

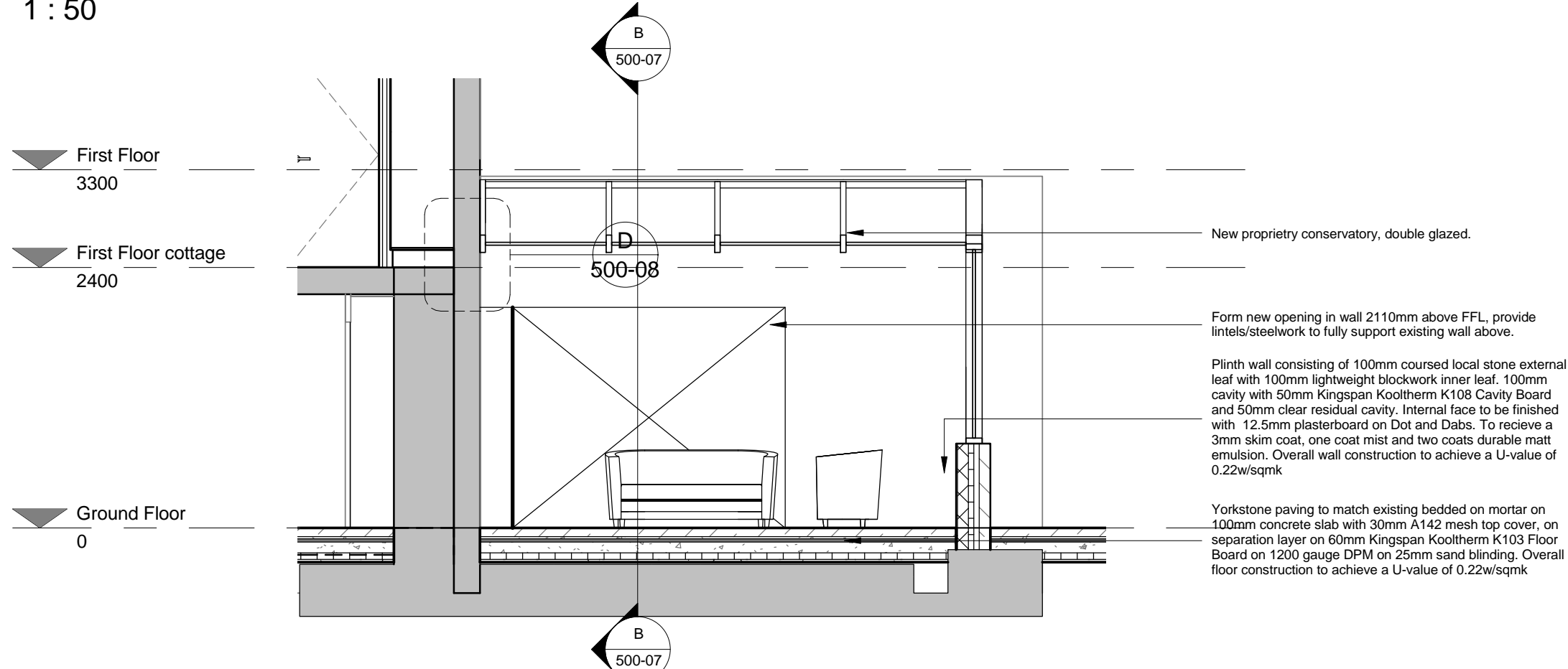
New proprietary conservatory, double glazed.

Yorkstone paving to match existing bedded on mortar on 100mm concrete slab with 30mm A142 mesh top cover, on separation layer on 60mm Kingspan Kooltherm K103 Floor Board on 1200 gauge DPM on 25mm sand blinding. Overall floor construction to achieve a U-value of 0.22w/sqmk

Plinth wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk

## Keepers Cottage, Section B/b, as proposed

1 : 50



New proprietary conservatory, double glazed.

Form new opening in wall 2110mm above FFL, provide lintels/steelwork to fully support existing wall above.

Plinth wall consisting of 100mm coursed local stone external leaf with 100mm lightweight blockwork inner leaf. 100mm cavity with 50mm Kingspan Kooltherm K108 Cavity Board and 50mm clear residual cavity. Internal face to be finished with 12.5mm plasterboard on Dot and Dabs. To receive a 3mm skim coat, one coat mist and two coats durable matt emulsion. Overall wall construction to achieve a U-value of 0.22w/sqmk

Yorkstone paving to match existing bedded on mortar on 100mm concrete slab with 30mm A142 mesh top cover, on separation layer on 60mm Kingspan Kooltherm K103 Floor Board on 1200 gauge DPM on 25mm sand blinding. Overall floor construction to achieve a U-value of 0.22w/sqmk

## Keepers Cottage, Section C/c, as proposed

1 : 50

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Revision : Drawn : Date :

01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Conservatory updated	LGa	28/06/18
04 - Floor build-up updated	LGa	28/06/18

### Internal Works to Walls

Remove all existing loose render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths.

### New internal doors

New framed, ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) all doors to have Suffolk latches.

### Window Frames

Remove all existing window frames and replace with new high performance side hung casement frames (see elevations for design) constructed in treated selected softwood with hardwood cills. Slimline double glazed unit to achieve a centre pane U-value of 1.8W/sqm.K. All frames to be primed and undercoated to receive final coat on site. Catches to be (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

Carefully remove and retain all existing window hinges, cill boards and window seats and replace using new material to replicate the original construction where necessary. All windows to have molded architraves to match existing.

**SW Architecture**  
Part of Sanderson Weatherall

[www.sw-architecture.co.uk](http://www.sw-architecture.co.uk)

Client :

Dr. Alex Stevenson

Address :

Park Hall, Aislaby

Drawing :

Keepers cottage, Section B/b and C/c, as proposed

Job Ref : 153092 Dwg No : 500-07 Revision : 04

Drawn : LGa Checked : DFa Scale : @A3 1 : 50

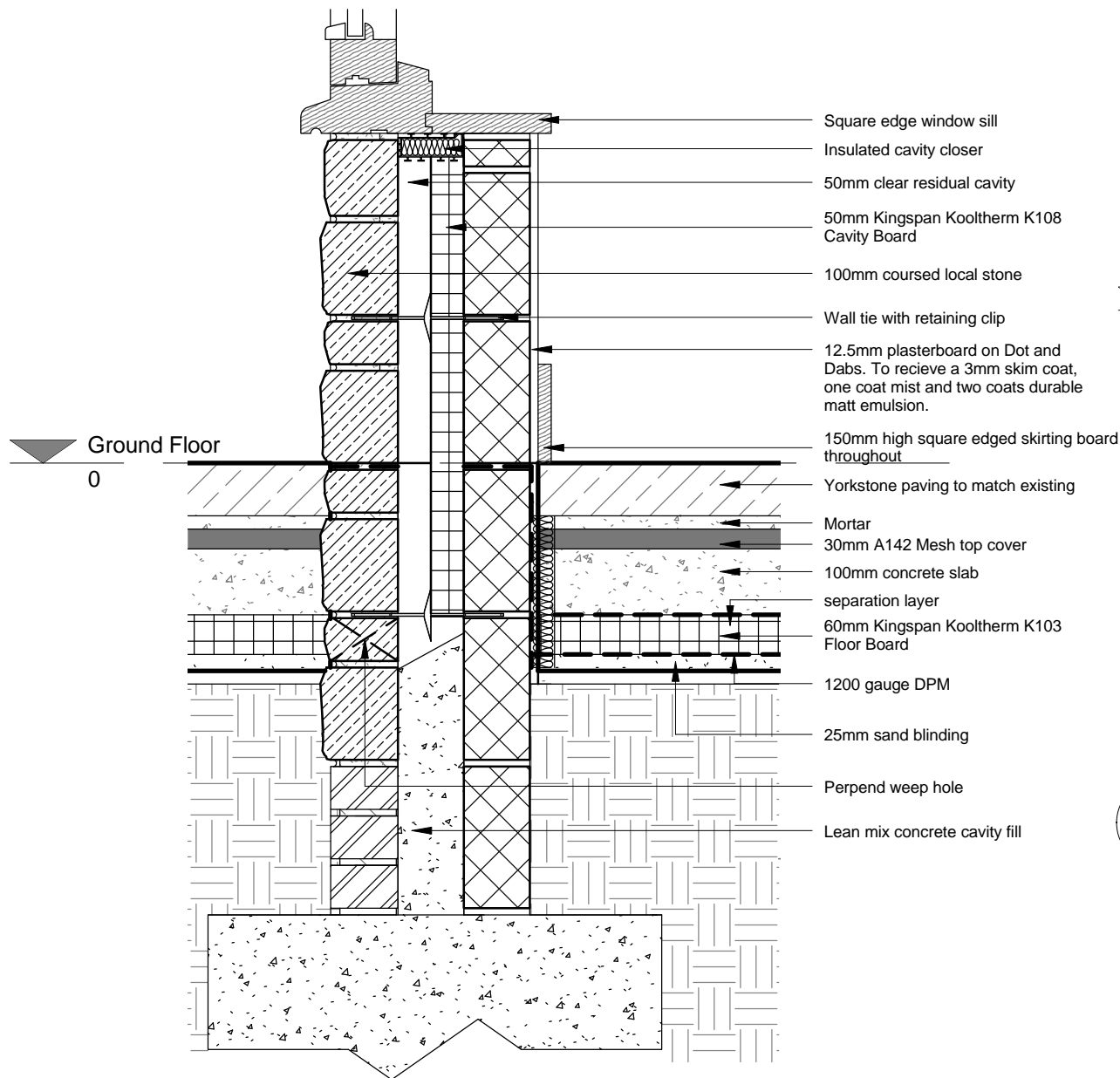
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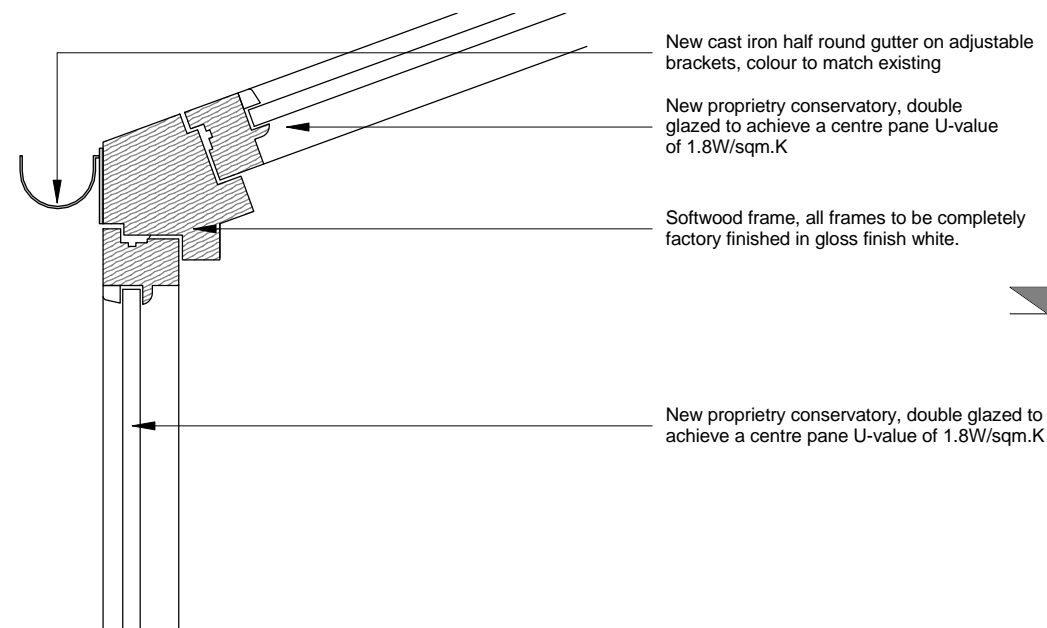
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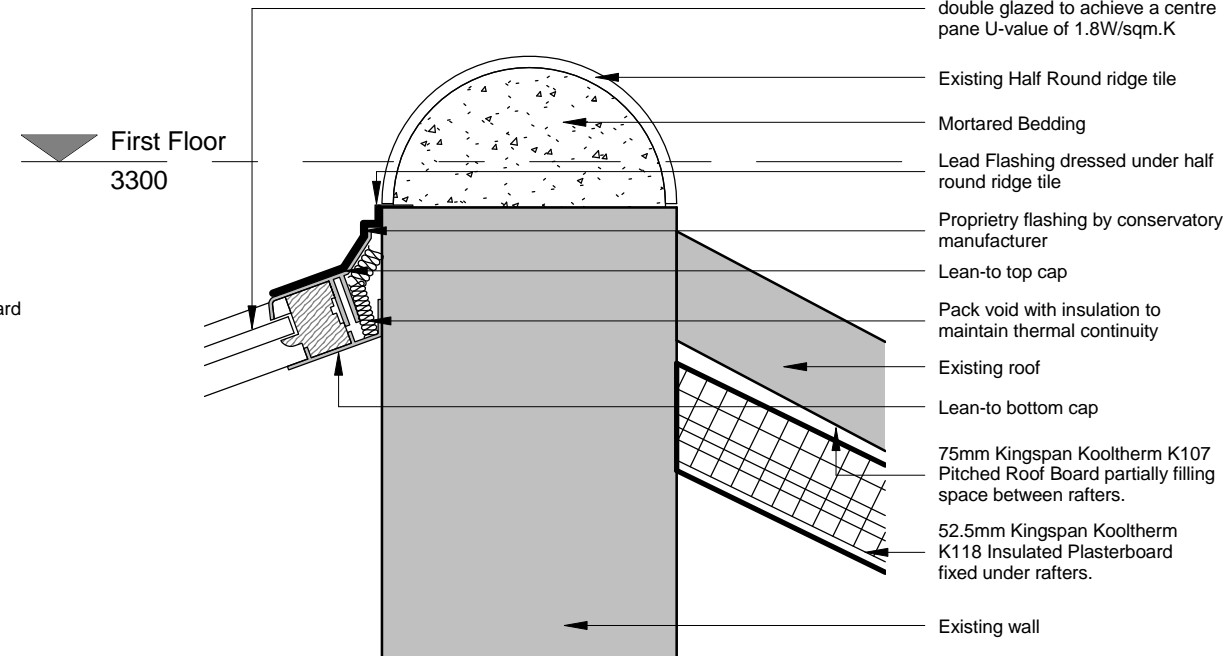
Revision :	Drawn :	Date :
01 - First Issue	LGa	23/03/18
02 - Notes updated	LGa	25/05/18
03 - Conservatory updated	LGa	28/06/18
04 - Floor build-up updated	LGa	28/06/18



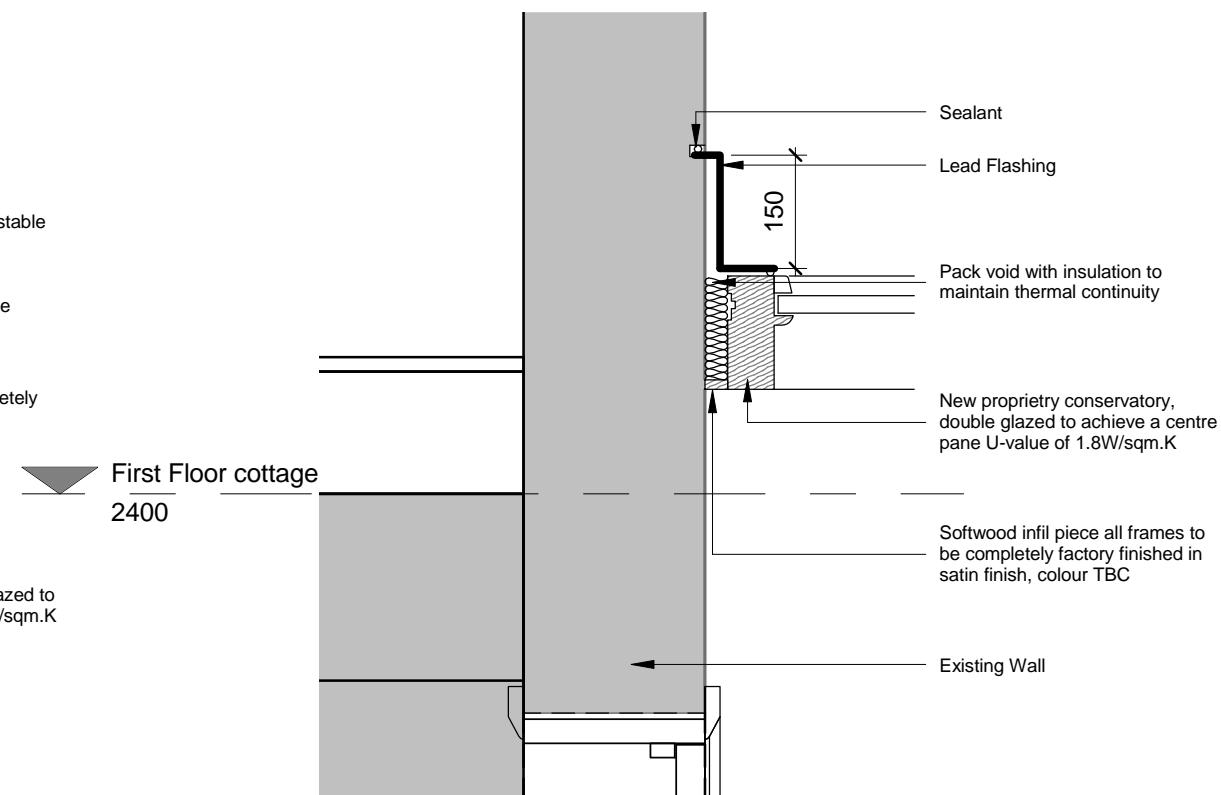
**A Dwarf wall base detail, design intent**  
1 : 10



**B Eaves detail, design intent**  
1 : 10



**C Ridge detail, design intent**  
1 : 10



**D Junction detail, design intent**  
1 : 10

**SWArchitecture**  
Part of Sanderson Weatherall

[www.sw-architecture.co.uk](http://www.sw-architecture.co.uk)

Client :  
**Dr. Alex Stevenson**  
Address :  
Park Hall, Aislaby

Drawing :  
**Keepers cottage, conservatory details, as proposed**

Job Ref : 153092      Dwg No : 500-08      Revision : 04

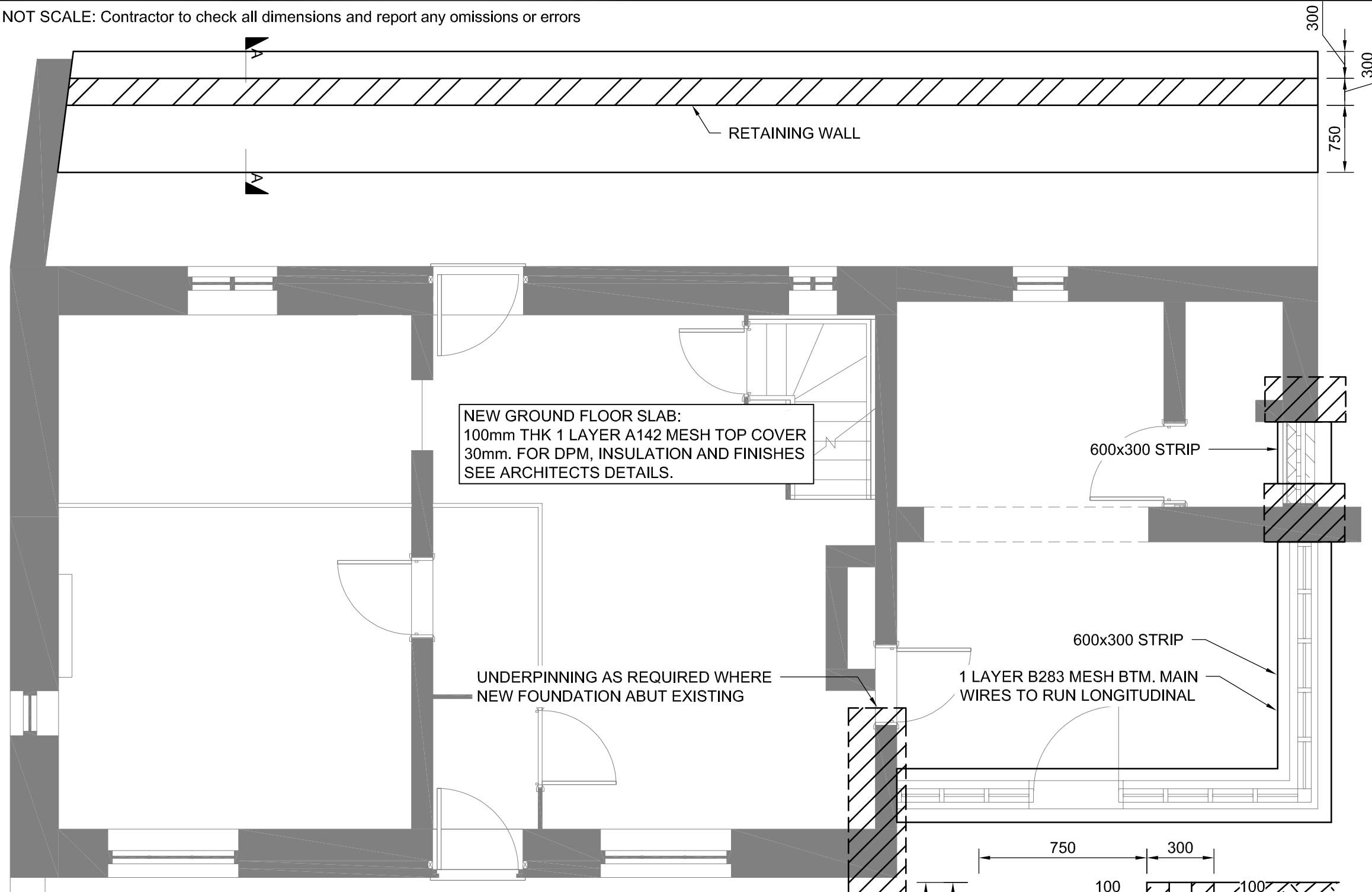
Drawn : LGa      Checked : DFa      Scale : @A3 1 : 10

Status :  
**TENDER**

## Appendix 4 – Maughan Reynolds Detail

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DO NOT SCALE: Contractor to check all dimensions and report any omissions or errors



**FOUNDATION PLAN**

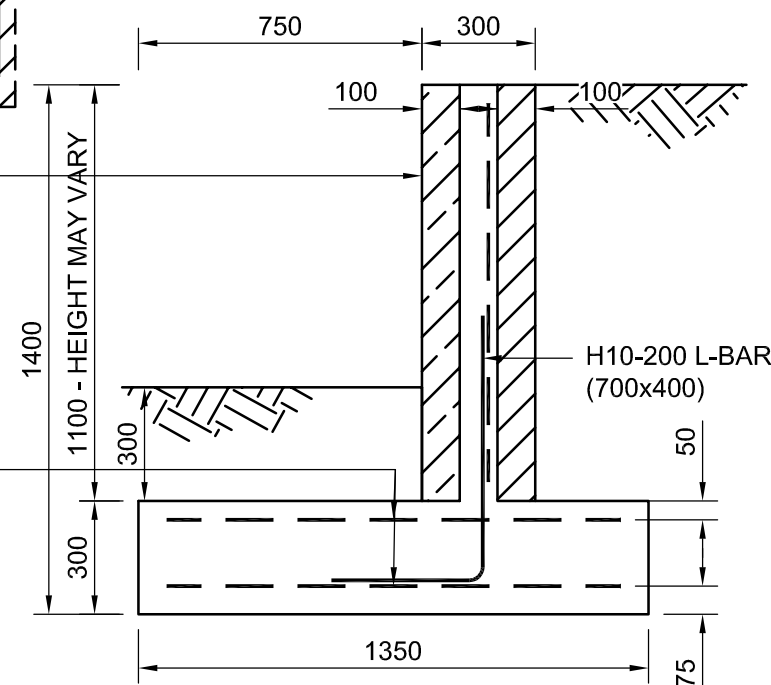
SCALE 1:50

300mm THK WALL: 100mm NATURAL STONE INNER FACE, 100mm CONCRETE FILLED CAVITY WITH A393 MESH AND 100mm THK 10.4N BLOCK WORK REAR FACE. WALL TIED WITH ANCON ST1 TIES AT 700mm C/C HORIZONTALLY AND 450mm C/C VERTICALLY.

A393 MESH TOP AND BOTTOM

**SECTION A-A**

SCALE 1:20



**NOTES**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL RELEVANT HEALTH AND SAFETY LEGISLATION, THE PRE-TENDER HEALTH & SAFETY PLAN, THE DESIGNERS RISK ASSESSMENTS INCLUDING TAKINGS INTO ACCOUNT THE SITE FEATURES.

REV	DATE	MODIFICATIONS

CLIENT:  
SANDERSON WEATHERALL

PROJECT:  
KEEPERS COTTAGE, AISALBY

TITLE:  
FOUNDATION PLAN

SCALES AS SHOWN @ A3

**MAUGHAN REYNOLDS PARTNERSHIP LTD**  
**CONSULTING ENGINEERS**  
3 GLADSTONE TERRACE  
GATESHEAD  
TYNE & WEAR NE8 4DY

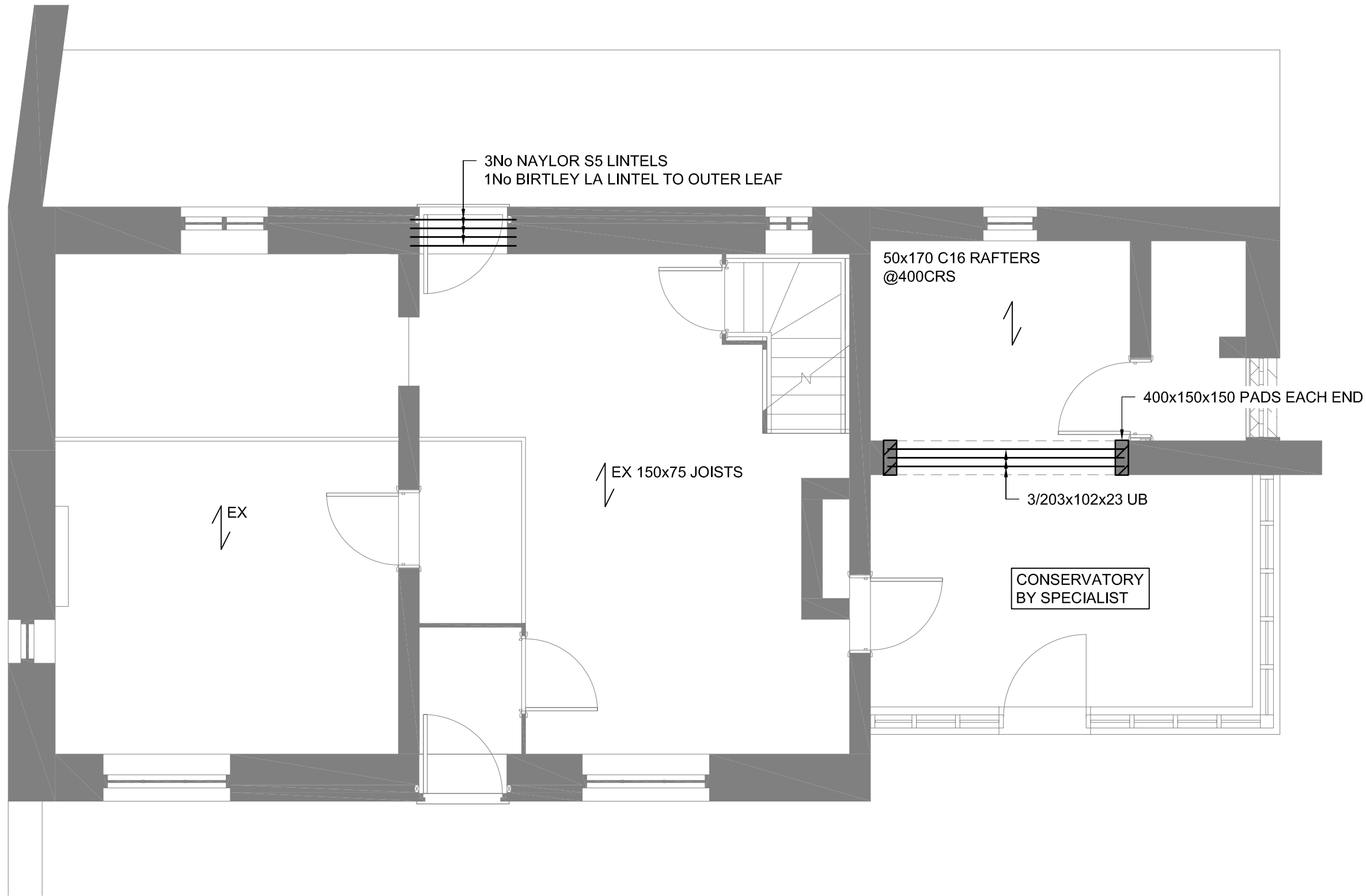
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DRG No.	date: 12/06/2018
14218-001	drawn by: JR
	checked by: JRS



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 Last saved by: JUTARIMSA Last Plotted: 2018-06-13



## GRPUND FLOOR PLAN

(SHOWING STRUCTURE OVER)

SCALE 1:50

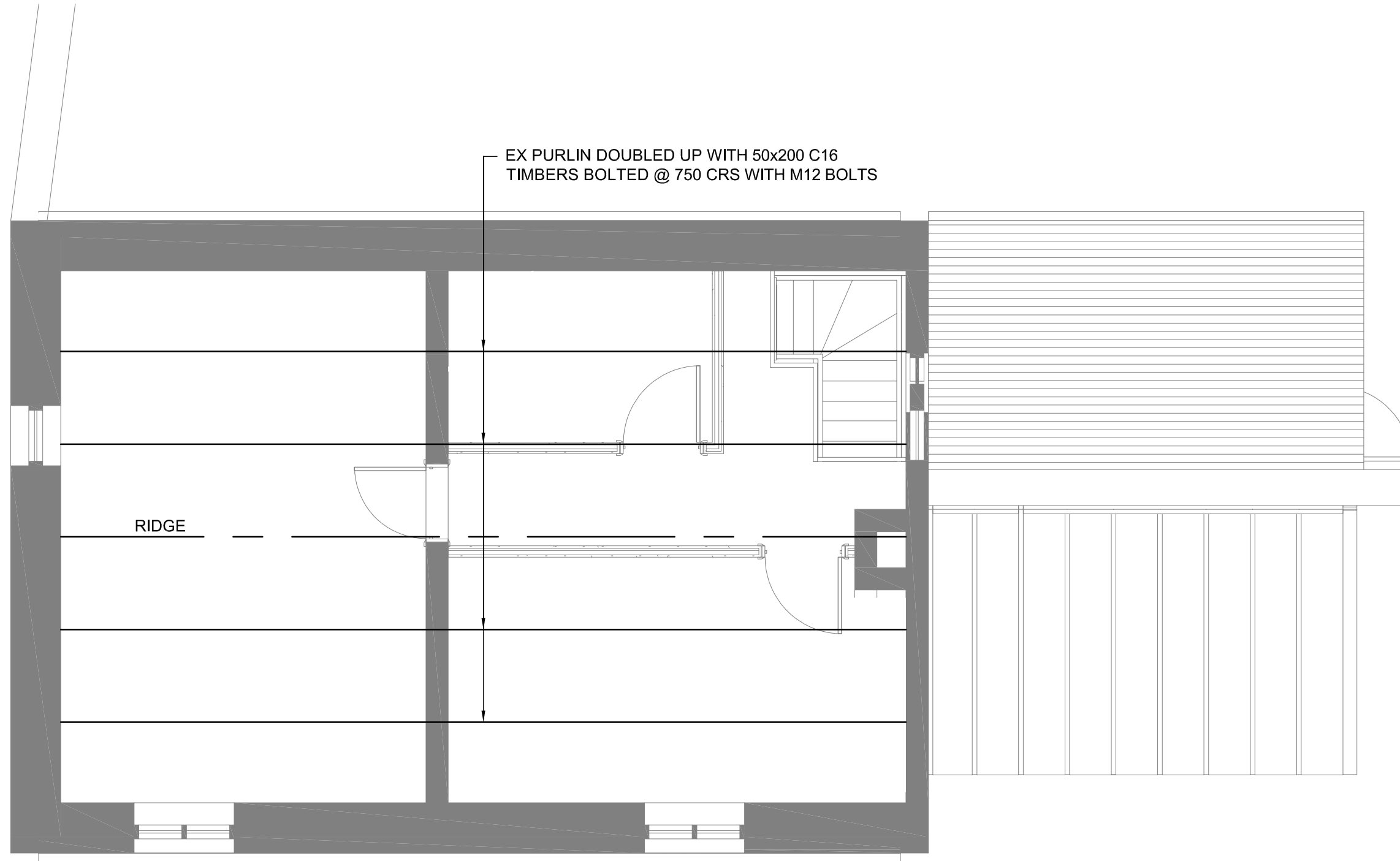
### NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES.
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REV	DATE	MODIFICATIONS
CLIENT: SANDERSON WEATHERALL		
PROJECT: KEEPERS COTTAGE, AISALBY		
TITLE: GROUND FLOOR PLAN		
SCALES		AS SHOWN @ A3
<b>MAUGHAN REYNOLDS                  PARTNERSHIP LTD</b>  <b>CONSULTING ENGINEERS</b>  3 GLADSTONE TERRACE GATESHEAD TYNE & WEAR NE8 4DY		
DRG No. 14218-002		date: 12/06/2018 drawn by: JR checked by: JRS

DO NOT SCALE: Contractor to check all dimensions and report any omissions or errors

Filename: G:\PROJECTS\2018\10018 - 14918\14218 - KEEPERS COTTAGE, AISALBY\DRAWINGS\OUTGOING\CONSTRUCTION\14218-003.DWG  
 Last saved by: JUTARIMSA Last Plotted: 2018-06-13



# FIRST FLOOR PLAN

(SHOWING STRUCTURE OVER)

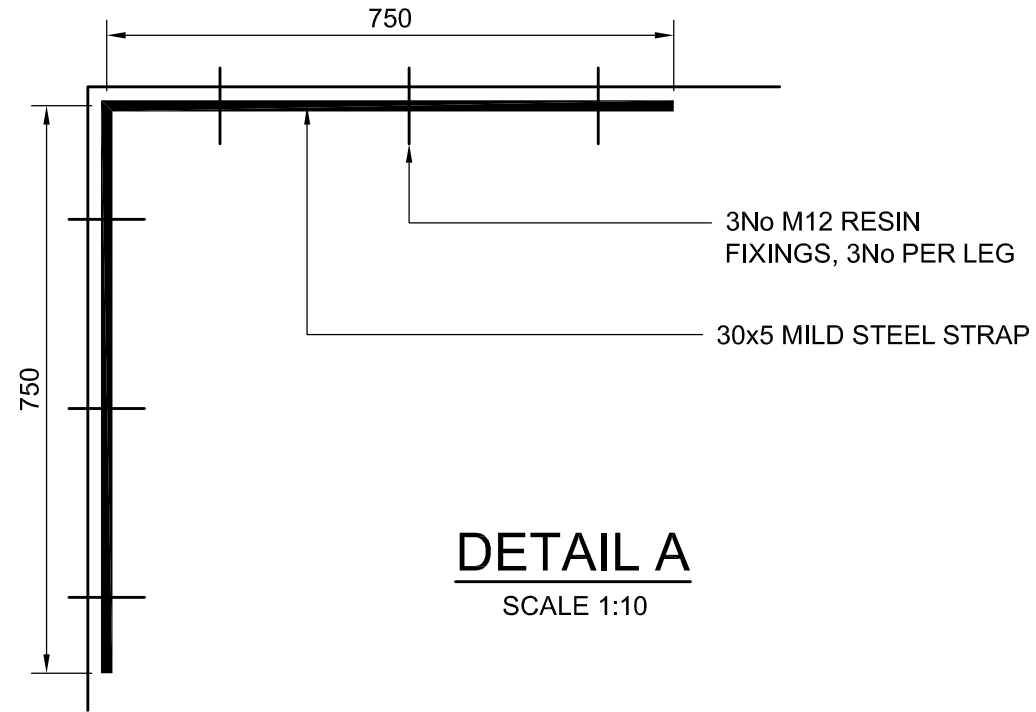
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## NOTES

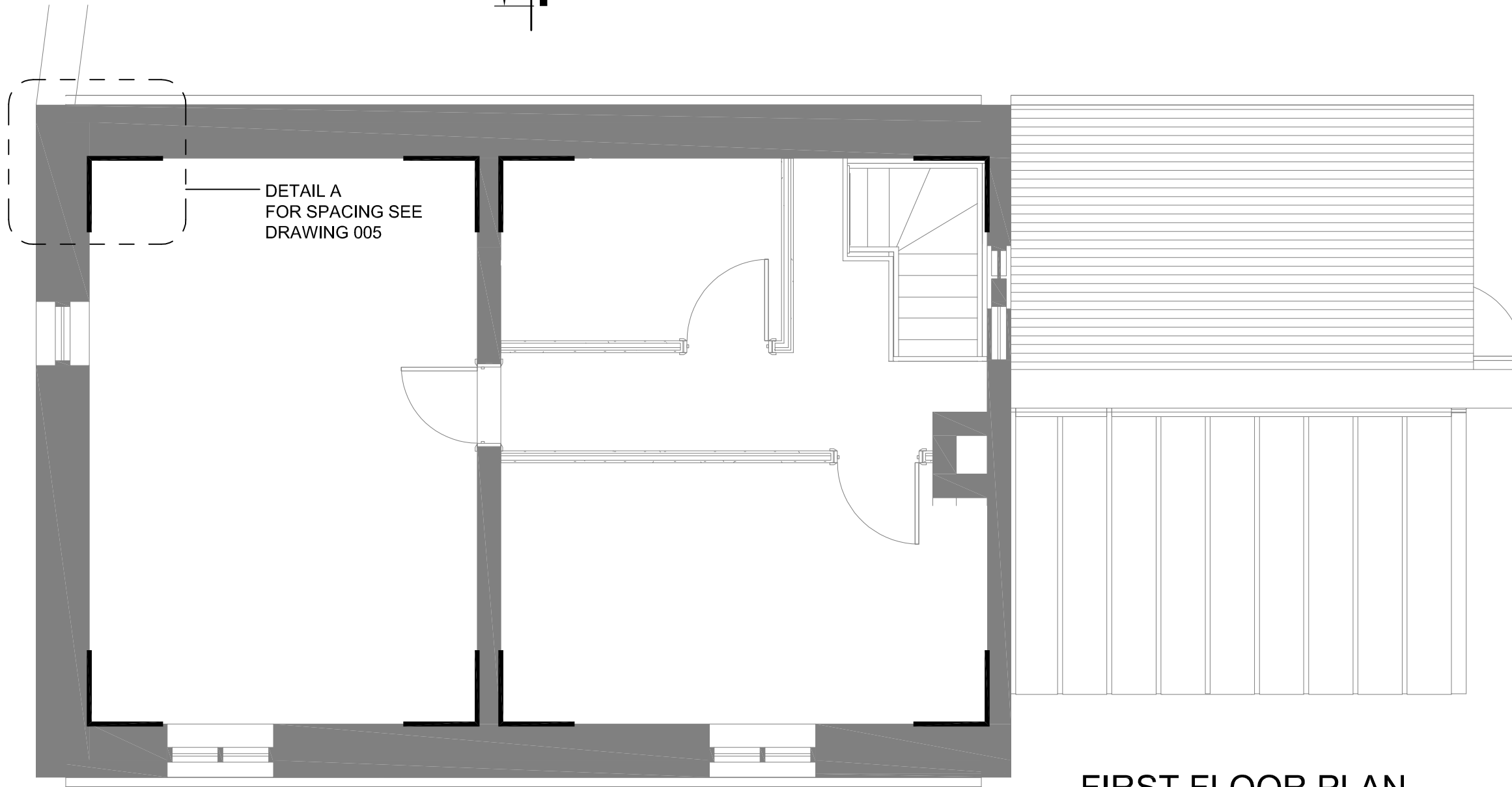
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REV	DATE	MODIFICATIONS
CLIENT: SANDERSON WEATHERALL		
PROJECT: KEEPERS COTTAGE, AISALBY		
TITLE: FIRST FLOOR PLAN		
SCALES		AS SHOWN @ A3
<b>MAUGHAN REYNOLDS PARTNERSHIP LTD</b>  <b>CONSULTING ENGINEERS</b>  3 GLADSTONE TERRACE GATESHEAD TYNE & WEAR NE8 4DY		
DRG No. 14218-003		date: 12/06/2018 drawn by: JR checked by: JRS

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**DETAIL A**  
SCALE 1:10



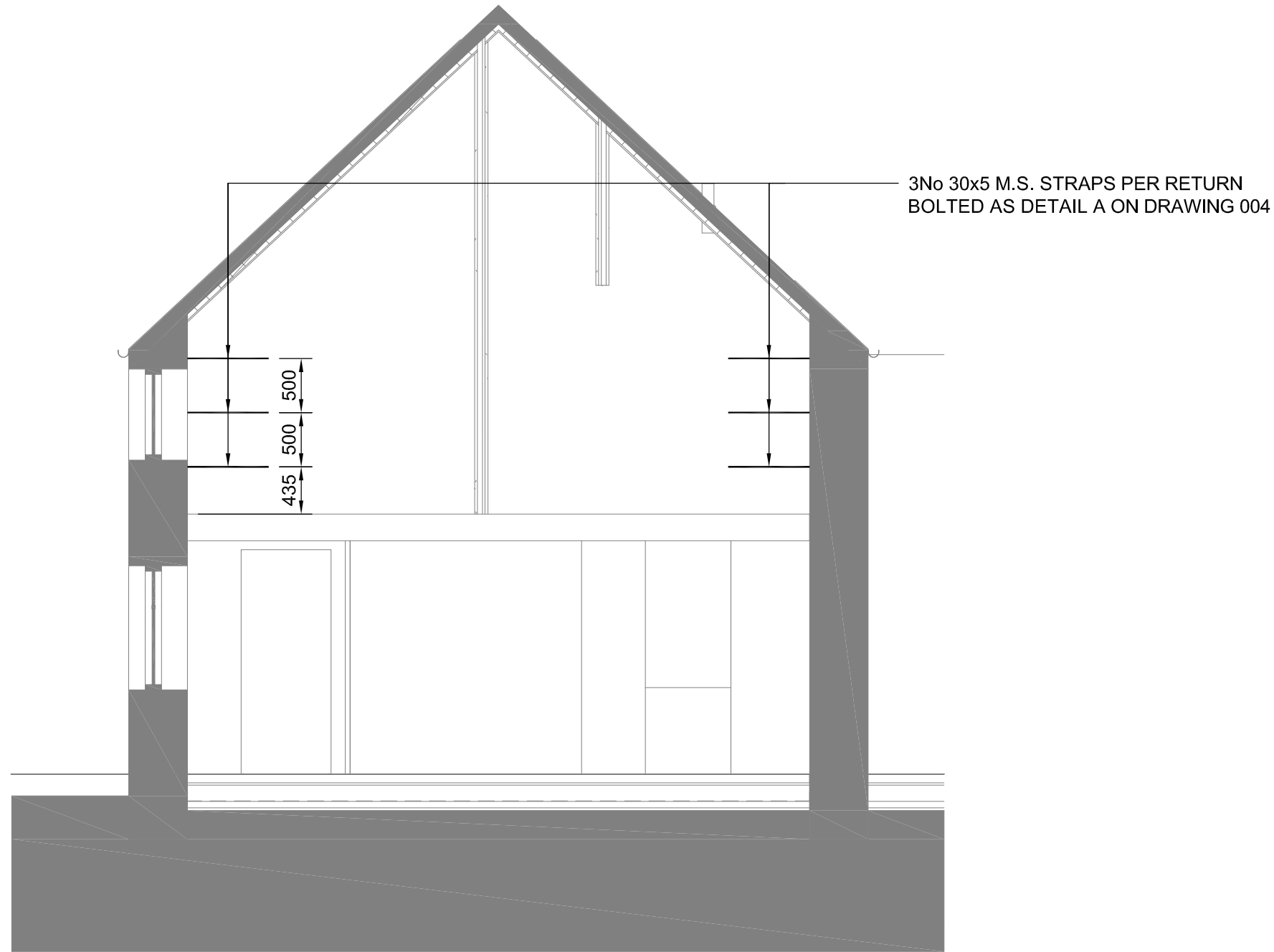
**FIRST FLOOR PLAN**  
(SHOWING STRUCTURE OVER)  
SCALE 1:50

**NOTES**

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REV	DATE	MODIFICATIONS
CLIENT: SANDERSON WEATHERALL		
PROJECT: KEEPERS COTTAGE, AISALBY		
TITLE: REMEDIAL DETAILS SHEET 1		
SCALES	AS SHOWN @ A3	
<b>MAUGHAN REYNOLDS PARTNERSHIP LTD</b>  <b>CONSULTING ENGINEERS</b>  3 GLADSTONE TERRACE GATESHEAD TYNE & WEAR NE8 4DY		
DRG No. 14218-004		date: 12/06/2018 drawn by: JR checked by: JRS

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**SECTION SHOWING  
REMEDIAL WORKS**

SCALE 1:50

**NOTES**

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REV	DATE	MODIFICATIONS
CLIENT: SANDERSON WEATHERALL		
PROJECT: KEEPERS COTTAGE, AISALBY		
TITLE: REMEDIAL DETAILS SHEET 2		
SCALES		AS SHOWN @ A3
<b>MAUGHAN REYNOLDS PARTNERSHIP LTD</b>  <b>CONSULTING ENGINEERS</b>  3 GLADSTONE TERRACE GATESHEAD TYNE & WEAR NE8 4DY		
DRG No. 14218-005		date: 12/06/2018 drawn by: JR checked by: JRS

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Filename: G:\PROJECTS\2018\10018 - 1491814218 - KEEPERS COTTAGE, AISALBY\DRAWINGS\OUTGOING\CONSTRUCTION\14218-006.DWG  
Last saved by: JUTARIMSA Last Plotted: 2018-06-13

**RW05**

# Reconnecting a Cracked Internal/ Party Wall to an External Stone Wall using CemTies

## METHOD STATEMENT

1. Mark positions for holes on the outer face of the wall.
2. Drill a 16mm clearance hole through the outer wall and to the required depth.
3. Clean out ALL dust from the hole and thoroughly flush with water. Where the substrate is very porous or flushing with water is inappropriate, use HeliPrimer WB. Ensure the hole is damp or primed prior to commencing step 8.
4. Attach the required length of CemTie pinning nozzle to the gun.
5. Mix HeliBond cementitious grout using a power mixer and load into the HeliFix Pointing Gun HD.
6. Pump grout to fill the nozzle.
7. Wind the CemTie into the nozzle and ensure that it is fully covered in grout.
8. Insert the nozzle to the bottom of the drilled hole and pump the grout until the CemTie is fully embedded.
9. Make good all holes at the surface with matching mortar and stone dust. The crack within the wall should be weather-proofed using an appropriate HeliFix bonding agent e.g. HeliBond or CrackBond, depending on the width of the crack and the surface made good or left ready for any decoration.
10. Clean tools with clean, fresh water.

*N.B. If diamond core drilling is used, the internal surface of the hole must be roughened to ensure a good bond.*

## RECOMMENDED TOOLING

For drilling.....SDS rotary hammer drill 650/700w or diamond core drill  
For mixing HeliBond.....3-jaw-chuck drill with mixing paddle  
For insertion of the CemTies .....HeliFix Pointing Gun Kit HD with pinning nozzle

## Specification Notes

The following criteria are to be used unless specified otherwise:

- A. CemTies are to be installed at a vertical spacing of 450mm.
- B. CemTies are to extend at least 500mm past the crack.
- C. Depth of hole to be CemTie length +25mm.
- D. CemTies are to be installed within the centre third of the wall.
- E. Ensure the CemTies are installed into solid stone and not the mortar joints or loose rubble within the wall.
- F. In hot conditions ensure the masonry is well wetted or primed to prevent premature curing of the HeliBond due to rapid de-watering. Ideally additional wetting of the hole should be carried out just prior to inserting the CemTie.
- G. Do not use HeliBond when the air temperature is +4°C and falling or apply over ice. In all instances the hole must be thoroughly damp or primed with HeliPrimer WB prior to injection of the HeliBond grout.

The above specification notes are for general guidance only and HeliFix reserves the right to amend details/notes as necessary.

## GENERAL NOTES

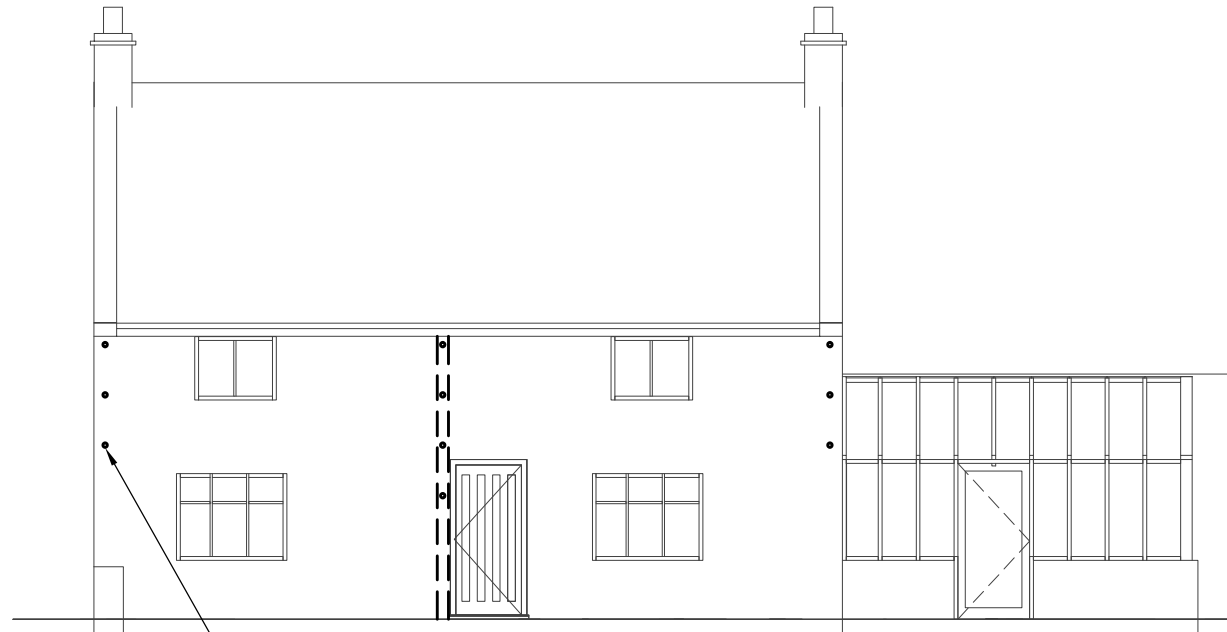
If your application differs from this repair detail or you require specific advice on your particular project, call the HeliFix Technical Sales Team on 020 8735 5222. Our Technical Department can provide you with a full support service including:

- G Advice, assistance and recommendations on all structural repair matters
- G Devising and preparing complete repair proposals for specific situations
- G An insurance-backed warranty via our Approved Installers scheme

HELIFIX MASONRY REPAIR DETAILS © January 2014

## NOTES

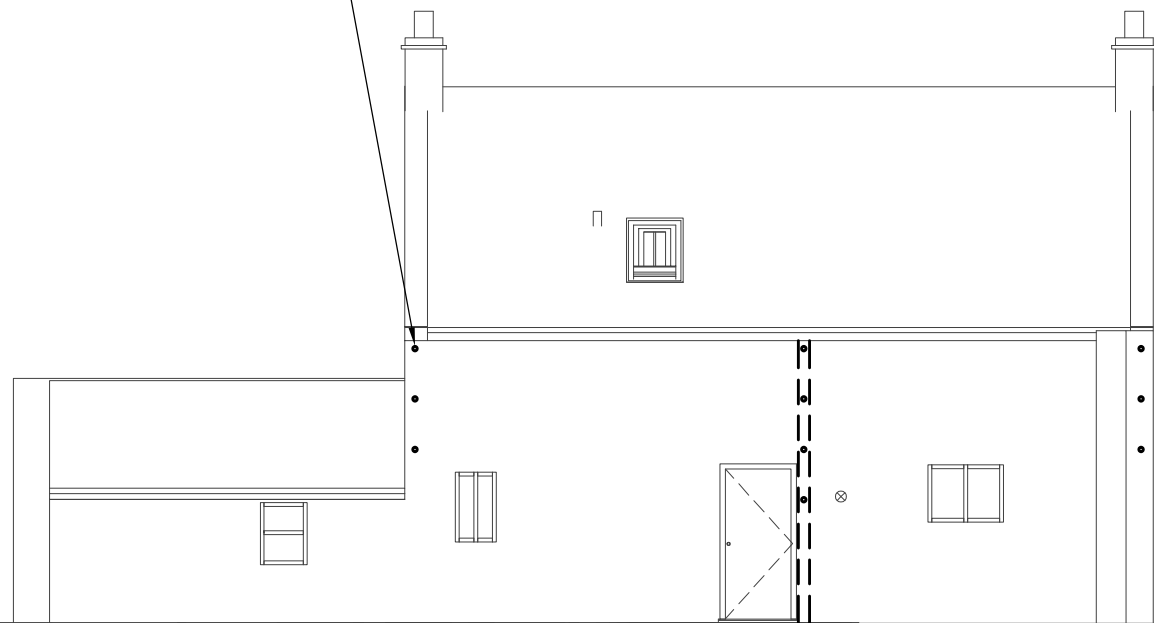
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## SOUTH EAST ELEVATION REMEDIAL WORKS

SCALE 1:100

HELIFIX REPAIR AS  
STANDARD DETAIL RW05



## NORTH WEST ELEVATION REMEDIAL WORKS

SCALE 1:100

REV	DATE	MODIFICATIONS
CLIENT: SANDERSON WEATHERALL		
PROJECT: KEEPERS COTTAGE, AISALBY		
TITLE: REMEDIAL DETAILS SHEET 3		
SCALES	AS SHOWN @ A3	
<p>MAUGHAN REYNOLDS PARTNERSHIP LTD</p> <p>CONSULTING ENGINEERS</p> <p>3 GLADSTONE TERRACE GATESHEAD TYNE &amp; WEAR NE8 4DY</p>		
DRG No.	date: 12/06/2018	
14218-006	drawn by: JR	
	checked by: JRS	

# SW

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