

Amendments/Additional Information

- Amended layout of buildings/outside areas
- Additional background information
- Amended design
- Revised access arrangements
- Change of description of proposed development
- Change in site boundaries
- Other (as specified below)

From: Paul Kidd
Sent: 15 February 2017 10:37
To: Ailsa Teasdale
Cc:
Subject: Fw: Amended scale drawings - 6 Main Road, Aislaby, YO21 1SW
Attachments: Revised Final Proposal for 6 Main Road Aislaby 12.2.pdf; Updated Heritage Statement for Mrs Strangeway 14.2.17.docx

Hi Ailsa

Sorry about repeated emails but I wanted to update you with a conversation I have just had with my neighbour at Hedgehog Barn behind me.

My neighbour has two issues he raised with me.

The first issue was in respect to the garage north end gable wall regarding the proposed log burner flue. As I have already revised the location in the attached plans to the opposite end of the proposed lounge, it seems that is much more acceptable to them.

The second is the rear door to the kitchen area. I'm please you mentioned this during your site visit in respect to overlooking their property. Although not detailed on the scale drawings I explained to my neighbour that I would either use either frosted or obscure glazing in the door and frame, or as you suggested erecting a fence to the rear. He is happy with either option but I think your proposal of a fence is my preferred option. I discussed this with him in the rear garden area - and given the raised land height to the rear where the fence would be sited and the lower level path outside the bottom of the door frame with drainage to accommodate, a 1m high fence across the centre of the rear garden would obscure any view between both properties through the rear door.

So that is two neighbours to the rear that I have now spoken with (you have the response from Mr Bennett already) and I think that clears up all queries to date.

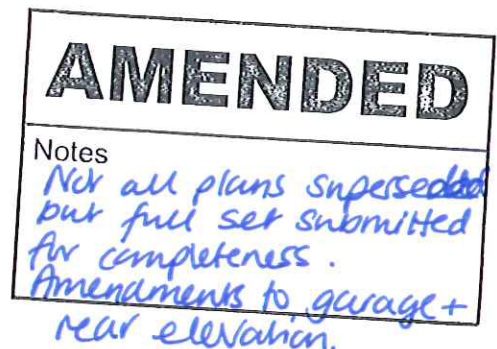
If you have any concerns please don't hesitate to contact me.

Many thanks Ailsa.

Kind Regards.

Paul Kidd

Sent from Windows Mail



From:
Sent: Tuesday, 14 February 2017 14:55
To: a.teasdale@northyorkmoors.org.uk
Cc:

Ailsa

For your information.

Kind regards.

Paul Kidd

Sent from Windows Mail

From:
Sent: Tuesday, 14 February 2017 14:04
To: planning@northyorkmoors.org.uk
Cc:

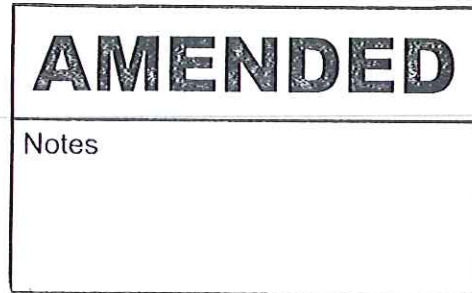
Hi. I have attached an updated Heritage Statement to reflect the changes made in the scale drawings sent on Sunday 12/2/17.

Kind Regards.

Paul Kidd

Sent from Windows Mail

From: [Paul Kidd](#)
Sent: Sunday, 12 February 2017 16:06
To: planning@northyorkmoors.org.uk
Cc:



Hi

The attachment is a slightly amended set of scale drawings following comments received from the Conservation Team.

Ailsa Teasdale advised me to send the amendments to your email address and that you would then process through the system to herself.

Hi Ailsa

Please find attached the amended scale plans as proposed by the Conservation Team.

The main changes are:

Page 7 - Proposed Ground Floor Layout - relocated multi-burner from the north garage end gable to the opposite end of the garage (to become lounge). The chimney breast on the ground floor to the opposing proposed bedroom 3 to the proposed lounge will still be removed but support given to the first floor stack in the bedroom 1 en-suite area to take the flue entering to the chimney stack 1m above joist level extending to external terminal. Notes and drawing undated to include for timber cladding as an external finish to the original garage door position. Notes included for east wall to garage to be rebuilt in existing stone with 7N concrete block inner leaf with cavity and insulation. Notes updated remove the three options re the north wall to the kitchen area, and to include treated and painted horizontal timber cladding on timber grounds as a finish to compliment to glazed door frame and door.

Page 8 - Proposed First Floor Layout - Existing chimney stack retained to take multi-burner flue liner 1m above joist level to roof terminal.

Page 9 - Proposed Front Elevation - chimney stack reinstated to north wall of proposed bedroom 1.

Page 10 - Proposed Side Elevation (West Facing) - chimney stack reinstated to north wall above proposed bedroom 1 and terminal removed from north garage gable end wall. Notes updated to include dark painted timber cladding to replace garage doors.

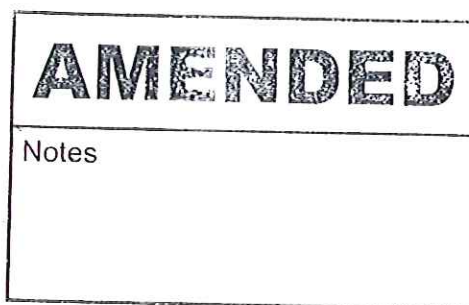
Page 11 - Proposed Rear Elevation - Chimney stack reinstated to north wall above proposed bedroom 1 and multi-burner terminal removed from north gable end wall to garage.

I hope this meets with your approval but please contact me if there are any issues. I trust the 10th March 2017 is still a date we are aiming for if/when planning consent can be given?

Kind regards.

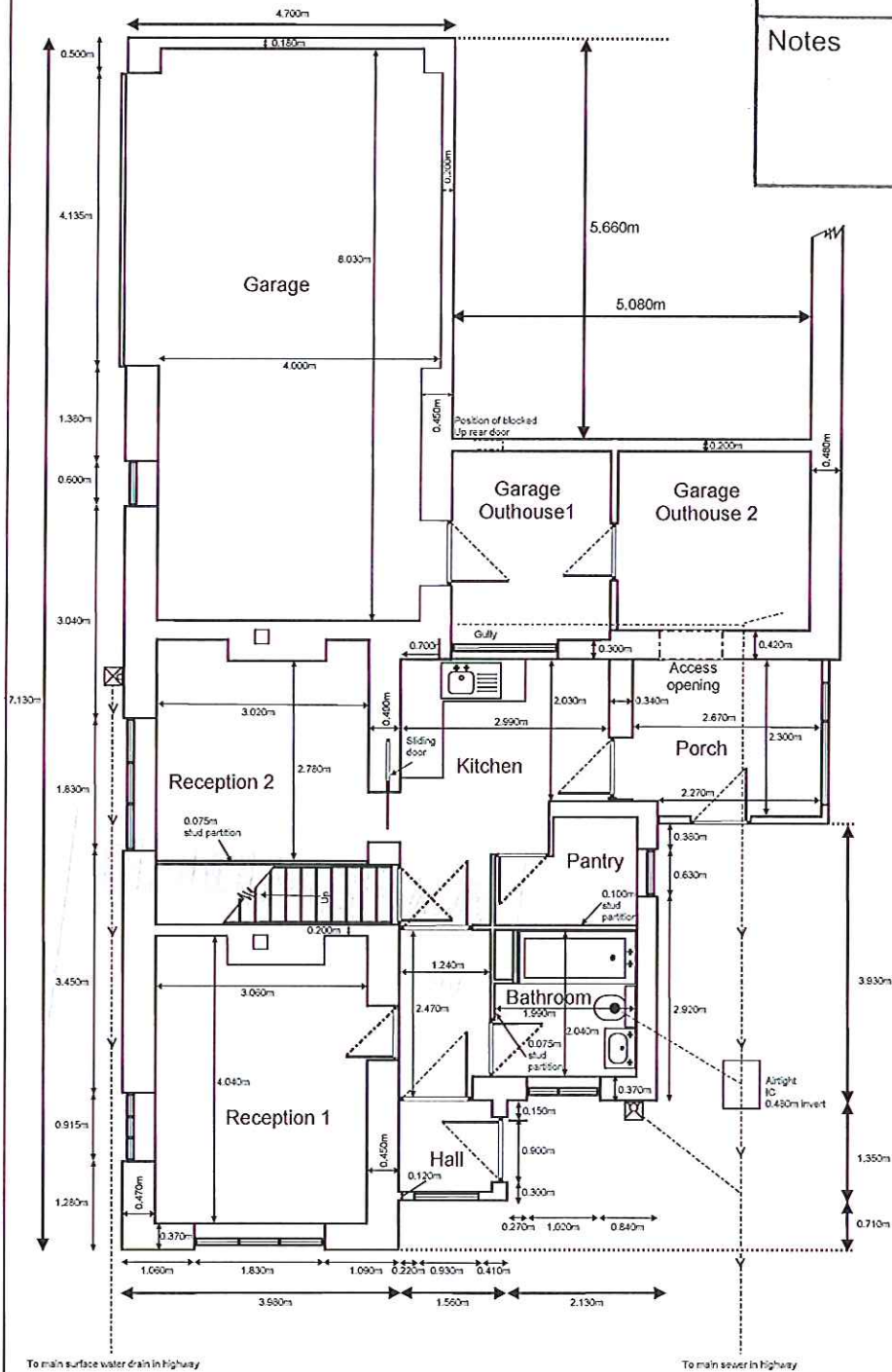
Paul Kidd

Sent from Windows Mail

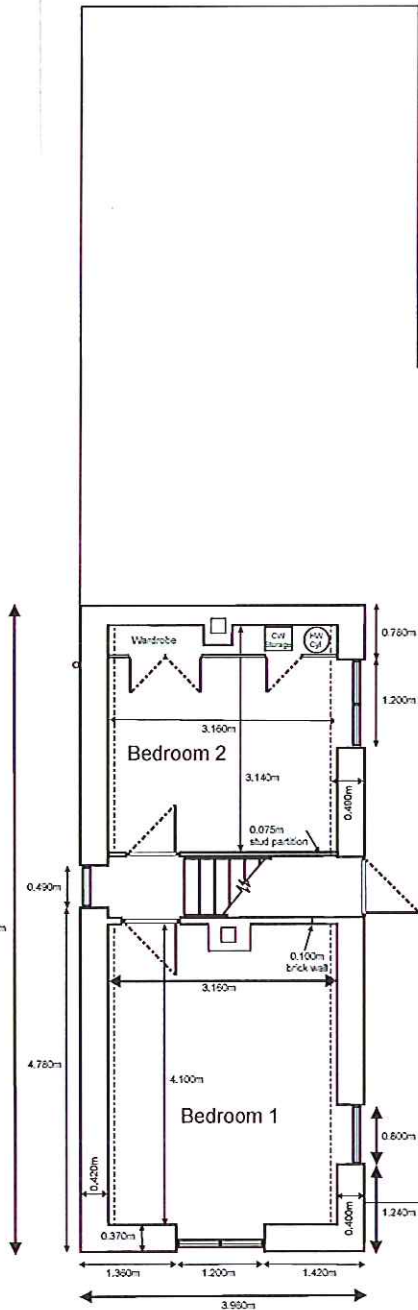


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Notes



Existing Ground Floor Layout - Scale 1:100



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Notes

Existing First Floor Layout - Scale 1:100

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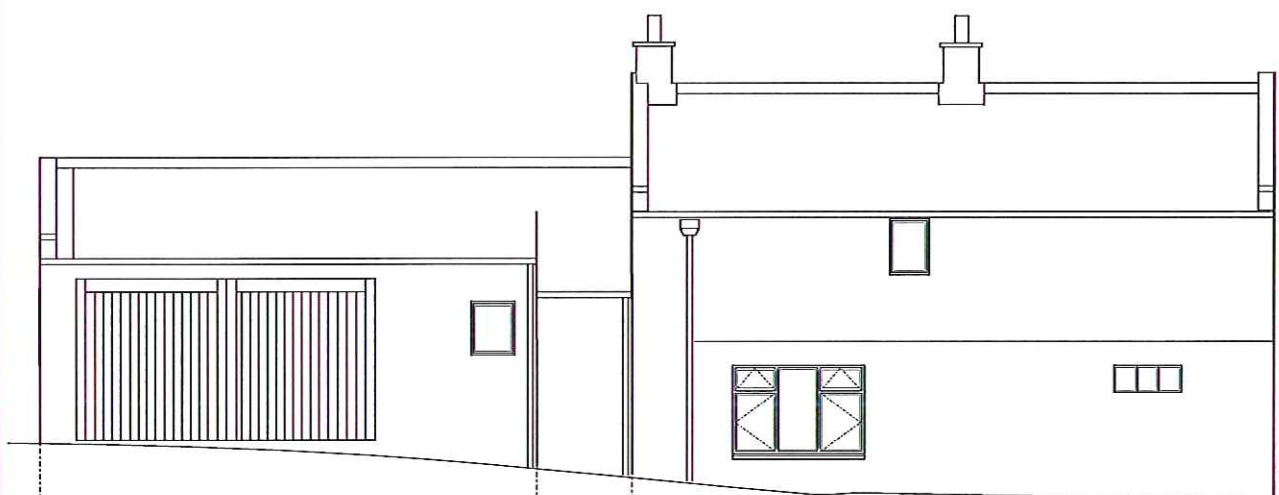


Existing Front Elevation - Scale 1:100

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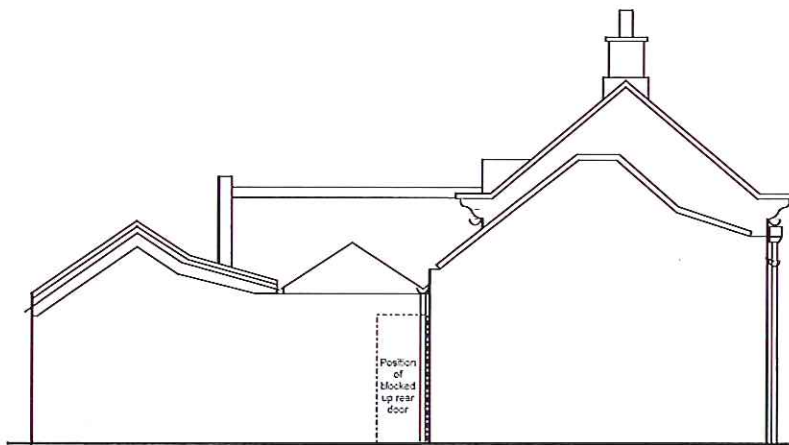
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Existing Side Elevation (West Facing) - Scale 1:100

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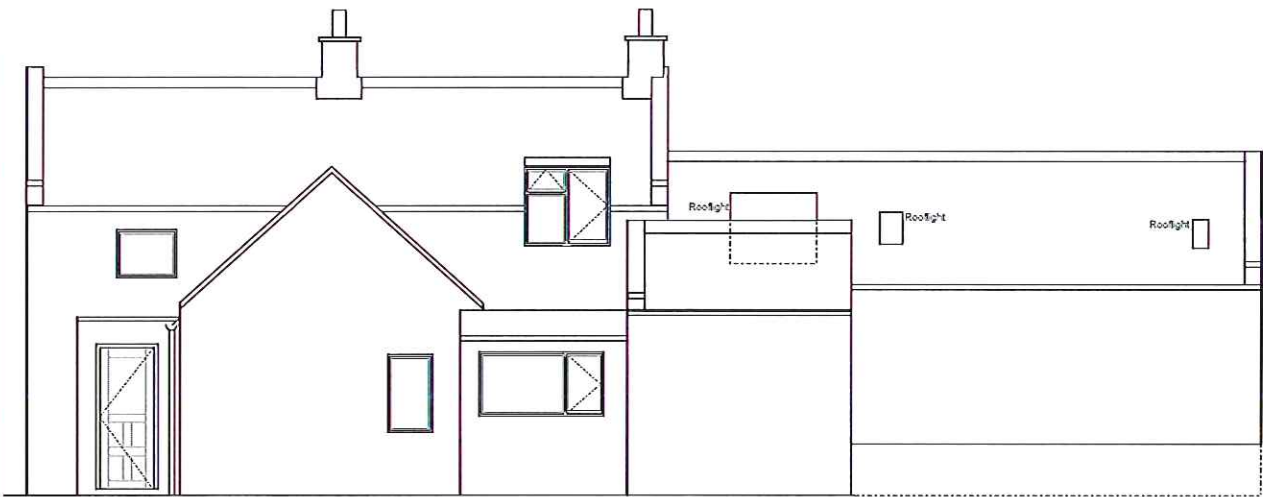


Existing Rear Elevation - Scale 1:100

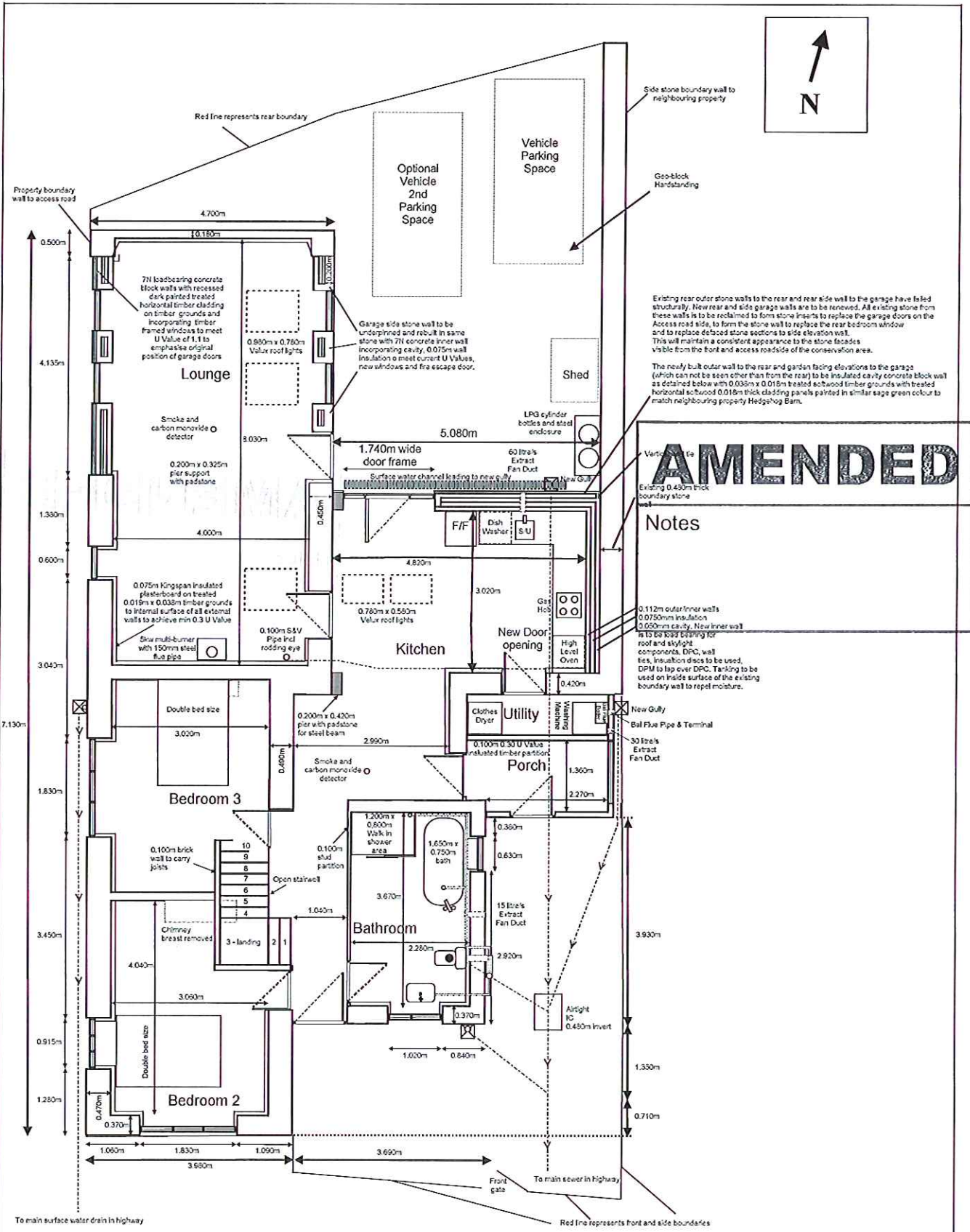
10/20/2017
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Notes



Existing Side Elevation (East Facing) - Scale 1:100



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Existing 0.420m brick boundary stone wall

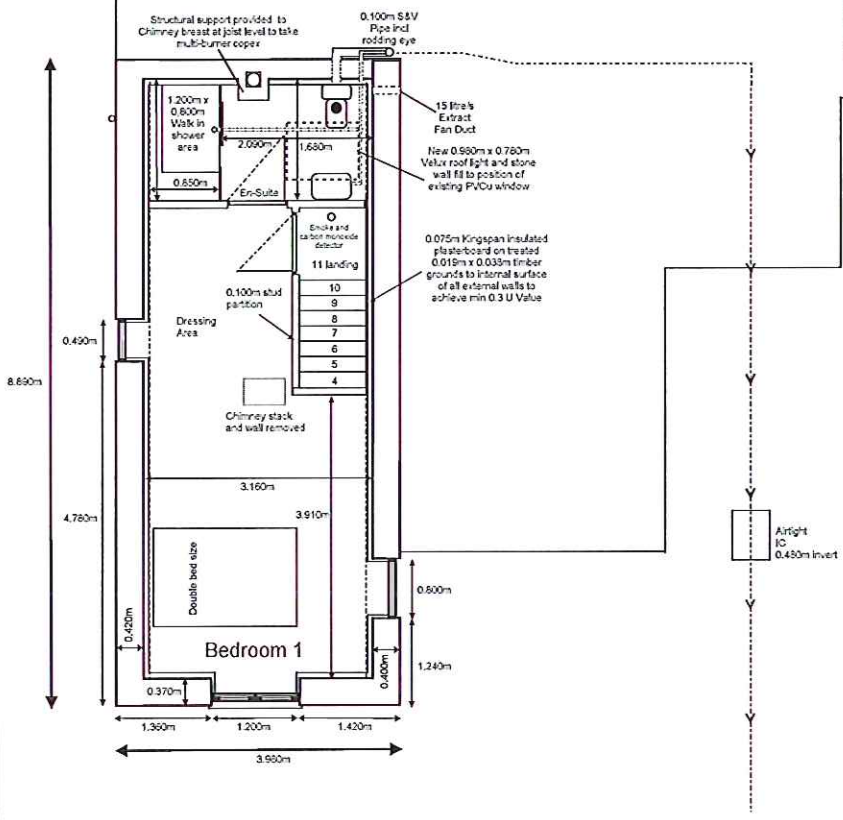
0.112m outer/inner walls
0.0750m insulation
0.0500m cavity. New inner wall is to be kept existing for roof and skylight components. DPC, wall ties, insulation discs to be used. DPM to lap over DPC. Tanking to be used on inside surface of the existing boundary wall to repoint masonry.

New Gully
Ball Flue Pipe & Terminal
30 litre's Extract Fan Duct

Site Layout / Proposed Ground Floor Layout - Scale 1:100

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Notes



Proposed First Floor Layout - Scale 1:100

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Notes



Windows:

All existing windows are to be replaced in traditional Yorkshire style in timber softwood or hardwood with 24mm sealed units to achieve current U Values, incorporating trickle vents and externally treated painted. Any subsequent designs agreed with Edward Freedman will take precedence over the designs included in these scale drawings.

Front External Door:

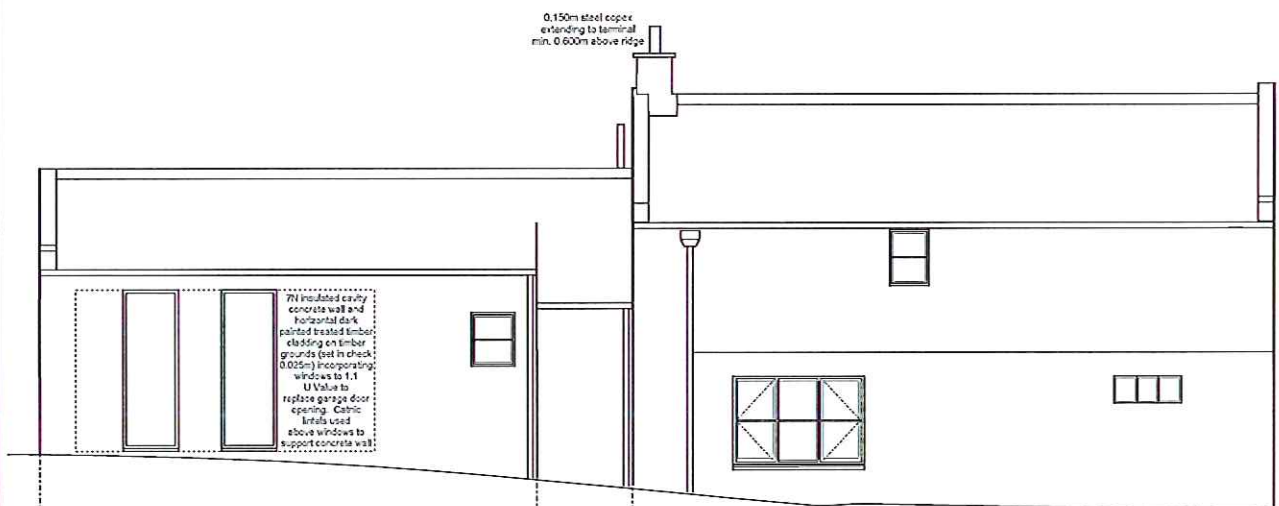
A new four-panel Douglas Fir external front door with top panels glazed to replace existing. Recessed door panels to be framed with Ogee moulds. To be painted internally and externally in accordance with manufacturers recommendations.

Proposed Front Elevation - Scale 1:100

PROPOSED SIDE ELEVATION (WEST FACING)

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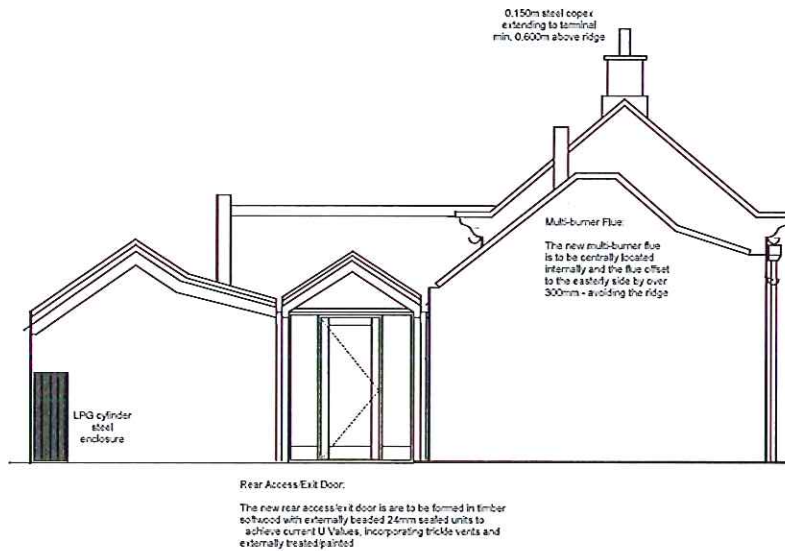


Garage Windows:
All new garage windows are to be formed in timber soffit or hardwood with externally beaded 24mm sealed units to achieve current U Values, incorporating trickle vents and externally treated painted

Proposed Side Elevation (West Facing) - Scale 1:100

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Notes

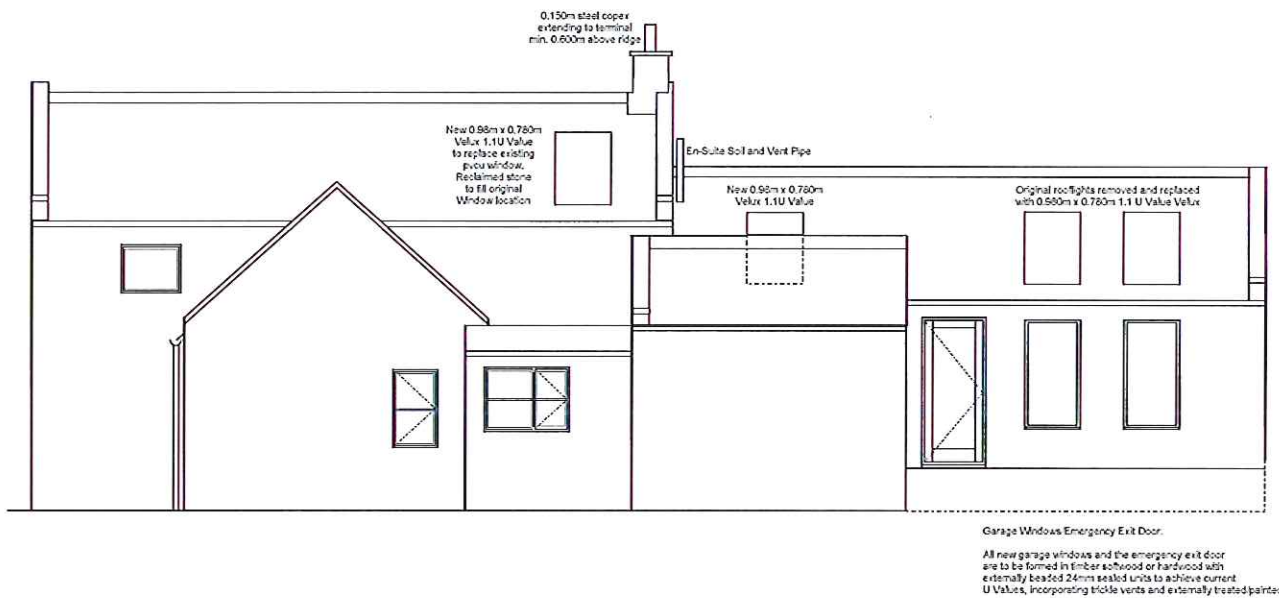


Proposed Rear Elevation - Scale 1:100

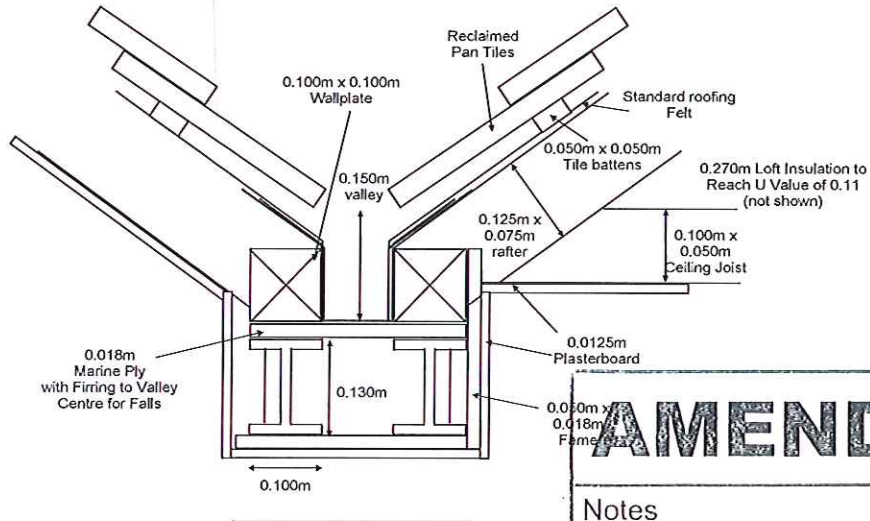
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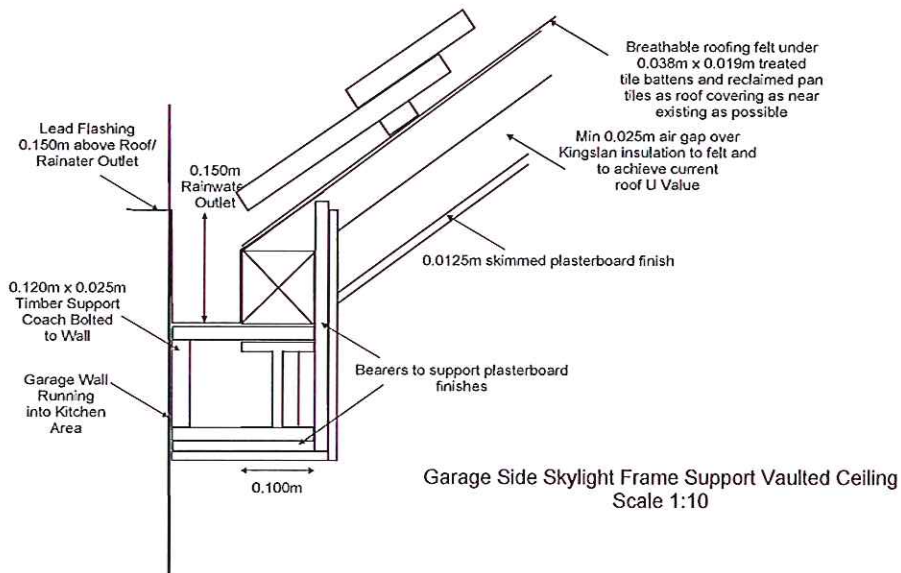
Proposed Side Elevation (East Facing) - Scale 1:100



Central Kitchen Roof Junction Valley Detail
 Scale 1:10
 (showing intersection between vaulted
 kitchen ceiling and standard trussed rafter ceiling)

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Notes



Garage Side Skylight Frame Support Vaulted Ceiling
 Scale 1:10

Proposed Sections of Valleys to Vaulted and Trussed
 Rafter Kitchen Roof Intersections - Scale 1:100

Heritage Statement – The Croft, 6 Main Road, Aislaby

What is significant about the heritage asset?	What works are proposed?	What impact do the works have on the part of the heritage asset affected?	How has the impact of the proposals been minimised?
<p>The planning application relates to the limited refurbishment of an existing residential property in Aislaby, namely The Croft, 6 Main Road.</p> <p>Aislaby is a relatively small rural village overlooking the Esk Valley, with sandstone cottages clustered around a main street on the hillside. Aislaby became a separate parish to Whitby in 1865.</p> <p>The community is served by the Church of St Margaret, built in 1987 to replace a chapel built in 1732 (which itself replaced a mediaeval chapel), and the Forge Inn. Aislaby is located 3 miles from Whitby, 5 miles from Sandsend and overlooks Sleights which is 1 mile away.</p> <p>Set in a conservation area, Aislaby has significant heritage assets including a considerable number of properties having listed status. The village comprises of</p>	<p>Replacement of current storm-proof windows with traditional Yorkshire style.</p> <p>Removal of the front porch as advised by the Building Conservation Officer.</p> <p>Removal of the central chimney stack to the ground and first floor - constructed without any formal approval approximately 60 years ago.</p> <p>Repair roofing components incl defective pan tiles and renew missing gutters and fallpipes</p> <p>Conversion of the garage to a habitable space incorporating discreet windows and using horizontal timber dark painted</p>	<p>Positive impact. New windows will complement the original character and features of the building</p> <p>Positive impact. The poorly constructed porch was added around 50 years ago. Removal will return the front façade to its original design.</p> <p>Positive impact. The chimney stack is structurally defective and its removal will take the roof design back to original.</p> <p>Positive impact. Will facilitate proper rainwater removal to protect the structure of the building from the elements.</p> <p>Positive impact. The current garage requires structural works to preserve that part of the building. The conversion work</p>	<p>Traditionally manufactured windows/doors to be locally sourced. Decorated to complement adjacent buildings and as approved by the Building Conservation Officer.</p> <p>Once removed the remaining original stone surfaces to be cleaned and pointed as required and as specified by the Building Conservation Officer.</p> <p>Only reclaimed pan tiles and sand stone ridge tiles are to be used to match the existing roofing components to the original chimney locations. Agreed with the Building Conservation Officer.</p> <p>Only locally sourced reclaimed materials will be used.</p> <p>Only locally sourced reclaimed stone and traditionally constructed softwood windows will be used to replace the garage</p>

Notes

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agricultural and residential buildings of varying designs and sizes. Properties forming the original village were constructed from locally sourced solid sandstone with pan tile roofs. Specific individual architectural features were incorporated into original property designs, and these have been retained to maintain the character of the buildings in the area. Any subsequent residential conversions or extensions have been sympathetically designed to complement the original property features.

Whilst The Croft 6 Main Road is not a listed building, within the immediate vicinity Hedghog Barn to the rear (recently refurbished) and Ivy House Farm to the west facing elevation are both listed.

Given the setting in a conservation area with assets of significant historical importance, any proposed external works to The Croft 6 Main Road are to be relatively limited in scale externally, and designed to be sympathetic and complementary to the existing building, location, and built environment. The

cladding finish to fill in the original garage door location.

Fit new multi-burner to the new lounge area (converted garage) for space heating only.

Fit new LPG boiler for under-floor and water heating.

Provide improved off road parking on geo-block to the rear of the property thereby assisting traffic calming measures on the highway.

Internal space redesign and insulation to floors, walls and roof space to facilitate modern living.

will facilitate this

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Positive impact. Due to the absence of mains gas the multi-burner will be used as an alternative to LPG for space heating. These are commonplace for space heating of properties in the Aislaby area.

No impact. As with neighbouring properties LPG is the main source for space and water heating in the absence of mains gas.

Positive impact. The provision of suitable off road rear parking will take pressure off the highway at busy times and assist traffic calming.

Positive impact. Good levels of insulation throughout the building will reduce CO2 emissions of the property and conserve energy. Internal space redesign will also maximise the benefits from new

doors, any pointing will match the remainder of the building. The side elevation is only just visible from the main road and the design will reflect similar conversion designs in the area - and as discussed with the Senior Planning Officer.

The internally located multi-burner flue will not be seen from the main road or front façade. Only sustainable locally sourced fuel will be used.

LPG bottles will be discreetly and safely located within the rear garden area. They will not be visible from the main road of the conservation area.

Off-road parking will not be visible from the conservation area highway.

All insulation is to be internally provided to external walls so will not affect the external appearance of the building in any way.

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property is approximately 200 years old and key external architectural features are to be retained. In order to support these principles a pre-application assessment has been conducted with the Senior Planning Officer and Building Conservation Officer for the area. Advice has been incorporated into the planning submission.

10/11/2018 10:10

space heating provision and fuel conservation.

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