

Wendy Strangeway

From: Lavingham Planning Consultants Ltd
Sent: 01 October 2018 15:30
To: Ailsa Teasdale
Cc: Planning
Subject: NYM/2017/0717/FL and NYM/2017/0722/LB - 10 South End, Osmotherley
Attachments: 10SthEnd Osmtherly Revsd Plan Drwg No 2A.PDF; 10 Sth End Osmthly Rev 2A Plan Notes rev2.pdf

Dear Ailsa,

Further to my email on Friday as promised I am pleased to forward the higher resolution drawing with minor amendments included. My Client has also asked me to forward amended accompanying notes. We would be grateful if both of these documents could supersede those I sent through on Friday.

Please feel free to contact me if you would like to discuss these further.

Thanks and best wishes,

Andrew

Andrew Cunningham MRTPI
Director
Lavingham Planning Consultants Ltd



From: Lavingham Planning Consultants Ltd
Sent: 28 September 2018 16:33
To: 'Ailsa Teasdale'
Cc: 'Planning'
Subject: RE: NYM/2017/0717/FL and NYM/2017/0722/LB - 10 South End, Osmotherley

Dear Ailsa,

Following your kind agreement to the extension of time to provide amended plans I attach an amended drawing and accompanying notes for your review and thoughts. My Client advises that the print/scan quality has missed off some of the drawing detail and will supply me with a higher resolution version to forward to you on Monday.

Please feel free to contact me if you would like to discuss this further.

Thanks and best wishes,

Andrew

Andrew Cunningham MRTPI
Director
Lavingham Planning Consultants Ltd

From: Ailsa Teasdale
Sent: 04 September 2018 12:11
To: Lavingham Planning Consultants Ltd
Subject: RE: NYM/2017/0717/FL and NYM/2017/0722/LB - 10 South End, Osmotherley

Dear Mr Cunningham,
Thank you for your email. Yes I can agree to this extension and look forward to receiving the amended plans in line with the comments raised at our meeting back in February 2018.
Many Thanks,

Ailsa Teasdale

From: Lavingham Planning Consultants Ltd
Sent: 03 September 2018 13:29
To: Ailsa Teasdale
Subject: RE: NYM/2017/0717/FL and NYM/2017/0722/LB - 10 South End, Osmotherley
Importance: High

Dear Ailsa,

Just checking that you received my email below as the Client is very anxious to seek your agreement and not miss this week's deadline?

Thanks,

Andrew

Andrew Cunningham MRTPI
Director
Lavingham Planning Consultants Ltd



From: Lavingham Planning Consultants Ltd
Sent: 31 August 2018 17:15
To: 'Ailsa Teasdale'
Subject: NYM/2017/0717/FL and NYM/2017/0722/LB - 10 South End, Osmotherley

Dear Ailsa,

I write in response to the disposal letters sent through on 22nd August regarding the above applications.

I have now had the opportunity to liaise with my Client who advises that they have been away for much of the last 6 months and have now returned and require longer than the 14 days from 22nd August 2018 to prepare the amended plans.

Please can we therefore request an extension to the time to submit amendments for both applications to 28th September, one month from today. This will provide sufficient time for my Client to prepare the amendments and for these to be supplied to the NYMNPAs.

I would be grateful if you could confirm your agreement to this at your earliest convenience next week as we are conscious that the deadline for disposal is 5th September.

Thanks and best wishes,

Andrew

Andrew Cunningham MRTPI
Director
Lavingham Planning Consultants Ltd



Further to the meeting on at the Nation Park Headquarters at Helmsley 14 Feb2018

I attach the following notes following submission of the amended proposed plan showing revisions made.

Pigsty and its pitched roof:

The proposed revised plan seeks to retain the overall style of the current roof in terms of pitch and span but with the west elevation retained and the roof raised up as discussed to allow for a habitable room and access between it and the adjacent living space.



Gap between single pitch roof to House and to Outbuildings

This gap has been removed as requested so that the single storey roof line is continuous with no gap albeit recognising the distinction between the House and the Outbuildings.

Front outbuilding adjacent to Carthouse.

In seeking to improve the relationship between the roofline of the carthouse and the outhouse adjacent, so that each building, from the house down to the cart house, down to the outbuilding retain their hierarchical subservience, the step down in the roof, previously 400mm, has now been increased to just under a metre. This impacts, on both the bathroom, the third bedroom and the stairs such as to give rise to a part sloping ceiling.

Windows

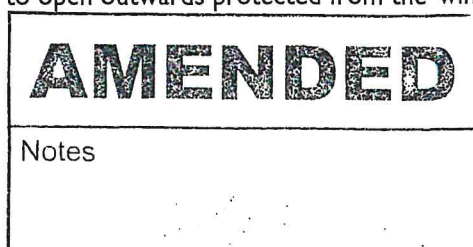
As requested, casement windows have been used with the glazing bars removed from the new fenestration to lessen the impact of suburban dwelling style. These will be double glazed set in timber frame. In respect of maintenance work to the House itself, previously advised, for clarity, this will include breathable insulation provided internally to all external elements with slimline double glazing as used elsewhere in Osmotherley at the direction of the National Park. The windows were replaced in 1987 at the same time as the roofs and are unfortunately rotting despite a cycle of external painting. Number of new side vents to west elevation reduced. The number of units have been adjusted as requested to the ground floor south elevation.

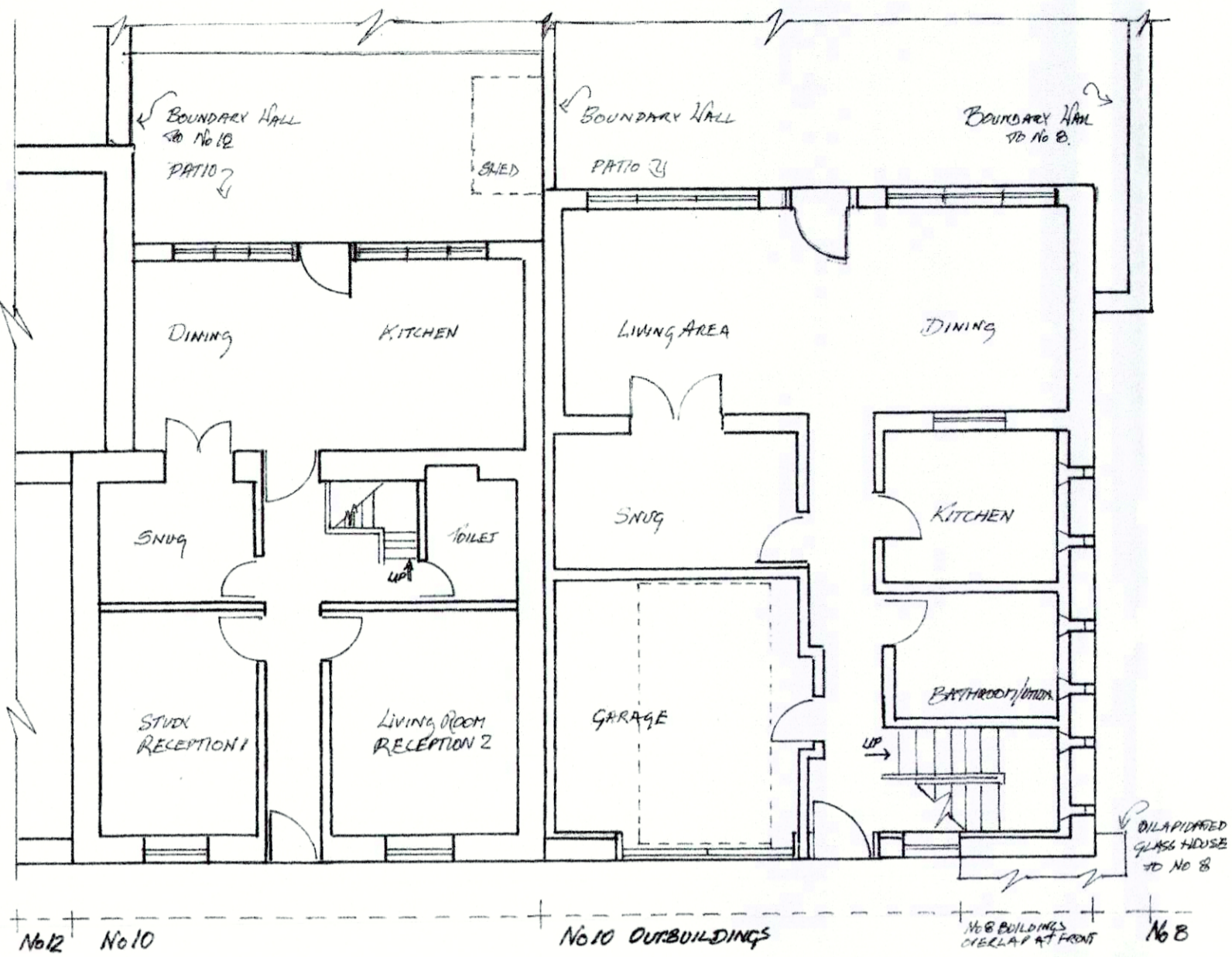
Blocked in doorway on front elevation

There are two blocked in doorways on the front elevation and in the revised plan both are retained as requested. The retention of the blocked in doorway to the outbuildings has resulted in wasted non-accessible space within the garage and a much reduced kitchen and bathroom, which are not desirable. I wonder if it would be considered if the lintel to the blocked in doorway in the outbuilding could be retained to form a visible part of the garage opening lintel and so ameliorate the issues caused whilst retaining an element of the visible historical evidence.

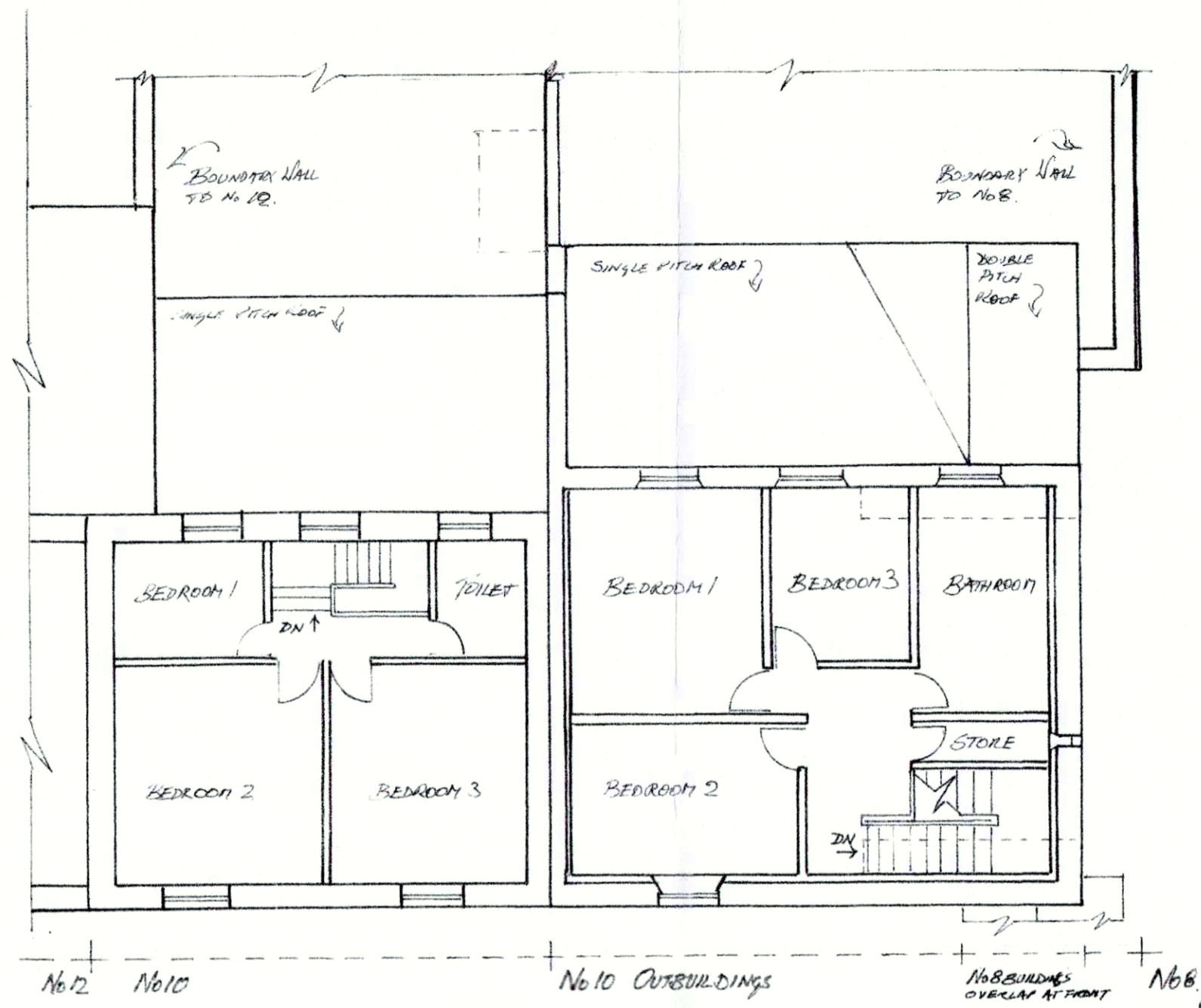
Proposed location for storage shed for No 10 as discussed

A shed has been shown in outline of the revised plan. This wall is the preferred location, if there is to be a green house shed, from the aspect of the sun. If it is to be a storage shed for bikes then it is also the preferred location as it is adjacent to the kitchen and due to the need to retain some element of wall space in the kitchen, not all of the external wall is glazed. It is proposed that the shorter dimension of the shed could almost abut this wall or alternatively with a gap if desired to allow a door to open outwards protected from the wind by the shed itself.



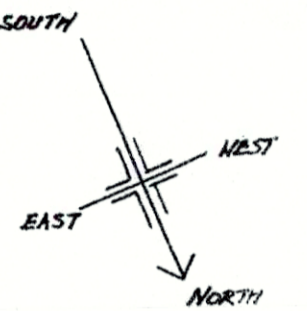


PROPOSED GROUND FLOOR PLAN

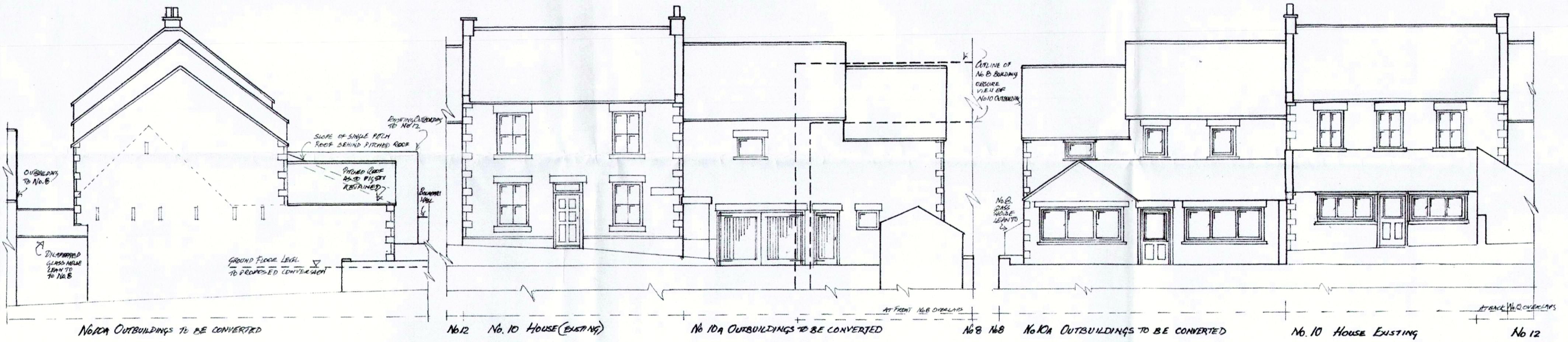


PROPOSED FIRST FLOOR PLAN

NYMNPA
- 1 OCT 2018



AMENDED
Notes



PROPOSED SIDE ELEVATION - WEST (NOT VISIBLE TO PUBLIC)

PROPOSED FRONT ELEVATION - NORTH (PART OBLSCURED VIEW)

PROPOSED BACK ELEVATION - SOUTH (NOT VISIBLE TO PUBLIC)

REV A: FLOOR LEVEL TO PROPOSED DWELLING LOWERED TO LATEST OUTBUILDING LINE
ROOF HEIGHT OF OUTBUILDINGS LOWERED WITH CEILING HEIGHT REDUCED 200MM
FRONT ELEVATION: SLOTTED UP-DRAWN VERTICAL SIDING EXPOSED
PITCHED ROOF FOULDRAT RETAINED OF FIGURE AND LINED TO GRAND PITCH
REAR ELEVATION WINDOWS - GLAZING BARS RETAINED - CASSETTES USED
GAP REMOVED HOUSE KITCHEN EXTENSION AND OUTBUILDING EXTENSION

No. 10 SOUTH END OSMOTHERLEY
PROPOSED ALTERATIONS & CONVERSION OF EXISTING OUTBUILDINGS
TO FORTH ONE DWELLING AND ADAPTATIONS TO EXISTING DWELLING
DRWG: 2A REV PROPOSED PLAN SCALE 1:200 AT A2 - 28 SEPT 18 H.C.